



**City of Surprise Planning and Zoning Commission**  
**AGENDA**  
Tuesday, May 20, 2008 - 6 P.M.  
Surprise City Hall  
12425 West Bell Road, Suite D100, Surprise, AZ

**CALL TO ORDER**

- A. Roll Call
- B. Pledge of Allegiance
- C. Approval of items on the **Consent** Agenda – all items with an asterisk (\*) are considered to be routine matters and will be enacted by one motion and one roll call vote to the Planning and Zoning Commission. There will be no separate discussion on these items unless a Commissioner requests; in which event, the item will be removed from the consent agenda and considered in its normal sequence on the agenda.

ITEM NO.	ITEM DESCRIPTION	STAFF RECOMMENDATION
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**CURRENT EVENTS REPORT**

1	COMMUNITY DEVELOPMENT DEPARTMENT REPORT	DISCUSSION
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**CONSENT AGENDA:**

2*	APPROVE PLANNING/ZONING COMMISSION MINUTES FOR MAY 6, 2008. APPROVE PLANNING/ZONING COMMISSION WORKSHOP MINUTES FOR MAY 6, 2008 CANCEL JULY 1, 2008 PLANNING/ZONING COMMISSION MEETING	<b>APPROVE</b> <b>SECRETARY:</b> <b>CAROL DAGER</b>
3*	<b>SP07-262</b> – CONSIDERATION AND ACTION – <b>DISCOUNT TIRE</b> : REVIEW A SITE PLAN FOR DISCOUNT TIRE GENERALLY LOCATED ON THE SOUTHEAST CORNER OF BELL ROAD AND SARIVAL AVENUE. REQUEST IS SUBJECT TO STIPULATIONS A THROUGH E.	<b>APPROVE</b> <b>PLANNER:</b> <b>LANCE FERRELL</b>
4*	<b>SP07-349</b> – CONSIDERATION AND ACTION – <b>SURPRISE VILLAGE MARKETPLACE PHASE 2</b> : REVIEW A SITE PLAN FOR SURPRISE VILLAGE MARKETPLACE PHASE 2 LOCATED ON THE SOUTHEAST CORNER OF BELL ROAD AND SR303. REQUEST IS SUBJECT TO STIPULATIONS A THROUGH H.	<b>APPROVE</b> <b>PLANNER:</b> <b>DENNIS DORCH</b>
5*	<b>SP08-040</b> – CONSIDERATION AND ACTION – <b>JACK IN THE BOX AT MARLEY PARK</b> : REVIEW A SITE PLAN FOR JACK IN THE BOX AT MARLEY PARK LOCATED ON THE SOUTHEAST CORNER OF REEMS AND WADDELL ROADS. REQUEST IS SUBJECT TO STIPULATIONS A AND B.	<b>APPROVE</b> <b>PLANNER:</b> <b>ADAM COPELAND</b>
6*	<b>SP08-062</b> – CONSIDERATION AND ACTION – <b>CRESENT CROWN DISTRIBUTING</b> : REVIEW A SITE PLAN CRESENT CROWN DISTRIBUTING LOCATED ON THE NORTHWEST CORNER OF SWEETWATER AVENUE AND DYSART ROAD. REQUEST IS SUBJECT TO STIPULATIONS A THROUGH C.	<b>APPROVE</b> <b>PLANNER:</b> <b>BART WINGARD</b>

- 7\* **SPA08-022 – CONSIDERATION AND ACTION – GREENWAY RETAIL/OFFICE CENTER:** REVIEW A SITE PLAN AMENDMENT FOR GREENWAY RETAIL/OFFICE CENTER LOCATED ON THE NORTHWEST CORNER OF GREENWAY AND REEMS ROADS. REQUEST IS SUBJECT TO STIPULATIONS A THROUGH D. **APPROVE  
PLANNER:  
ADAM COPELAND**
- 8\* **RS07-035 – CONSIDERATION AND ACTION – MONFORT/RUTHRAUFF RURAL SUBDIVISION:** REVIEW A RURAL SUBDIVISION FOR MONFORTH/RUTHRAUFF PROPERTY NORTH OF DEER VALLEY ROAD BETWEEN 223 AND 225<sup>TH</sup> AVENUES. REQUEST IS SUBJECT TO STIPULATIONS A THROUGH C. **APPROVE  
PLANNER:  
LANCE FERRELL**

#### REGULAR AGENDA ITEM REQUIRING A PUBLIC HEARING:

- 9 **CUP08-023 – CONSIDERATION AND ACTION – GREENWAY AND REEMS DAYCARE:** REVIEW A CONDITIONAL USE PERMIT FOR GREENWAY AND REEMS DAYCARE LOCATED ON THE NORTHWEST CORNER OF GREENWAY AND REEMS ROADS. REQUEST IS SUBJECT TO STIPULATIONS A THROUGH D. **APPROVE  
PLANNER:  
ADAM COPELAND**
- 10 **CUP07-443 – CONSIDERATION AND ACTION – CULVER’S OF SURPRISE:** REVIEW A CONDITIONAL USE PERMIT FOR CULVER’S OF SURPRISE LOCATED AT THE SOUTHEAST CORNER OF BELL ROAD AND SARIVAL AVENUE. REQUEST IS SUBJECT TO STIPULATIONS A THROUGH E. **APPROVE  
PLANNER:  
LANCE FERRELL**

#### OPEN CALL TO PUBLIC:

##### CALL TO THE PUBLIC

Note: During this time members of the public may address the Commission on any item not on the agenda. At the conclusion of the open call, Commissioners may respond to criticism, may ask staff to review the matter or may ask that the matter be put on a future agenda. No discussion or action shall take place on any item raised.

#### CURRENT EVENTS REPORT

CHAIRPERSON AND COMMISSIONERS

#### CONSIDERATION AND ACTION TO HOLD AN EXECUTIVE SESSION:

Pursuant to A.R.S. § 38-431.03(A)(3), the Planning and Zoning Commission may go into executive session with the City Attorney for legal advice on any item listed on the agenda.

#### ADJOURNMENT:

POSTED: May 13, 2008

TIME: 10 a.m.

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Kathy S. Rice, Acting Director  
Community Development

**REQUEST TO SPEAK:** Comments pertaining to the Planning and Zoning Commission business are welcome. If you wish to address the Planning and Zoning Commission, please complete a Public Comment Form and present it to the secretary before the call to order for this meeting.

**SPECIAL NOTE:** Individuals needing reasonable accommodations, such as large print materials and oral/ ASL interpreters, should contact the Disability Advocate at 623.222.3821 (Voice) or 623.222.3802 (TTY/VP) at least three (3) business days prior to the event so arrangements can be made.

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**Surprise Planning & Zoning Commission**  
Jan Blair, Chair - Steve Somers, Vice Chair  
Matthew Bieniek, Ken Chapman, John Hallin, Robert Rein, Fred Watts



**City of Surprise Planning and Zoning Commission  
AGENDA**

**Tuesday, May 20, 2008 - 6 P.M.**

**Surprise City Hall**

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CHAIRPERSON AND COMMISSIONERS

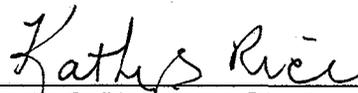
**CONSIDERATION AND ACTION TO HOLD AN EXECUTIVE SESSION:**

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**ADJOURNMENT:**

**POSTED:** May 13, 2008

**TIME:** 10 a.m.



Kathy S. Rice, Acting Director  
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**REQUEST TO SPEAK:** Comments pertaining to the Planning and Zoning Commission business are welcome. If you wish to address the Planning and Zoning Commission, please complete a Public Comment Form and present it to the secretary before the call to order for this meeting.

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**Surprise Planning & Zoning Commission**

Jan Blair, Chair - Steve Somers, Vice Chair  
Matthew Bieniek, Ken Chapman, John Hallin, Robert Rein, Fred Watts

**Item No. 2:**

Cancel July 1, 2008 Planning and Zoning Commission Meeting

**CITY OF SURPRISE**

**PLANNING AND ZONING COMMISSION  
12425 West Bell Road, Suite D-100  
Surprise, Arizona 85374**

**May 6, 2008**

**REGULAR MEETING MINUTES**

**CALL TO ORDER**

Chair Jan Blair called the Planning and Zoning Commission Meeting to order at 6 p.m. at the Surprise City Hall, 12425 West Bell Road, Suite D100, Surprise, Arizona 85374, on Tuesday, May 6, 2008.

**ROLL CALL**

In attendance with Chair Blair were Vice Chair Somers, and Commissioners Matthew Bieniek, Ken Chapman, John Hallin, Robert Rein and Fred Watts.

**PLEDGE OF ALLEGIANCE**

**PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT REPORT:** None

Commissioner Bieniek requested that Item 4 be removed from the Consent Agenda.

**AGENDA ITEMS REMOVED FROM CONSENT**

- **Item 4\*: SP07-268 – Consideration and Action – Sycamore Farms Towne Center**

Planner Bart Wingard stated that the applicant would like to change the wording of stipulation a:

The main access on Cactus Road will align correctly with Prasada Parkway prior to civil plan ~~approval~~ submittal.

Commissioner Bieniek made a motion to **approve SP07-268, Sycamore Farms Towne Center**, and adopt staff's findings, subject to stipulations 'a' through 'd' as amended. Commissioner Watts seconded the motion. The motion passed with a vote of 7 ayes.

**CONSENT AGENDA**

All items listed with an asterisk (\*) are considered to be routine by the Planning and Zoning Commission and were approved by one motion. There was no separate discussion of these items during this meeting.

Vice Chair Somers made a motion to approve the remainder of the **Consent Agenda**. Commissioner Rein seconded the motion. The motion passed with a vote of 7 ayes.

- **Item 2\*: Planning and Zoning Commission Minutes for April 15, 2008.  
Planning and Zoning Commission Workshop Minutes for April 1, 2008.**

- **Item 3\*: SP07-361 - Consideration and Action – Westfield Commons Master Site Plan, stipulations ‘a’ through ‘g.’**
- **Item 5\*: SP08-035 – Consideration and Action – Comerica Bank at Town Square, stipulations ‘a’ through ‘d.’**

## **REGULAR AGENDA ITEMS REQUIRING A PUBLIC HEARING**

### **Item 6: RZ07-275 – Consideration and Action – SWC Bell Road and 115<sup>th</sup> Avenue**

Planner Bart Wingard presented the project to the Commission. Staff recommended approval of **RZ07-275, SWC Bell Road and 115<sup>th</sup> Avenue**, subject to stipulation ‘a.’

In response to Commissioner Watts, Planner Wingard stated the surrounding lots are zoned C-3.

In response to Commissioner Rein, Planner Wingard stated there were no objections to the rezoning from residents during the outreach meeting.

Chair Blair opened the meeting for public comment. Hearing no comments from the public, Chair Blair closed the public hearing.

Commissioner Hallin made a motion to **approve RZ07-275, SWC Bell Road and 115<sup>th</sup> Avenue**, and adopt staff’s findings, subject to stipulation ‘a.’ Commissioner Somers seconded the motion. The motion passed with a vote of 7 ayes.

## **OPEN CALL TO PUBLIC**

Chair Blair called to the public to discuss any issues not noted on the agenda. Hearing no comments from the public, Chair Blair closed the call to the public.

**CURRENT EVENTS REPORT:** Assistant City Manager Katy Rice announced the memorial services for Joan Shafer will be Friday morning at 9 a.m. at Surprise Stadium and the gates will open at 8 a.m. This has been advertised as a public meeting.

## **CONSIDERATION AND ACTION TO HOLD AN EXECUTIVE SESSION**

**Pursuant to A.R.S. § 38-431.03(A)(3), the Planning and Zoning Commission may go into executive session with the City Attorney for legal advice on any item listed on the agenda.**

No request was made to call for an executive session.

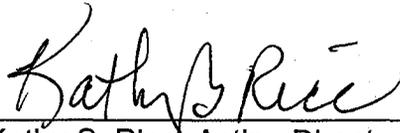
## **ADJOURNMENT**

Hearing no further business, Chair Blair adjourned the regular Planning and Zoning Commission meeting, Tuesday, May 6, 2008, at 6:06 p.m.

**STAFF PRESENT:**

Assistant City Attorney Jim Gruber, Fire Marshal Doug Helbig, Senior Planner Janice See, Planner Lance Ferrell, Planner Bart Wingard, Planner Vamshee Kovuru, Planner Nicole Green-Catten, Permit Technician Jamie Sullivan, Planning and Development Services Manager Berrin Nejad, Acting Community Development Director Kathy S. Rice, Planning and Zoning Commission Secretary Carol Dager and Debbie Perry.

**COUNCIL MEMBERS PRESENT:** None



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Kathy S. Rice, Acting Director  
Community Development Department

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Jan Blair, Chair  
Planning and Zoning Commission

# CITY OF SURPRISE

## PLANNING AND ZONING COMMISSION WORKSHOP

12425 West Bell Road, Suite D-100  
Surprise, Arizona 85374

May 6, 2008

### MINUTES

#### Call to Order:

Chair Blair called the Planning and Zoning Commission workshop meeting to order at 5:03 p.m. in the Surprise City Hall, 12425 West Bell Road, Suite D100, Surprise, Arizona 85374, on Tuesday, May 6, 2008.

In attendance with Chair Blair were Vice Chair Steve Somers, Commissioners Matthew Bieniek, Ken Chapman, John Hallin, Robert Rein, and Fred Watts.

#### PRESENTATION:

Kathy Rice opened the meeting introducing Senior Transportation Planner Randy Overmyer who presented Surprise transportation issues and planning.

Maricopa County's population grew about 45% each decade since 1960. From 1990-2000 population went up by 950,000 and registered vehicles increased 810,000 during that same decade. In the future, this region will continue to grow. In 2000, there were 3 million people, today there are 4 million, over 5 million are projected by 2020, over 6 million by 2030, and a projected 7.5 million people by 2040 in Maricopa County.

Surprise population census shows 37,000 in 2000 and projected for 115,000 in 2010, 213,000 by 2020, and up to 400,000 in Surprise by 2030, meaning a lot more demand on roadway network.

Mr. Overmyer displayed some maps that indicated by 2020 all of the development pressure will be in the west valley.

The transportation commission was asked to develop a current deficiencies report and to come up with a strategic plan for what needed to be done to address some of the problems the city had with mobility today. The three most severe deficiencies were Bell Road, US 60/Grand Avenue, and interim 303 Estrella Freeway.

Currently Bell Road is the only east/west crossing across Agua Fria River in a span of 10 miles. Bell Road has the highest traffic volume of any surface arterial roadway in Arizona; almost 70,000 vehicles a day. Some of the remedies include Intelligent Information System (ITS) improvements which have added cameras between Grand Avenue and Loop 101. There are also fiber optics controlling those signals which have made a significant improvement on the operation of the roadway. Also we have re-stripped Grand and Bell intersection and have changed signals to a simultaneous left turn, which gives more green time for both Bell Road and Grand Avenue. The

transportation commission hopes the new retail and services development in Surprise will reduce the amount of trips leaving the city, reducing the trips on Bell Road.

For SR 303, we have received regional funding guaranteed for that roadway. It is currently in Phase 2, which is the period between 2011 and 2015. We have received an advancement fund of \$22 million from ADOT. Those funds are for advance construction of the intersects at SR 303 and Bell Road, SR 303 and Cactus Road, and SR 303 and Waddell Road. to try and get some of the infrastructure in place.

For Grand Avenue/US 60, there is regional funding available in fiscal 2009. Grand Avenue from Loop 101 to the 303 will be widened to a full 6 lane cross section.

For future needs MAG just completed a study of Surprise, west of SR 303 and North of the 303. In build out conditions that area will have 3 million people.

Commuter Rail Strategic Plan – Study being done at MAG, looking at the possibility of using the BNSF along Grand Avenue between downtown Phoenix and Surprise and will begin in fiscal 2009.

Michigan's Boulevards – Visited Detroit area to observe their boulevards which are parkway designs. Medians direct left turns to a series of u-turns, or indirect lefts, to take left turns out of the intersection. Commuters that want to make a left would go through the intersection make a u- turn then make a right.

Injury accidents reduced 45-75% by taking left turns out of the intersection. Indirect lefts also provide more green time for the 6 lanes going through. In a conventional intersection there are 10 conflict points. With indirect lefts the conflict points are reduced to 5. Signage is essential to make an indirect left system work.

In response to Commissioner Hallin's question, Mr. Overmyer stated this design does fit our parkway right of way width design and that we would have no problems accommodating the design.

In response to Commissioner Hallin's question regarding fishhook signs causing immediate weaving over across several lanes of traffic, Traffic Engineer Dr. John Abraham explained that signal is a combo of 3. There is the signal at the main intersection and 2 for cross overs. The signals will help you in merging as they go on at the same time.

In response to Commissioner Rein's question, Mr. Overmyer explained that Deer Valley is currently being designed and they are also working with county to design Beardsley. Both of those are being designed as bridge crossings over the Agua Fria. There are concerns from the county regarding cost.

In response to Commissioner Rein's question, Mr. Overmyer stated that as they design Northern Avenue in Glendale, it is a facility that is supposed to have signals at the ½ mile and grade separated interchanges at the mile. It's a lot more expensive than parkway traffic, estimating a cost of \$60 million a mile.

Chair Blair voiced a concern regarding the intersection at Grand Avenue and Bell Road and a right-hand turn lane. Commuters are cutting through the Olive Garden/Red Lobster parking lot to make right-hand turn when the car in front isn't turning. Mr. Overmyer stated the space at that intersection is very tight. The Grand Avenue enhancement project is looking at improvements with that intersection. Possibilities include an overpass or an under pass but it is a very controversial issue.

**CONSIDERATION AND ACTION TO HOLD AN EXECUTIVE SESSION:**

**Pursuant to A.R.S. § 38-431.03(A)(3), the Planning and Zoning Commission may go into executive session with the City Attorney for legal advice on any item listed on the agenda.**

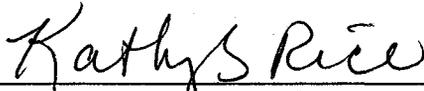
There was no request made to call for an executive session.

**ADJOURNMENT:**

Hearing no further business, the Planning and Zoning Commission workshop meeting was adjourned on Tuesday, May 6, 2008, at 5:45 p.m.

**STAFF PRESENT:**

Assistant City Attorney Jim Gruber, Senior Planner Janice See, Senior Transportation Planner Randall Overmyer, Planner Vamshee Kovuru, Traffic Engineer Dr. John Abraham, Acting Community Development Director Kathy S. Rice, and Planning and Zoning Commission Secretary Carol Dager and Debbie Perry.



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Kathy S. Rice, Acting Director  
Community Development Department

**CITY OF SURPRISE  
COMMUNITY DEVELOPMENT DEPARTMENT**

**SP07-262**

**SITE PLAN**

for:

**Discount Tire**

**PLANNING AND ZONING COMMISSION**

Hearing Date: **May 20, 2008**

**STAFF:**

Lance Ferrell, 623.222.3135

**LOCATION:**

Generally on the southeast corner of Bell Road and Sarival Avenue.

**DESCRIPTION OF  
THE REQUEST:**

Approval of a Site Plan.

**SUMMARY ANALYSIS:**

The applicant is requesting a Site Plan approval for Discount Tire on approximately one gross acre. The property is zoned PAD (Planned Area Development, Mountain Vista Ranch), Surprise, AZ, Section 6, T3N, R2W.

**SUGGESTED MOTION:**

**I move to approve SP07-262, a Site Plan for Discount Tire, and adopt staff's findings and stipulations 'a' through 'e.'**

City of Surprise  
Planning and Zoning Division

## EXECUTIVE SUMMARY

SP07-262  
Discount Tire

**APPLICANT**

Sterling Margetts  
Kimley-Horn and Associates, Inc.  
7878 N 16<sup>th</sup> Street  
Phoenix, AZ 85020  
P: 602.944.5500  
F: 602.944.7423  
[Sterling.margetts@kimley-horn.com](mailto:Sterling.margetts@kimley-horn.com)

**OWNER:**

Don Thrailkill  
Halle Properties, LLC  
20225 N. Scottsdale Road  
Scottsdale, AZ 85255  
P: 480.606.5781  
F: 480.606.4370  
[dthrailkill@discounttireco.com](mailto:dthrailkill@discounttireco.com)

**HEARING DATE:**

May 20, 2008

**STAFF:**

Lance Ferrell

**LOCATION:**

Generally on the southeast corner of Bell Road  
and Sarival Avenue.

**DESCRIPTION of the REQUEST:**

Approval of a Site Plan.

**STAFF RECOMMENDATION:**

Approval

**SUMMARY ANALYSIS:**

The applicant is requesting a Site Plan approval for Discount Tire on approximately one gross acre. The property is zoned PAD (Planned Area Development, Mountain Vista Ranch), Surprise, AZ, Section 6, T3N, R2W.

## HISTORY

1. A final plat was approved by City Council on August 10, 2006, plating five commercial parcels.
2. A Planned Area Development Amendment was approved administratively on March 18, 2007, that moved the C-2 (Community Commercial) to run parallel with Bell Road and move the multi-family to run along the single-family residential property line to the south.
3. A Commercial Subdivision was approved by City Council on September 13, 2007, that divided the 40-acre parcel into eight commercial lots and the one multi-family lot to the south.
4. A master site plan was approved on May 6, 2008.
5. Currently there is an application for a site plan for Discount Tire.

## STAFF ANALYSIS

The applicant has submitted a site plan known as Discount Tire which is approximately one acre located on Bell Road between Sarival Avenue and Sunrise Boulevard. Discount Tire is a 6,947 s.f. retail building

**Circulation:**

Access to the site will be from two points on a private road that runs parallel to Bell Road.

Pedestrian circulation is prevalent throughout the site. A five-foot-wide sidewalk will be installed along Bell Road and the private road to the east and south of Discount Tire.

**Architecture:**

The architectural theme of Discount Tire is consistent with the goals and ideas set forth in the City of Surprise Design Guidelines. In addition, the design follows the color and material palette of the recently approved Westfield Commons Master Plan. Special attention was given to reducing the corporate look of the typical Discount Tire. Building orientation and the selection of building materials was key to creating a successful design.

Building materials consists of a material that resembles stucco, split-face cmu and cultured stone. Due to the presence of cultured stone on the Northwest Ranch theme wall, cultured stone is used at the fascia and pilasters of the building. The roofing system is comprised of a parapet roof capped with a stucco cornice. Metal canopies occur wherever storefront glazing is present. In addition to providing shading, the canopies visually connect with the Westfield Commons Shop buildings.

Important to this project was maintaining the corporate identity of Discount Tire. The applicant made several successions in terms of building details, materials and color. The final result reflects a diligent design effort and is representative of similar Discount Tire stores in the Valley.

**Landscaping:**

The landscape design for this project will utilize drought resistant plant material and provide adequate screening for surrounding uses. The design conforms to the adopted Planning and Design Guidelines. Turf is only utilized in active recreational areas and a majority of the perimeter buffering trees will be 48-inch box to provide an instant established atmosphere.

**Departmental Review:** All departments are recommending approval of the site subject to all conditions of approval.

**Traffic Division:** Traffic had no concerns regarding this project.

**Fire Department:** Fire mentioned the Fire Department Connection needed to be on the wall near the front door.

**Planning Division:** Planning mentioned that five-foot sidewalks needed to be added.

**Building Safety Division:** The building safety division stated that all plans will have to conform to all current building codes at time of submittal.

**Water Services Department:** The water department had the following comment: Non-Residential monitoring manhole(s) are required on all project laterals before entering the street sewer. The manhole(s) must be accessible to COSWSD 24 hrs/day/365, through ROWs or exclusive easement deeded to the city. The applicant has provided these requirements.

**Engineering Department:** The engineering department had concerns that all offsite improvements be done to adjacent street right-of-ways in accordance to the Planning and Design Guidelines. All technical comments were addressed.

**FINDINGS**

1. Staff finds that the proposed site plan complies with the PAD for Mesquite Mountain Ranch.
2. Staff finds that the proposed site plan complies with the master site plan known as Westfield Commons.
3. Staff finds that the proposed development meets the guidelines that are set forth in the Planning and Design Guidelines Chapter 1 through 9.
4. Staff finds that the proposed development is consistent with the Surprise General Plan 2020 Medium Density Residential which allows for shops and services.

**STIPULATIONS**

**REQUIRED ACTIONS.** The applicant and/or owner shall comply with the following list of stipulations of Case SP07-262.

- a. Prior to delivery of any combustible material to the site, fire department access and fire protection systems shall be completely operational in accordance with the approved plans by the Fire Chief and the City Engineer.
- b. All parcel numbers shall be active prior to submittal of any building permit and shall stay active throughout the construction process until a Letter of Compliance and/or Certificate of Occupancy is issued. Any subdivision or lot split shall be reviewed and approved by the City of Surprise prior to recordation with Maricopa County.
- c. The applicant shall include all approved stipulations related to the project on the title sheet of construction plans prior to plan check submittal.
- d. Applicant or property owner must provide the city with an approved earth moving permit by Maricopa County Environmental Services Department prior to release of any permits.
- e. Approval of this site plan is not to be construed as an approval of any violation of the current adopted Surprise Municipal Code at the time of submission.

# Discount Tire





**Arizona Department of Transportation**  
**Intermodal Transportation Division**

206 South Seventeenth Avenue Phoenix, Arizona 85007-3213

Janet Napolitano  
Governor

Victor M. Mendez  
Director

Sam Elters  
State Engineer

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JUL 27 2007

COMMUNITY DEVELOPMENT

July 23, 2007

Ms. Carol Dager  
City of Surprise Planning Department  
12425 West Bell Road Suite D100  
Surprise, Arizona 85374

RE: **Discount Tire at Westfield/ SP07-262/ SWC Bell Road & Sarival**

Dear Ms. Dager:

Thank you for your notification regarding the Site Plan on the above referenced subject. After a complete review, we have concurred that the proposed project at this time will have no impact on our highway facilities in this area.

**ADOT does reserve the right to review and comment any further development plans, changes and or additions for this site, as to any impact they may have on the State Highway System.**

Should you have any questions, you may contact me at 602-712-8876, or in writing at 205 S. 17<sup>th</sup> Avenue, Right of Way Project Management Section, MD 612E, Phoenix, Arizona 85007. Thanking you in advance for your cooperation.

Sincerely,

Annette Close  
Administrative Assistant III  
Right of Way Project Management  
[aclose@azdot.gov](mailto:aclose@azdot.gov)



2001 Award Recipient



DEPARTMENT OF THE AIR FORCE  
AIR EDUCATION AND TRAINING COMMAND

13 August 2007

Mr. James R. Mitchell  
Director, Community Initiatives Team  
56th Fighter Wing  
14185 West Falcon Street  
Luke AFB AZ 85309-1629

RECEIVED  
AUG 20 2007  
COMMUNITY DEVELOPMENT

Ms. Carol Dager  
City of Surprise Planning Department  
12425 West Bell Road  
Surprise AZ 85374

Re: Case #SP07-262 Discount Tire at Westfield Commons

Dear Ms. Dager

Thank you for the opportunity to provide comments on the Site Plan Application for Discount Tires at Westfield Commons. Discount Tire will be located on 1 gross acre east of the southeast corner of Bell and Sarival Roads, in the Westfield Commons commercial center. Plans call for the construction of a 6,947 square foot free standing building for automotive use. The site is approximately 2 3/4 miles outside the 1988 JLUS 65 Ldn, "high noise or accident potential zone" as defined by A.R.S. § 28-8461 and is within the "territory in the vicinity of a military airport" also defined by A.R.S. § 28-8461.

As described, Discount Tire will not negatively impact the flying operations at Luke AFB. Since this site is located within the "territory in the vicinity of a military airport," it will be subjected to approximately 165 over flights a day, with some as low as 1,500 feet above ground level. We recommend you review the sound attenuation requirements found in A.R.S. § 28-8482. In addition, a strong notification program on the part of the applicant is essential to inform the tenant about Luke AFB operations. We also recommend a review of the Luke AFB web site at <http://www.luke.af.mil>, Community Interests and Community Initiatives links, for further information.

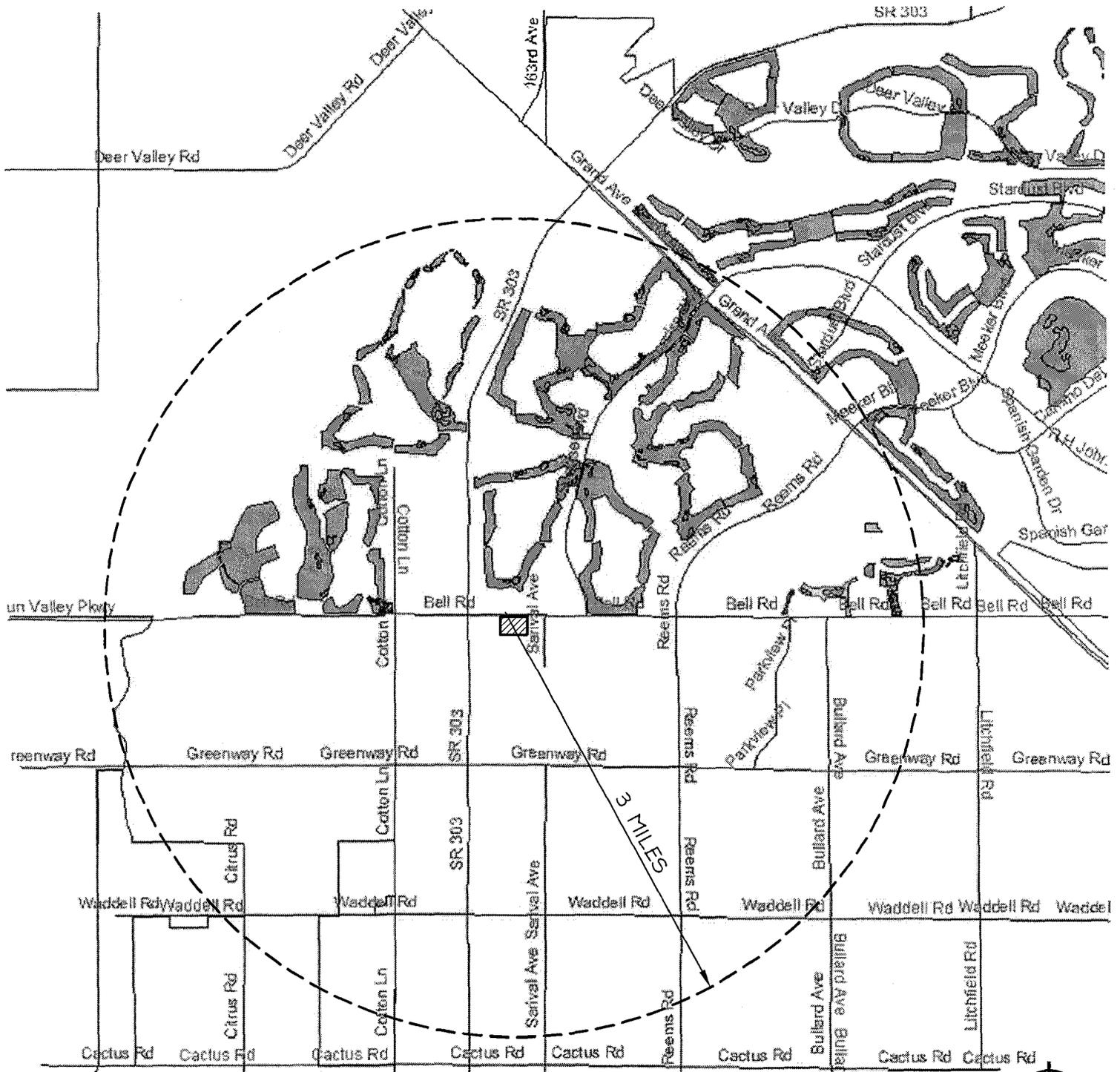
If there are any questions, please contact my Community Planner, Mr. Bob Dubsy, at (623) 856-6195.

Sincerely

For  
JAMES R. MITCHELL

cc:

Colonel Henry M. Reed III, Vice Commander, 56th Fighter Wing



**3 MILE RADIUS - VICINITY MAP RECEIVED**

**SURPRISE DISCOUNT TIRE CO.  
 SWC BELL & SARIVAL - LOT 4  
 SURPRISE, ARIZONA**

**APR 11 2008 04/07/08**

**COMMUNITY DEVELOPMENT SP07-262**

**Architectural Resource Team, Inc.**



99 East Virginia Ave, Suite 120  
 Phoenix, Arizona 85004-1195  
 602.307.5399 t 602.307.5409 f  
 www.art-team.com

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APR 11 2008

COMMUNITY DEVELOPMENT

BELL ROAD

57+DBA TO 69+DBA  
Leg RANGE  
BELL ROAD

35' BLDG  
SETBACK

65'  
ROW

207.42'  
S89.24'05"E

56.67'

PROPOSED  
WESTFIELD  
COMMONS  
LOT 4  
C-2  
ZONING  
DISCOUNT  
TIRE  
BLDG HT.  
= 26'-0"  
6,947 S.F.

112.5'

210.01'  
N00.35'35"E

210.01'  
500'35'35"W

207.42'  
N89.24'05"W

PROPOSED WETFIELD COMMONS  
LOT 8  
C-2 ZONING

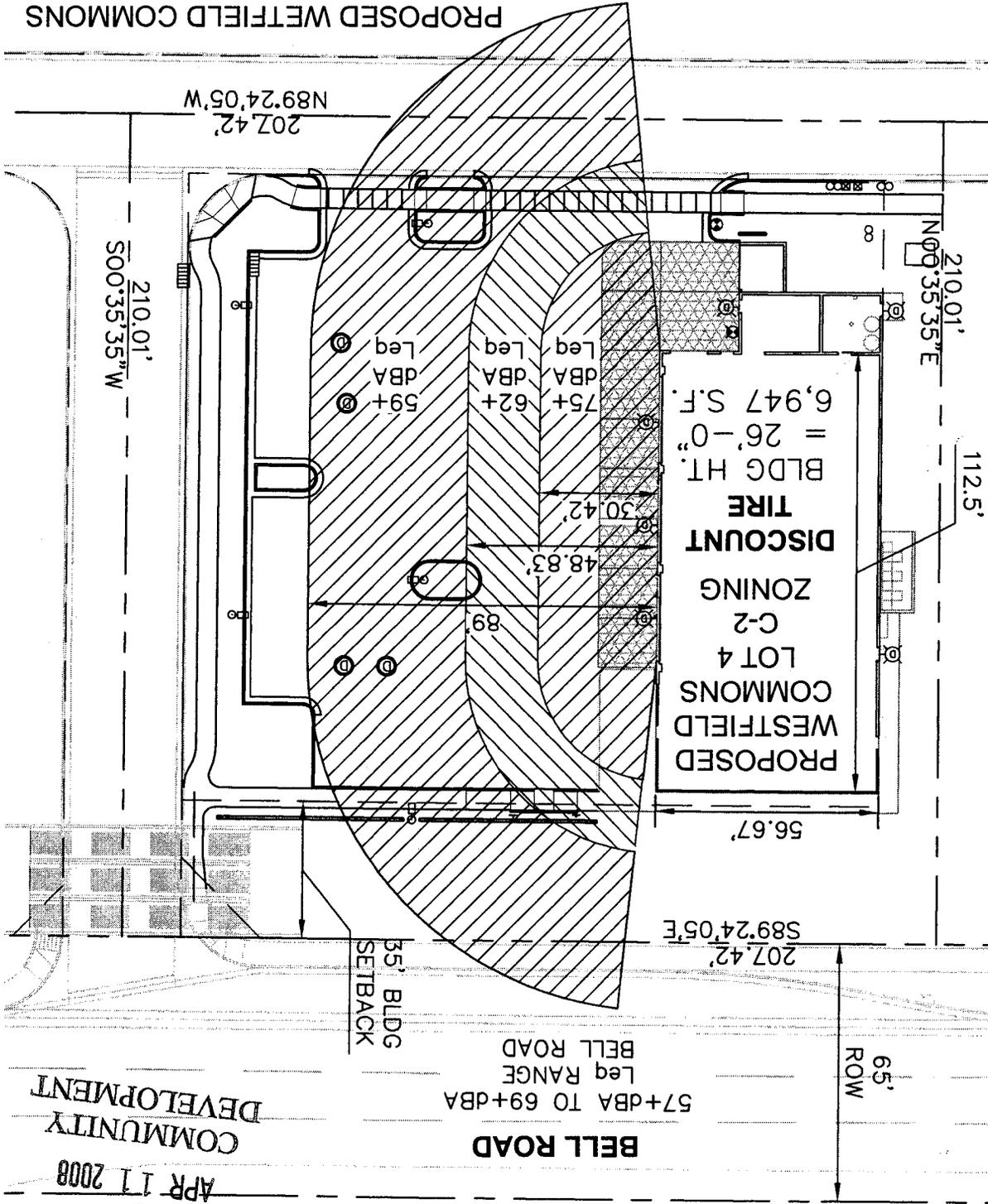
ACOUSTIC EXHIBIT

N.T.S.

Kimley-Horn  
and Associates, Inc.



N



# *Site Plan Application Narrative*

## **Discount Tire**

*Near the SEC of Bell Road and Sarival  
Road in Surprise, Arizona  
SP07-262*

### **Prepared for:**

*Discount Tire  
20225 N. Scottsdale Road  
Scottsdale, Arizona 85255*

### **Prepared by:**

*Kimley-Horn and Associates, Inc.  
1255 W. Baseline Road, Suite 200  
Mesa, Arizona 85202*

091789010  
© 2007 Kimley-Horn and Associates, Inc  
December 2007

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COMMUNITY  
DEVELOPMENT

## **SITE PLAN NARRATIVE**

### **1.0 Site Plan**

The proposed project is a Discount Tire Co. Store, as part of the proposed Westfield Commons commercial subdivision located near the southeast corner of Bell Road and Sarival Road in the City of Surprise, Arizona. The proposed Discount Tire building will be approximately 6,947 square feet in size, with an overall site area of approximately 1.00 acre.

### **1.1 Location/Surrounding Development**

The project is located on Lot 4 proposed within the Westfield Commons commercial subdivision, having a parcel size of 1.00 acre. Adjacent to the site is Bell Road to the north and the proposed Lots 3, 5, and 8 of the Westfield Commons commercial subdivision to the west, east, and south respectively.

Current zoning for the parcel is C-2, which allows for the proposed use of the Discount Tire Store, including the sale and installation of tires and wheels. The surrounding lots are also zoned C-2 by the City of Surprise.

No off-site improvements are anticipated as part of the Discount Tire development. Access to the site will be provided from Bell Road by a common access driveway to be constructed with the master infrastructure proposed with Westfield Commons. Discount Tire delivery trucks are anticipated to enter and exit the site via the proposed common access driveway and drive isles along the southern boundary of the site, all of which will be constructed by the Master Developer of Westfield Commons commercial development.

### **1.2 Operational Use**

The Discount Tire Store will operate Monday thru Friday from 8am to 6pm, on Saturday from 8am to 5pm, and closed on Sundays. The Discount Tire building has been situated on the site to have the bay doors face east away from the Bell Road and the adjacent residential use to the north. A noise study prepared by Wardin-Cockriel and Associates indicates the anticipated noise levels from the Discount Tire Store are less than the existing ambient noise levels produced from Bell Road adjacent to the site (see submitted noise study for reference). An exhibit indicating anticipated noise levels is included at the end of this narrative.

### **1.3 Phasing**

The Discount Tire development will occur in a single phase. Infrastructure around the site, including water, sewer, drainage channel, and perimeter common access drive isles that serve the Discount Tire site, will be constructed by the Master Developer of Westfield Commons prior to the completion of the Discount Tire development.

## **1.4 Streets**

Bell Road - A 65-foot wide half street right-of-way is dedicated along the Bell Road alignment. Bell Road is classified by the City of Surprise as a Major Arterial. Existing half street improvements include: curb, gutter and sidewalk. A right-turn lane and driveway entrance are proposed to be constructed north of the Discount Tire site on Bell Road with the Westfield Commons infrastructure improvements.

Private Access Roadway – As a part of the Westfield Commons infrastructure, a right-turn lane on Bell Road and a private access drive will be built adjacent to the Discount Tire development. The Discount Tire Store will utilize this common access drive to enter and exit the proposed site.

## **1.5 Water**

The Discount Tire Store is located in the City of Surprise water service area. The proposed Westfield Commons infrastructure improvements will provide an 8" fire line, a 1¼" domestic meter, and a ¾" irrigation meter to satisfy fire and domestic water demands for the store.

## **1.6 Wastewater**

The Discount Tire Store will be served by the City of Surprise for sanitary sewer. A 6" sewer service from the 8" on-site sewer main is proposed to serve the Discount Tire Store building per the Westfield Commons improvement plans.

## **1.7 Grading and Drainage**

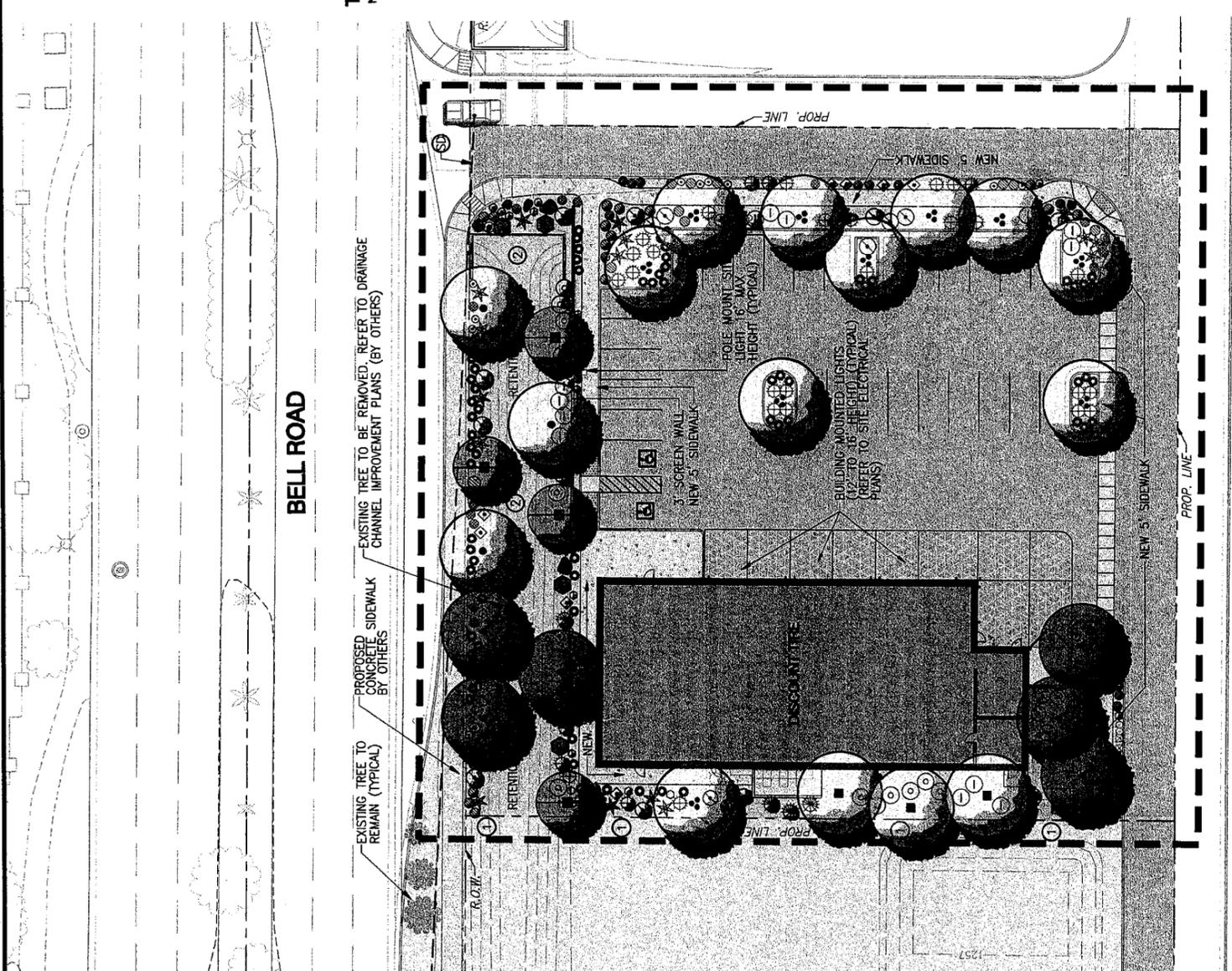
The existing topography of the site for the Discount Tire Store generally slopes from the northwest to the southeast. In order to minimize grading and provide for optimal on-site drainage plan, the site will be graded in a similar fashion with the low point of the site being at the southeast corner. A catch basin is proposed at this location to capture the site generated storm water.

The City of Surprise requires that all runoff from the 100-year 2-hour event be retained on-site and be disposed within 36 hours. Based on the City of Surprise design criteria, the required on-site retention for this site is 0.18 acre-feet (AC-FT). This required retention will be stored on site in underground pipe retention. Approximately 154' of underground 8 foot diameter, 16 gauge, corrugated metal piping will provide 0.18 AC-FT of retention. The runoff retained by this underground facility will be disposed with the use of drywells. Refer to the preliminary drainage report and the preliminary grading and drainage plan for retention and drywell locations as well as the drywell percolation rates and drainage times.

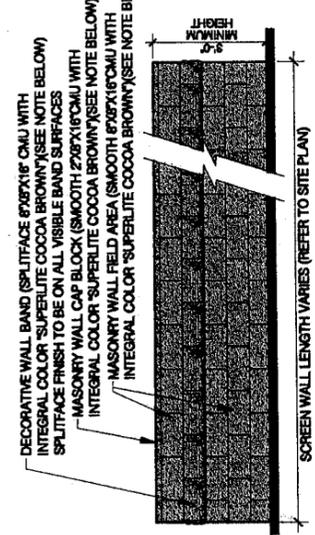
The Westfield Commons subdivision Master Developer has proposed an earthen channel to route existing off-site flows from Bell Road around the perimeter of the subdivision. The high water level for the adjacent proposed earthen drainage channel is at an elevation of 1261 adjacent to the Discount Tire development. The finished floor elevation of the Discount Tire Store is proposed at an elevation of 1262, providing a foot of freeboard as required by the City of Surprise.



REV	DESCRIPTION	DATE	BY	APP



**BELL ROAD**



**TYPICAL 3' HEIGHT PARKING SCREEN WALL DETAIL**  
N.T.S.

**LANDSCAPE MATERIAL LEGEND**

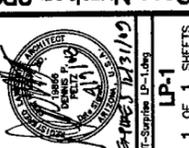
SYMBOL	BOTANICAL/COMMON NAME	SIZE	QUANTITY
	<b>TREES</b>		
	Cercidium Hybrid	48" Box Multi-Trunk	10
	Desert Museum Palo Verde	(Thornless)	
	Cercidium Hybrid	24" Box Multi-Trunk	3
	Blue Palo Verde		
	Chilopsis linearis	24" Box Multi-Trunk	4
	Art's Seedless		
	Seedless Desert Willow		
	Olivea tesota	48" Box Multi-Trunk	6
	Ironwood		
	Prosopis velutina	36" Box Multi-Trunk	3
	Native Mesquite		
	Note: Multi-Trunk refers to multiple trunk tree (Minimum 3 Trunks) or low branched tree (6 - 18" H. Max.) single trunk tree.		
	<b>SHRUBS</b>		
	Condalia californica	5 Gallon	25
	Florida Fan	5 Gallon	14
	Justicia californica	5 Gallon	22
	Chuparoso		
	Ruellia perisularis	5 Gallon	27
	Desert Ruella		
	<b>GROUND COVERS</b>		
	*ST Chrysanthemum	1 Gallon	79
	*ST Chrysanthemum	1 Gallon	32
	*ST Dianthus	1 Gallon	16
	*ST Penstemon	1 Gallon	3
	*ST Penstemon	1 Gallon	2
	*ST Penstemon	1 Gallon	32
	*ST Verbena	1 Gallon	23
	*ST Gooding's Verbena	1 Gallon	10
	<b>CACTI / SUCCULENTS / ACCENTS</b>		
	Agave parviflorum	5 Gallon	6
	Agave attenuata	1 Gallon	38
	Asclepias tuberosa	5 Gallon	5
	Desert Milkweed		
	Dasylium wheeleri	5 Gallon	5
	Desert Spoon		
	Hesperaloe parviflora	5 Gallon	5
	Opuntia	5 Gallon	5
	Opuntia	5 Gallon	5
	Purple Prickly Pear		
	<b>ROCK GROUND COVER</b>	3/4" Screened	11,640 S.F.
	Decomposed Granite, installed over all ungraded site areas		
	See Notes		

**McCloskey + Peltz, Inc.**  
LANDSCAPE ARCHITECTS  
One West Elliot Road, Suite 110  
Tempe, Arizona 85284-1310  
(480) 938-7774 or 638-4777

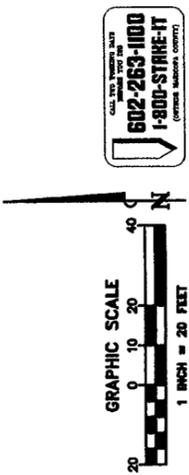


SEC SARVIAL ROAD AND BELL ROAD  
**LANDSCAPE PLANTING PLAN**  
SURPRISE, ARIZONA

PROJECT No. 91786010  
SCALE (H): 1"=20'  
SCALE (V):  
DRAWN BY: MFI  
DESIGN BY: MFI  
CHECK BY: DP  
DATE: 4/08/08



Case Number: SP07-262  
LP-1  
1 OF 1 SHEETS



LANDSCAPE IRRIGATION  
Drip irrigation shall be provided to all landscape plants in accordance with current City of Surprise requirements.

**LANDSCAPE MATERIAL STANDARDS**  
All landscape plant material shall meet or be in accordance with Arizona Nursery Association Standards or Specifications.

**LANDSCAPE MAINTENANCE**  
Landscape maintenance shall be the responsibility of the property owner/management company for all project property areas within limit of landscape improvements.

**PLANT APPROVALS**  
All landscape plant material shall be reviewed and approved at the nursery by the landscape architect prior to delivery to the site.

LANDSCAPE PLANTS WITHIN SIGHT DISTANCE CLEAR ZONE ZONES SHALL MEET THE FOLLOWING CRITERIA: Tree canopies shall be maintained at 7'-0" above top of curb. Shrubs and ground cover plants shall not exceed 24" above top of curb at maturity. (Per ASHTO Standards)

**VEHICULAR SIGHT VISIBILITY**  
LANDSCAPE CLEAR ZONE STANDARDS

FACE OF CURB  
NEW VEHICULAR SIGHT DISTANCE  
FACE OF CURB  
FACE OF CURB

**LANDSCAPE NOTES**

- RESTORATION: existing landscape areas, surfaces and irrigation systems impacted by any work under this contract. Restore all existing landscape areas in accordance with the Landscape Restoration Notes indicated within these documents. At a minimum, all irrigation shall be in accordance with A.S.G. standards. All restoration work shall be completed to the satisfaction of the City of Surprise.
  - DRAINAGE CHANNEL IMPROVEMENTS**  
Bell Road channel grading and drainage improvements including existing vegetation removals to be completed by others. All landscape and irrigation improvements including decomposed granite and gravel cover to be installed as part of Discount fire site improvements.
- All changes are to be approved by the City of Surprise planning department.
- Plant material is to be located at least 3 feet from any fire hydrant or fire department connection.
  - All utility boxes and structures are to be screened from view.

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APR 11 2008  
COMMUNITY DEVELOPMENT

The Designer does not warrant and is not responsible for all dimensions. Do not scale the drawing - all notes and dimensions are to be used. The Designer does not warrant and is not responsible for all dimensions. Do not scale the drawing - all notes and dimensions are to be used.

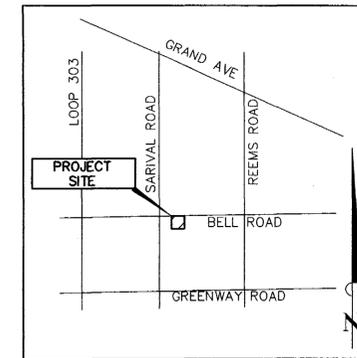
# SITE PLAN

FOR

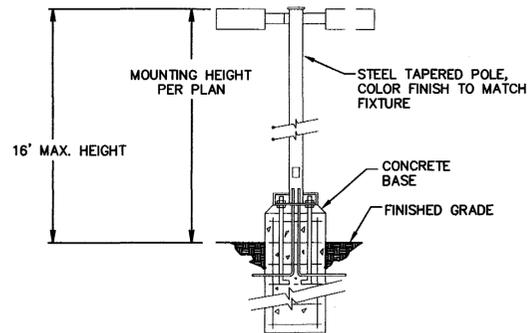


THE CO. INC.

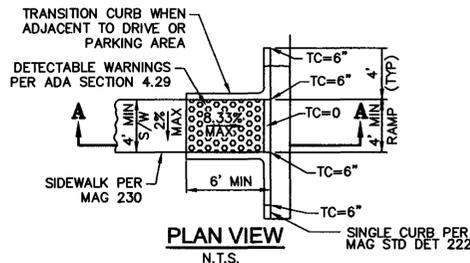
## SEC OF BELL ROAD AND SARIVAL ROAD SURPRISE, ARIZONA A PORTION OF THE WESTFIELD COMMONS DEVELOPMENT



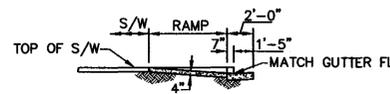
VICINITY MAP  
CITY OF SURPRISE  
N.T.S.



SITE LIGHT DETAIL  
N.T.S.

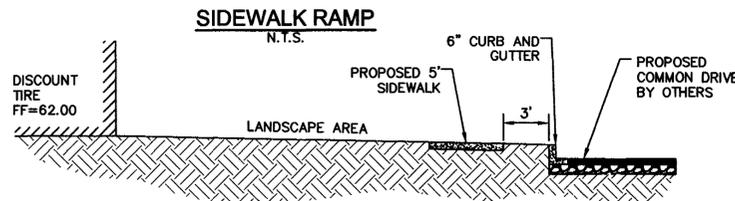


PLAN VIEW  
N.T.S.

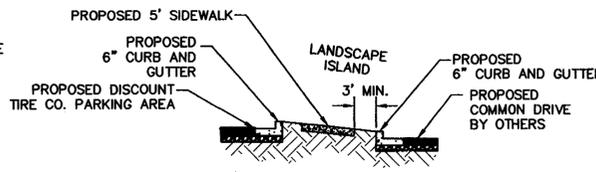


SECTION A-A  
N.T.S.

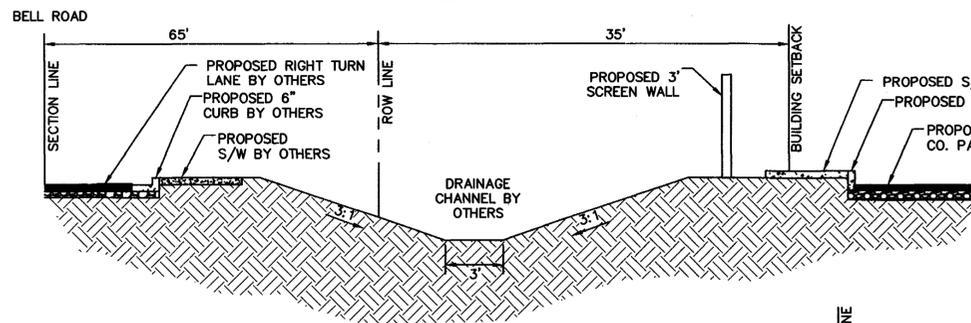
NOTE: CONTROL ELEVATIONS SHOWN HERE ARE IN RELATION TO THE GUTTER. GUTTER ELEVATION = 0.



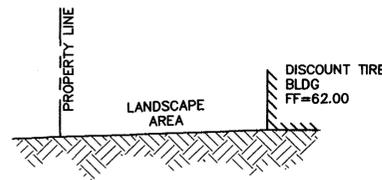
SECTION B  
N.T.S.



SECTION C  
N.T.S.



SECTION D  
N.T.S.



SECTION E  
N.T.S.

### OWNER/DEVELOPER

DISCOUNT TIRE CO. INC.  
20225 N. SCOTTSDALE ROAD  
SCOTTSDALE, AZ 85255  
TEL. NO. (480) 606-6000  
CONTACT: DON THRAIKILL

### CIVIL ENGINEER

KIMLEY-HORN AND ASSOCIATES, INC.  
1255 WEST BASELINE ROAD  
SUITE 200  
MESA, ARIZONA 85202  
TEL. NO. (480) 755-4444  
FAX NO. (480) 755-4445  
CONTACT: STERLING MARGETTS

### ARCHITECT

ART ARCHITECTS  
99 E. VIRGINIA AVE.  
SUITE 120  
PHOENIX, AZ 85044  
TEL. NO. (602) 307-5399  
FAX NO. (602) 307-5409  
CONTACT: KEVIN ULASSI

### LANDSCAPE ARCHITECT

MCCLOSKEY PLETZ INC.  
ONE WEST ELLIOT ROAD  
SUITE 100  
TEMPE, AZ 85284  
TEL. NO. (480) 838-4777  
FAX NO. (480) 831-1774  
CONTACT: DENNIS PELTZ

### BENCHMARK

PER OLSSON ASSOCIATES, THE BENCHMARK IS A 2" ALUMINUM MARICOPA COUNTY BRASS CAP DOWN 0.1' IN HOLE IN PAVEMENT. LOCATED ON SOUTHWEST SIDE OF INTERSECTION OF GREENWAY ROAD AND SARIVAL ROAD. ELEVATION = 1251.47' (CITY OF SURPRISE DATUM) (NAD 88)

### BASIS OF BEARING

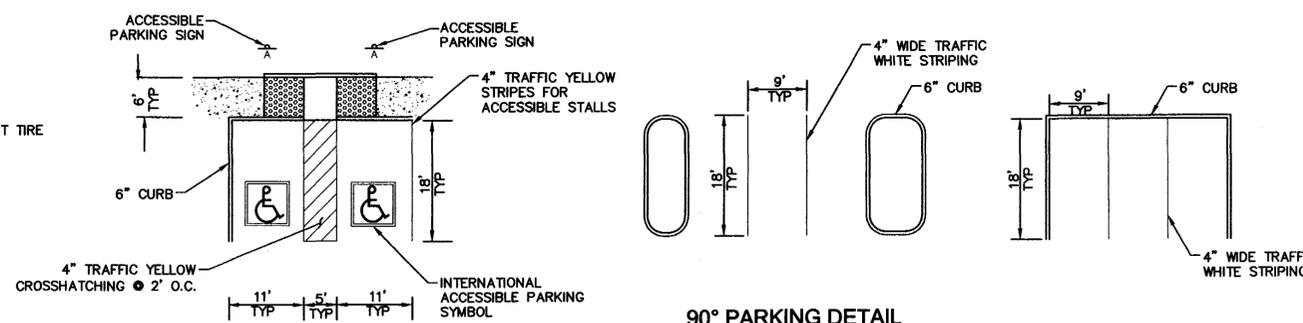
PER OLSSON ASSOCIATES, THE BASIS OF BEARING IS THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 6, TOWNSHIP 3 NORTH, RANGE 1 WEST. SAID LINE BEARING S00°31'47"W.

### SHEET INDEX

SHEET	DESCRIPTION
CV	COVER SHEET
PL	PRELIMINARY PROJECT LAYOUT
SP	PRELIMINARY SITE PLAN
GD	PRELIMINARY GRADING AND DRAINAGE PLAN
UT	PRELIMINARY UTILITY PLAN

### LEGAL DESCRIPTION

LOT 4 OF WESTFIELD COMMONS SUBDIVISION AMENDED, ACCORDING TO BOOK 954 OF MAPS, PAGE 5, RECORDS OF MARICOPA COUNTY, ARIZONA.



90° PARKING DETAIL

NOTE: STALLS ALONG NORTHERN CURB LINE ARE 20' IN LENGTH, ALL OTHERS ARE ONLY 18'.

NOTE: ALL ACCESSIBLE STALLS ARE VAN ACCESSIBLE

NOTE: NO PARKING OVERHANG INTO LANDSCAPE AREA



PRELIMINARY  
FOR REVIEW ONLY  
NOT FOR CONSTRUCTION PURPOSES  
Kimley-Horn and Associates, Inc.  
ENGINEERING, PLANNING AND ENVIRONMENTAL CONSULTANTS  
ENGINEER S. HANEY  
PE NO. 37059 DATE 02/08



CV  
01 OF 05 SHEETS

SEC SARIVAL ROAD AND BELL ROAD  
COVER SHEET  
SURPRISE, ARIZONA

PROJECT No.  
91789010  
SCALE (H): NONE  
SCALE (V): NONE  
DRAWN BY: DT  
DESIGN BY: STM  
CHECK BY: SH  
DATE: 02/07/2008

789010CV.dwg  
CV  
01 OF 05 SHEETS

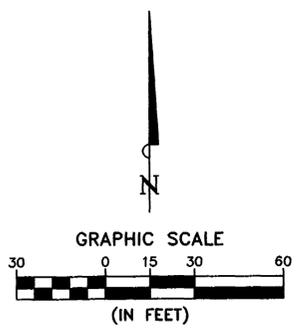
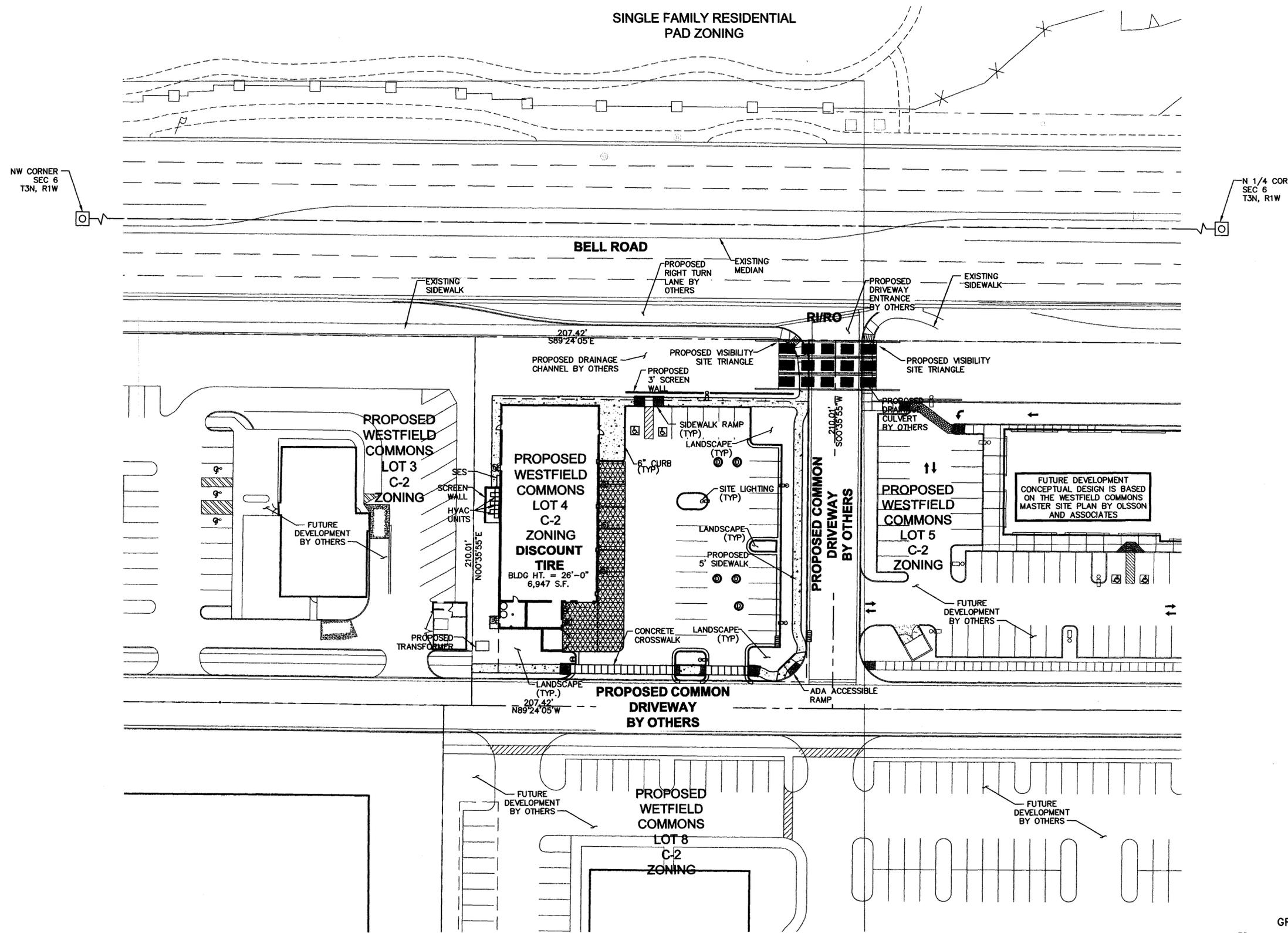
CASE NUMBER: SP07-262

K:\EAV\_Civil\1789010\CADD\789010CV.dwg, Layout: Layout1, Feb 08, 2008 - 12:02pm Trevor Jones  
REFERENCES: 789010DM, 789010TS, 789010VF  
THIS DOCUMENT IS THE PROPERTY OF KIMLEY-HORN AND ASSOCIATES, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE FOR WHICH IT WAS PREPARED. REUSE OR REPRODUCTION OF THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADJUSTMENT BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.

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REV	DESCRIPTION	BY	DATE	APPR

K:\EAV\_CMA\97789010\CADD\989010PL.dwg, Layout: Layout1, Date: 02/07/2008 12:04pm  
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CALL FOR MORE INFO  
**602-263-1100**  
**1-800-STAKE-IT**  
(OUTSIDE MARICOPA COUNTY)

**PRELIMINARY**  
 FOR REVIEW ONLY  
 NOT FOR CONSTRUCTION PURPOSES  
  
 ENGINEERING, PLANNING AND ENVIRONMENTAL CONSULTANTS  
 ENGINEER: S. HANEY  
 PE NO. 37059 DATE 02/08



**PL**  
 02 OF 05 SHEETS

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 1255 West Baseline Road, Suite 200  
 Mesa, Arizona 85202 (480) 755-4444

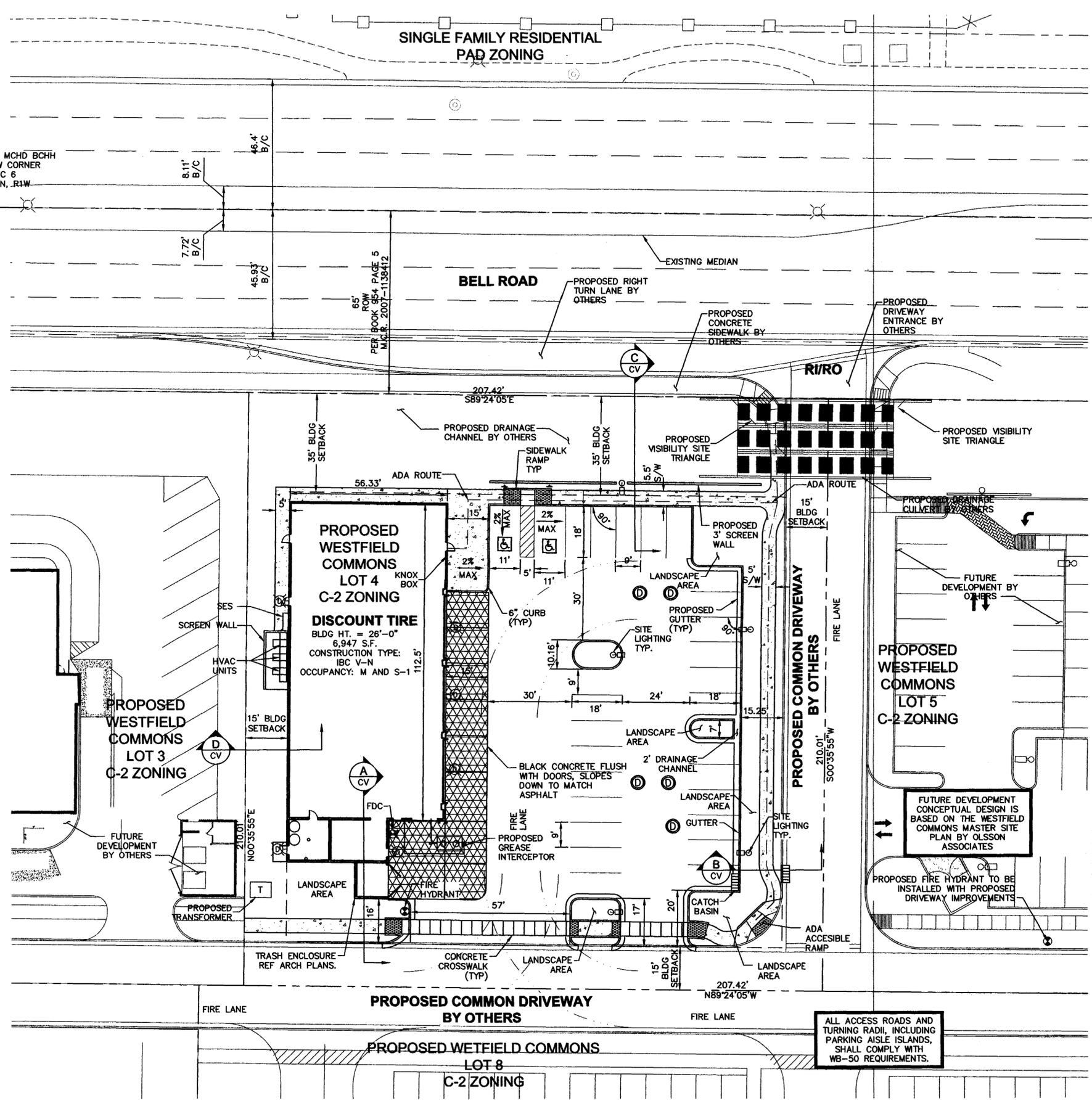


SEC SARIVAL ROAD AND BELL ROAD  
**PRELIMINARY PROJECT LAYOUT**  
 SURPRISE, ARIZONA

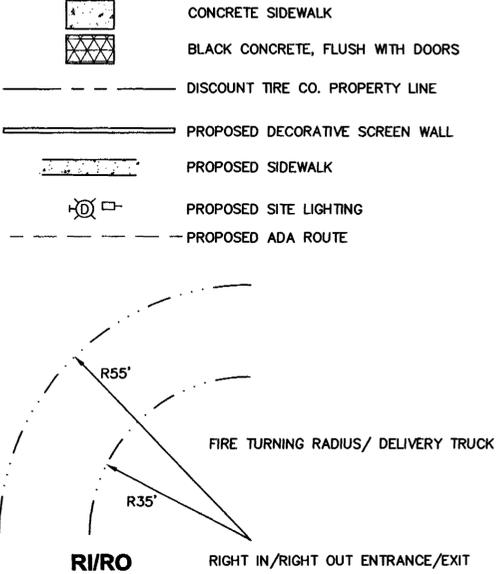
PROJECT No.  
 91789010  
 SCALE (H): 1" = 30'  
 SCALE (V): NONE  
 DRAWN BY: DT  
 DESIGN BY: STM  
 CHECK BY: SH  
 DATE: 02/07/2008

CASE NUMBER: SP07-262

DATE: \_\_\_\_\_  
 BY: \_\_\_\_\_  
 DESCRIPTION: \_\_\_\_\_  
 REV: \_\_\_\_\_



**LEGEND**



**PROJECT INFORMATION**

**PROPOSED USE:** RETAIL SALES AND INSTALLATION OF TIRES AND WHEELS  
**ZONING:** COMMUNITY COMMERCIAL - C-2  
**ADJACENT ZONING:** COMMUNITY COMMERCIAL - C-2  
**JURISDICTION:** SURPRISE, ARIZONA

**BUILDING INFORMATION:**  
 IBC BUILDING TYPE: TYPE-VB  
 OCCUPANCY CLASSIFICATION: M AND S-1

**BUILDING SETBACKS:**  
 ADJACENT TO STREET: REQUIRED: 35', PROVIDED: 35'  
 ADJACENT TO LOT LINE: REQUIRED: 15', PROVIDED: 15'

**LANDSCAPE SETBACKS:**  
 ADJACENT TO PERIMETER STREET: 35'  
 ADJACENT TO LOT LINE: 3'

**SITE CALCULATIONS**

LOT AREA	GROSS(AC)	NET(AC)
1.00±	43,560 SF	43,560 SF
<b>BUILDING HEIGHT MAX</b>	26'-0"	
<b>BUILDING AREA</b>	6,947 SF / 43,560 SF = 16.0%	
<b>PARKING AND DRIVEWAY AREA</b>	23,133 SF / 43,560 SF = 53.0%	
<b>TOTAL LOT COVERAGE</b>	6,947 SF + 23,133 SF / 43,560 SF = 69.0%	
<b>LANDSCAPE AREA</b>	13,480 SF / 43,560 SF = 31.0%	

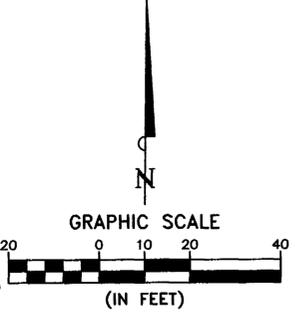
**PARKING REQUIREMENTS**

<b>PARKING REQUIRED</b>	
STANDARD	= 6,947 / 250 = 28 SPACES
TOTAL	28 SPACES
<b>LOADING SPACES</b>	1 SPACES
<b>PARKING PROVIDED</b>	
STANDARD	26 SPACES
ACCESSIBLE	2 SPACES
TOTAL	28 SPACES
<b>LOADING SPACES</b>	1 SPACES

**NOTES**

- ALL PROPOSED DEVELOPMENT PHASES DEPICTED ON THIS SITE PLAN SHALL BE PROVIDED A MINIMUM OF TWO (2) SEPARATE POINT OF UNOBSTRUCTED ACCESS WITH A MINIMUM WIDTH OF TWENTY FEET, INSTALLED AND MAINTAINED PURSUANT TO THE REQUIREMENTS OF THE CITY OF SURPRISE.
- THERE WILL BE NO STAND ALONE SIGNAGE ON-SITE. ALL SIGNAGE WILL BE ON THE STRUCTURE, REF ARCH PLANS FOR DETAILS.
- FIRE LANES SHALL BE IDENTIFIED PER THE CITY OF SURPRISE FIRE DEPARTMENT ACCESS DETAILS DURING CONSTRUCTION.
- ACCESSIBLE SPACES ACCEPTED CONCEPTUALLY, FINAL APPROVAL WILL BE AT PLAN REVIEW AND CONSTRUCTION INSPECTION.
- WATERFLOW TEST RESULTS PRODUCING ADEQUATE FLOW SHALL BE SENT TO WATERFLOWTESTS@SURPRISEAZ.COM BEFORE A BUILDING PERMIT WILL BE ISSUED.
- THE "PROPOSED COMMON DRIVEWAY BY OTHERS" SHALL BE INSTALLED BEFORE A CERTIFICATE OF OCCUPANCY WILL BE ISSUED.
- TEMPORARY AND PERMANENT FIRE ACCESS ROADS LEADING TO AND WITHIN THE SITE SHALL BE CAPABLE OF SUPPORTING 75,000 POUNDS IN ALL WEATHER CONDITIONS WITH A MINIMUM WIDTH OF 20 FEET. A SEPARATE PERMIT IS REQUIRED.
- ALL ACCESS WAYS INTO THE CONSTRUCTION SITES SHALL HAVE THE REQUIRED FIRE DEPARTMENT SIGNAGE INSTALLED UNTIL THE ROADS OR THE ACCESS INTO THE AREA IS HARD SURFACED. TWO POINTS OF ACCESS ARE REQUIRED. PERMIT SUBMITTAL IS REQUIRED FOR FIRE ACCESS. THE FIRE ACCESS SHALL BE INSTALLED AFTER GRADING AND DRAINAGE WORK IS COMPLETED AND BEFORE A BUILDING PERMIT IS ISSUED.

**602-263-1100**  
**1-800-STAKE-IT**



**PRELIMINARY**  
 FOR REVIEW ONLY  
 NOT FOR CONSTRUCTION PURPOSES  
 Kimley-Horn and Associates, Inc.  
 ENGINEER: S. HANEY  
 PE NO. 37059 DATE: 02/08

**Kimley-Horn and Associates, Inc.** © 2008  
 1255 West Baseline Road, Suite 200  
 Mesa, Arizona 85202 (480) 755-4444



SEC SARIVAL ROAD AND BELL ROAD  
**PRELIMINARY SITE PLAN**  
 SURPRISE, ARIZONA

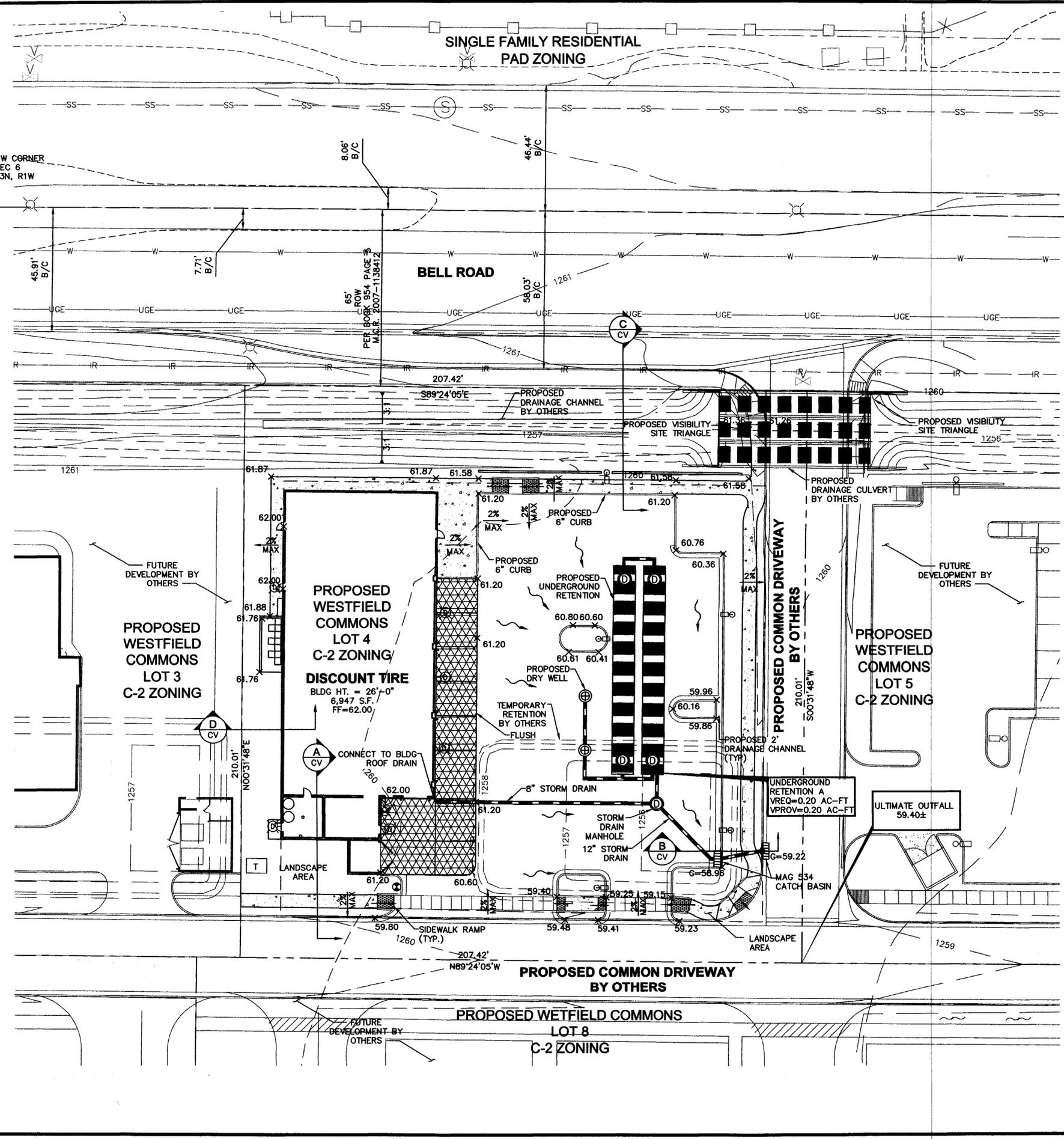
PROJECT No. 91789010  
 SCALE (H): 1" = 20'  
 SCALE (V): NONE  
 DRAWN BY: DT  
 DESIGN BY: STM  
 CHECK BY: SH  
 DATE: 02/07/2008

Professional Engineer  
 37059  
 STEPHEN E. HANEY  
 License No. 002018  
 ARIZONA, U.S.A.

789010SP.dwg  
**SP**  
 03 OF 05 SHEETS

CASE NUMBER: SP07-262

DATE: APRR  
 BY: [Signature]  
 DESCRIPTION: [Blank]  
 REV: [Blank]



**LEGEND**

- PROPOSED FLOW ARROWS
- 60.80 PROPOSED PAVEMENT ELEVATIONS
- PROPOSED CATCH BASIN
- PROPOSED DRYWELL
- 1260 PROPOSED CONTOUR BY OTHERS
- FF= FINISHED FLOOR ELEVATION
- G= GRATE/GUTTER ELEVATION
- HW= HIGH WATER
- BTM= BASIN BOTTOM
- AF/AC-FT ACRE-FEET
- PROPOSED UNDERGROUND RETENTION
- PROPOSED STORM DRAIN

**RETENTION REQUIRED CALCULATIONS**

VOL REQ = RAINFALL DEPTH/12 \* DRAINAGE AREA \* RUNOFF COEFFICIENT

CLASSIFICATION	RAINFALL DEPTH	DRAINAGE AREA	RUNOFF COEFFICIENT	VOL REQ
BUILDING	2.80 IN	0.16 AC	0.95	0.04 AC-FT
PAVEMENT	2.80 IN	0.53 AC	0.95	0.12 AC-FT
LANDSCAPE	2.80 IN	0.16 AC	0.50	0.02 AC-FT
<b>TOTAL RETENTION REQUIRED:</b>				<b>0.18 AC-FT</b>

\*RETENTION FOR ADJACENT BELL ROAD HALF STREET AND CONVEYANCE CHANNEL IS NOT INCLUDED IN REQUIRED RETENTION DUE TO PROPOSED DRAINAGE CHANNEL BY OTHERS.

**RETENTION PROVIDED**

BASIN	PIPE DIAMETER	PIPE LENGTH	VOLUME
UNDERGROUND A	8 FT	154 FT	0.18 AF
<b>TOTAL</b>			<b>0.18 AF</b>

**PERCOLATION CALCULATIONS**

BASIN	VOLUME AC-FT	NUMBER OF DRYWELLS	PERCOLATION RATE	TIME TO DRAIN
UNDERGROUND A	0.18	1	0.1 CFS	22 HOURS

**NOTES:**

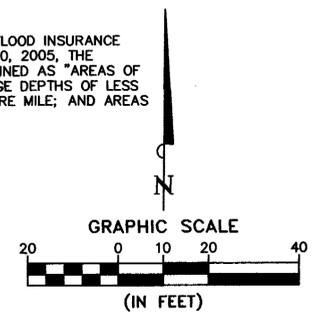
- ADD 1200 TO ALL PROPOSED ELEVATIONS SHOWN.
- ALL PROPOSED ELEVATIONS ARE TO FINISHED SURFACE.
- PROPOSED ELEVATIONS AND CONTOURS REPRESENT PAVEMENT SURFACE ELEVATION, UNLESS OTHERWISE NOTED.
- ADD 0.5 FEET TO PROPOSED ELEVATIONS FOR TOP OF CURB ELEVATION, UNLESS OTHERWISE NOTED.
- ALL FILL SLOPES SHALL BE COMPACTED TO AT LEAST 95% RELATIVE DENSITY (IN RELATION TO STANDARD PROCTOR COMPACTION TEST ASTM D698).
- ALL SIDEWALK RAMPS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 8.33% SLOPE DIRECTION AS INDICATED ON PLAN.
- ALL RAMPS MUST MEET ADA ACCESSIBILITY GUIDELINES (ADAAG) STANDARDS; 2% MAX CROSS SLOPES AND 12:1 MAX LONGITUDINAL SLOPES. TRUNCATED DOMES ARE REQUIRED ON ALL WALKS THAT CROSS OR ADJOIN A VEHICULAR WAY PER ADAAG SECTION 4.29.5.

**FLOOD INFORMATION**

ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, MAP NUMBER 04013C1145H, DATED SEPTEMBER 30, 2005, THE SUBJECT PROPERTY IS LOCATED IN ZONE X. ZONE X IS DEFINED AS "AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD"

**UNDERGROUND RETENTION NOTES**

- ALL UNDERGROUND STORAGE FACILITIES AND DISPOSAL FACILITIES SHOWN ON THIS PROJECT SHALL BE MAINTAINED BY THE OWNERS. THESE UNDERGROUND STORAGE FACILITIES SHALL BE MODIFIED, UPGRADED, OR REPLACED WITH SIMILAR OR OTHER APPROPRIATE DEVICES/MEASURES BY THE OWNERS WHEN THEY CEASE TO DRAIN WATER WITHIN A 36-HOUR PERIOD. REGULAR MAINTENANCE OF THE SILTING CHAMBER IS REQUIRED TO ACHIEVE THE BEST OPERATION OF THE DRYWELL/UNDERGROUND PERCOLATION CHAMBER(S).
- DURING SITE DEVELOPMENT, ALL DRYWELLS/UNDERGROUND PERCOLATION CHAMBERS SHALL BE SECURELY COVERED WITH FILTER CLOTH OR OTHER MATERIAL TO PREVENT THE INTRODUCTION OF EXCESSIVE SEDIMENT INTO THE SETTLING CHAMBER.



CALL THE NUMBER ABOVE  
**602-263-1100**  
**1-800-STAKE-IT**  
(OUTSIDE MARICOPA COUNTY)

**PRELIMINARY**  
 FOR REVIEW ONLY  
 NOT FOR CONSTRUCTION PURPOSES  
  
 ENGINEERING, PLANNING AND ENVIRONMENTAL CONSULTANTS  
 ENGINEER: S. HANEY  
 PE NO. 37059 DATE 02/08

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 1255 West Baseline Road, Suite 200  
 Mesa, Arizona 85202 (480) 755-4444



SEC SARIVAL ROAD AND BELL ROAD  
**PRELIMINARY GRADING AND DRAINAGE PLAN**  
 SURPRISE, ARIZONA

PROJECT No. 91789010  
 SCALE (H): 1" = 20'  
 SCALE (V): NONE  
 DRAWN BY: DT  
 DESIGN BY: STM  
 CHECK BY: SH  
 DATE: 02/07/2008



78901000.dwg  
**GD**  
 04 OF 05 SHEETS

CASE NUMBER: SP07-262



**CITY OF SURPRISE  
COMMUNITY DEVELOPMENT DEPARTMENT**

**SP07-349**

**SITE PLAN**

for:

**Surprise Village Marketplace  
Phase 2**

**PLANNING AND ZONING COMMISSION**

*Hearing Date: May 20, 2008*

**STAFF:**

Dennis Dorch, 623-222-3134

**LOCATION:**

Southeast corner of Bell Road and 303

**DESCRIPTION OF  
THE REQUEST:**

Approval of a site plan for a 9.02-acre commercial retail/office project.

**SUMMARY ANALYSIS:**

The applicant is requesting approval of a site plan for a commercial retail/office project, consisting of a 10,000 square foot retail shops building and a 60,000 square foot office space building. This is the second phase of a larger commercial center that includes "Sam's Club" and other smaller retail stores. Two future PAD sites are proposed for future development.

**SUGGESTED MOTION:**

**I move to approve SP07-349, a site plan for Surprise Village Marketplace – Phase 2, and to adopt staff's findings and stipulations 'a' through 'h.'**

**City of Surprise  
Planning and Zoning Division  
Executive Summary  
SP07-349**

**Surprise Village Marketplace Phase 2**

**APPLICANT**

Melissa Hill  
Bell Road & 303 LLC  
7575 N. 16<sup>th</sup> Street, Suite 1  
Phoenix, AZ 85020  
Phone 602-956-8254  
Fax 602-943-3584  
[Melissa@Katiehill.com](mailto:Melissa@Katiehill.com)

**PROPERTY OWNER**

Melissa Hill  
Bell Road & 303 LLC  
7575 N. 16<sup>th</sup> Street, Suite 1  
Phoenix, AZ 85020  
Phone 602-956-8254  
Fax 602-943-3584  
[Melissa@Katiehill.com](mailto:Melissa@Katiehill.com)

**HEARING DATE:**

May 20, 2008

**STAFF:**

Dennis Dorch

**LOCATION**

The subject site is located at the southeast corner of Bell Road and 303.

**REQUEST**

Approval of a site plan.

**STAFF RECOMMENDATION**

Approve

**SUMMARY ANALYSIS:**

The applicant is requesting approval of a site plan for a commercial retail/office project, consisting of a 10,000 square foot retail shops building and a 60,000 square foot office space building. This is the second phase of a larger commercial center that includes "Sam's Club" and other smaller retail stores. Two future PAD sites are proposed for future development.

## HISTORY

1. On September 28, 2006, the City of Surprise approved a Planned Area Development (PAD) for the project site in order to accommodate a warehouse retail use (PAD06-286). The area included the two sections known as Phase 1 and 2.
2. On August 15, 2006, the Planning and Zoning Commission approved a site plan for Phase 1 of the project, which included Sam's Club and 10 other retail spaces.
3. On October 4, 2007, Grace Development submitted an application for site plan approval for the subject site (Phase 2).

## STAFF ANALYSIS

### Proposal:

The applicants are proposing to construct two commercial buildings on a 9.02-acre site with two future pad sites. The submitted site plan proposes to construct a 60,000 square foot office building with a second 10,000 square foot retail building.

The site will take its primary access from Bell Road from two ingress and egress locations. The primary entrance will be from a private drive that is located between phase 1 and phase 2. There will be a traffic signal to provide full turning movements. The second access point is further to the east off of Bell Road and will feature "right in/right out" only turning movements.

The site plan indicates that there are 471 parking spaces provided on-site. According to the standards in the zoning ordinance, 319 are required. Thus, the site has more than enough parking as per the Municipal Code.

### Architecture:

Surprise Village Marketplace office building and shops is consistent with the goals and ideas set forth in the Planning and Design Guidelines. The architecture of the building and shops reflects a simplified approach to Spanish Mission and Spanish Colonial architecture. The buildings follow the design hierarchy created by the previously approved Sam's Club building and retail shops. The colors on the office building are somewhat conservative, while the shops continue the existing retail shops' color palette.

The building design of both buildings is primarily comprised of an exterior finish system that resembles stucco. Split-face block is used as an accent feature at the base of the office and shops' buildings. The roof profile is a combined use of stucco parapets and clay tile roofing. Some differences occur in terms of architectural motifs and elements, but both buildings use pilasters to provide visual relief to their façades.

## ITEM 4

Of special concern to this project was the dominant use of the clay tile roofing on the office building shown in earlier submittals. The applicant took into consideration staff's recommendation to minimize the roof profile and to add additional parapets.

### **Department Review:**

(All departments have recommended approval of the project subject to all stipulations.)

**Traffic Division:** During the TAC process, Traffic indicated that the eastern driveway would only be "right in/right out." This condition was included in the final site plan.

**Fire Department:** The Fire Department provided on-site information in regard to fire flows and hydrants. These issues will be addressed before the issuance of any building permits.

**Planning Division:** Staff offered both architectural and specific site plan comments. Of particular concern was the treatment of the west side of Building D. This is a prominent façade and initially presented utility doors as a prominent architectural feature. However, the final revision to the site plan shows the construction of screen walls to lessen the impact of these doors.

**Building Safety Division:** The Building Safety Division submitted the following requirements during the initial TAC review:

1. Indicate the IBC Construction Type and Occupancy Classification for each building on the site plan.
2. State whether the buildings will be sprinklered.
3. Provide area increase calculations if the maximum allowed by IBC Table 503 is exceeded.
4. Show all exterior entrances and exits.
5. Graphically represent the accessible throughout the site and to the public way per IBC Section 1104.
6. All construction will need to comply with the codes adopted by COS at the time of permit application.

These issues were addressed during the final TAC process.

**Water Services Department:** Water Services provided standard development requirements.

**Engineering Department:** There were significant engineering issues initially. However, a second submittal addressed all of the issues with this exception:

1. Provide ultimate basin outfall location and elevation for each basin as well as the entire site.

## ITEM 4

This information was subsequently submitted and the engineering department has approved the final site plan.

### CONFORMANCE TO ADOPTED LAND USE PLANS

#### GENERAL PLAN

If approved, this request would comply with the Surprise 2020 General Plan.

### PROJECT DATA

<b>Zoning</b>	PAD
<b>Building Area</b>	70,000 SF (not including two future pads)
<b>Site Area</b>	9.02 net acres 393,911 square feet
<b>Parking</b>	319 Required Spaces 471 Provided Spaces

### INFRASTRUCTURE

All infrastructure will be developed in accordance with the Surprise Municipal Code.

### FINDINGS

Staff finds that the proposed use of this property for a commercial development is in general conformance with the City of Surprise Municipal Code, Section 125-33(a), as well as the Surprise General Plan 2020. If approved, the project will:

1. not adversely affect the public health, safety, or welfare;
2. protect public investments in roads, drainage and sewage facilities;
3. conserve the value of buildings; and
4. ensure that the regulations of the city are upheld.

## ITEM 4

### STANDARD STIPULATIONS:

- a) Prior to delivery of any combustible material to the site, fire department access and fire protection systems shall be completely operational in accordance with the approved plans by the Fire Chief and the City Engineer.
- b) Major changes to this Site Plan with regards to use and intensity must be processed as a revised application with approval by the Planning and Zoning Commission. Minor changes may be administratively approved by the City Engineer, Fire Marshal, Water Services Director, and the Community Development Director.
- c) All parcel numbers shall be active prior to submittal of any building permit and shall stay active throughout the construction process until a Letter of Compliance and/or Certificate of Occupancy is issued. Any subdivision or lot split shall be reviewed and approved by the City of Surprise prior to recordation with Maricopa County.
- d) The applicant shall include all approved stipulations related to the project on the title sheet of construction plans prior to plan check submittal.
- e) Applicant or property owner must provide the city with an approved earth moving permit by Maricopa County Environmental Services Department prior to release of any permits.
- f) Approval of this site plan is not to be construed as an approval of any violation of the Surprise Municipal Code, 2006 International Building, Plumbing, Mechanical, Fire Codes and/or the National Electric Codes.
- g) All roof mounted and ground mounted mechanical equipment shall be screened from public view and will be subject to the approval of the Community Development Director.
- h) All mechanical equipment, transformers, and gas lines shall be completely screened from public view prior to letter of compliance and/or certificate of occupancy. Any changes to the landscape plan shall be submitted to the Community Development Department for review and approval.



## PROJECT NARRATIVE

*Surprise Village Marketplace on Bell Road* will have the ambience of a center located in a well-designed and maintained suburban community. Suburban communities thrive, contain identity and remain viable if "total day" uses can remain in the immediate area. The City of Surprise is unique in that it can lead the way for the mixture of uses adjacent to a Sun City Grand community. The success of Sun City Grand had created a need for a variety of local retail, commercial, professional, and social services in the immediate area. The applicant has created a "meeting place" not only for the immediate vicinity, but also a potential staging point for those in Sun Valley and adjacent communities, creating a viable, multi-purpose center that will attract end users not only to this center, but also to the community.

It has been a desire of City of Surprise staff for this development to provide quality goods and services, and fill the need for quality entry level residential. This development accomplishes all three of those goals.

### **Land Uses**

The site plan has set basic themes and standards to assure design continuity and attractive appearance. Land uses at *Surprise Village Marketplace on Bell Road* will be generally retail commercial, professional & financial services, dining, general and medical offices, and entertainment. The intent of the development is to coordinate and mingle a variety of non-residential uses, giving the user shopping choices when making their trip to the center. Pedestrian walkways and gathering nodes will encourage flow from one building or space to another in a safe yet comfortable environment. It is the applicant's goal to select and coordinate the appropriate businesses in this development.

### **Architectural Theme**

**Architectural Theme and Image:** The design theme is a combination of a small town with southwestern village flair. The facades marry this concept with various Spanish Style Architecture buildings in the Phoenix Metro area.

**Building Massing:** The building mass is modulated through the use of varied rooflines and forms, indentations and relief, as well as architectural detail. The building mass also reduced through the architectural facades in the image of a townscape setting forward of the buildings main wall plane. A clear distinction between building base, body and top is denoted by the use of wall materials, colors and wall plane offsets and projections. The specific building elements utilized are: sloped tile roofs, varied roof parapet heights break up the building's roofline, arched elements to give added detail to the building, and awnings which personify the southwestern, small town experience.

Exterior Building Materials: The materials used are a combination of split face concrete masonry (8" tall), exterior insulation finish system (EIFS), concrete tile on sloped roofs, parapet wall cornices with medallions and decorative support brackets, windows in the townscape facades with contrasting paint finished and metal awnings.

Exterior Building Finish Colors: The colors used are typical for the Southwest design theme. The main colors of the building are beige with tan. The sloped concrete tile roofs are a blend of terra cotta mix. Feature facades and other architectural elements are accentuated with earth tone browns or southwestern rose color. Other architectural details are accented with contrasting white.

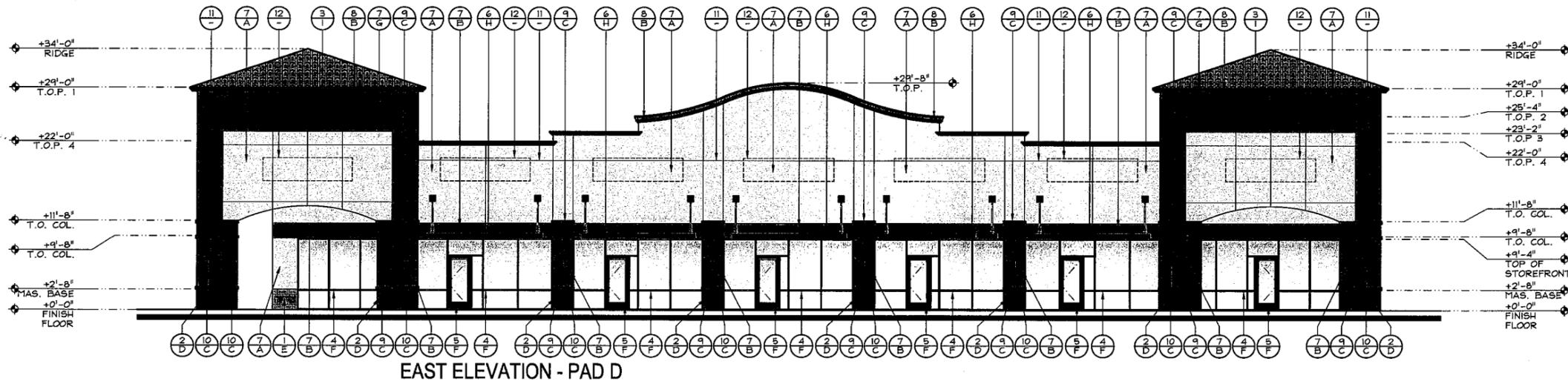
### **Utilities**

All utilities will be designed constructed by the developer per City of Surprise design & construction standards, with accompanying easements to be dedicated to the City of Surprise.

### **Summary**

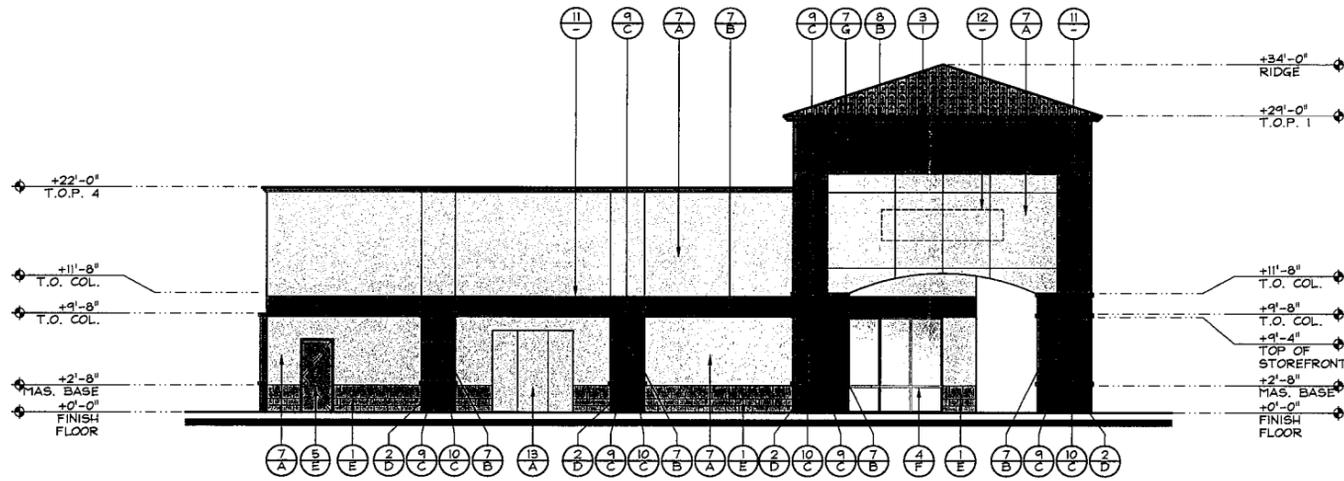
In summary, Bell & 303 L.L.C. has worked with the City Staff to create a development with charm and an inviting feeling not meant to be in direct competition with regional shopping. *Surprise Village Marketplace on Bell Road* will be the local hub for dining, services, offices, and retail shops.

**RECEIVED**  
 APR 16 2008  
 COMMUNITY  
 DEVELOPMENT



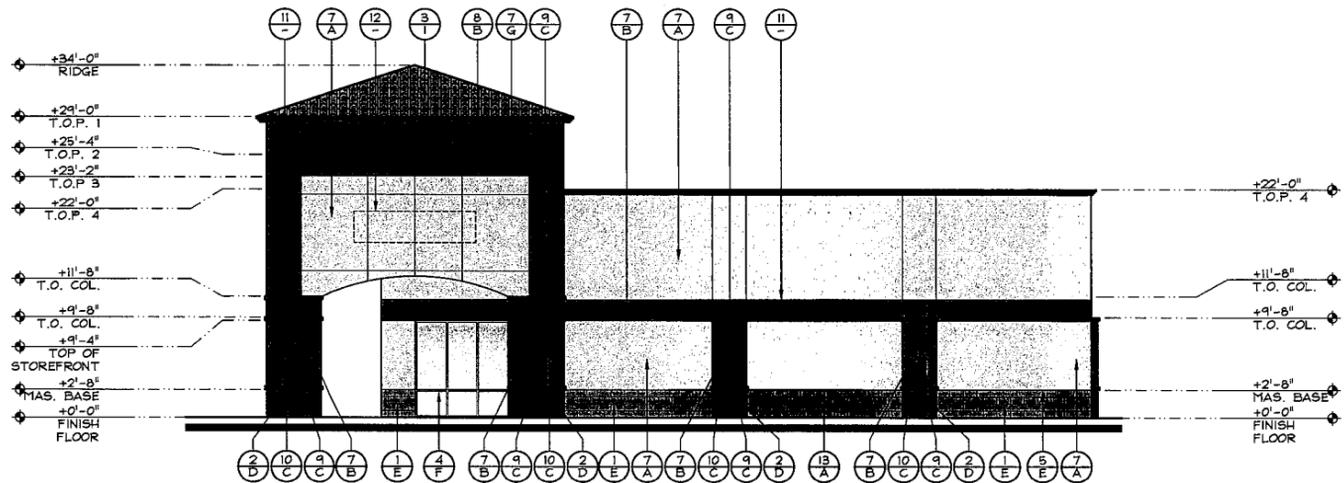
EAST ELEVATION - PAD D

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION - PAD D

SCALE: 1/8" = 1'-0"



NORTH ELEVATION - PAD D

SCALE: 1/8" = 1'-0"

MATERIAL FINISH LEGEND

- 1 8X8X16 SMOOTH FACE CMU BLOCK
- 2 8X8X16 SPLIT FACE CMU BLOCK
- 3 CONCRETE ROOF TILE BY MONIER TILE
- 4 ALUMINUM WINDOW WALL SYSTEM
- 5 METAL DOOR AND FRAME
- 6 STEEL ANKING
- 7 E.I.F.S. WALL SYSTEM
- 8 E.I.F.S. CORNICE
- 9 E.I.F.S. COLUMN CAP
- 10 E.I.F.S. ACCENT PIECE
- 11 CONTROL JOINT
- 12 SIGN AREA
- 13 SERVICE ELECTRICAL SECTION (S.E.S.)
- 14 DRIVE THRU WINDOW

COLOR FINISH LEGEND

- A SIMPLIFY BEIGE SW 6085
- B RANWICK ROSE BEIGE SW 2804
- C REDDENED EARTH SW 6053
- D SWING BROWN SW 6046
- E TRUSTY TAN SW 6087
- F ANODIZED BRONZE STOREFRONT
- G SHERATON SAGE
- H HEMLOCK GREEN BY BERRIDGE
- I INTERNATIONAL BLEND - IMSS56661 BY MONIER TILE

NOTE:  
 ALL COLORS AND MATERIALS  
 TO MATCH EXISTING  
 APPROVED BUILDINGS



REVISIONS

NO.	DESCRIPTION

**REIGLE & ASSOCIATES**  
 ARCHITECTURE, PLANNING, LTD.  
 12424 N. 32nd Street, Suite 200 Phoenix, AZ 85028 (602) 493-3001 FAX (602) 493-1190

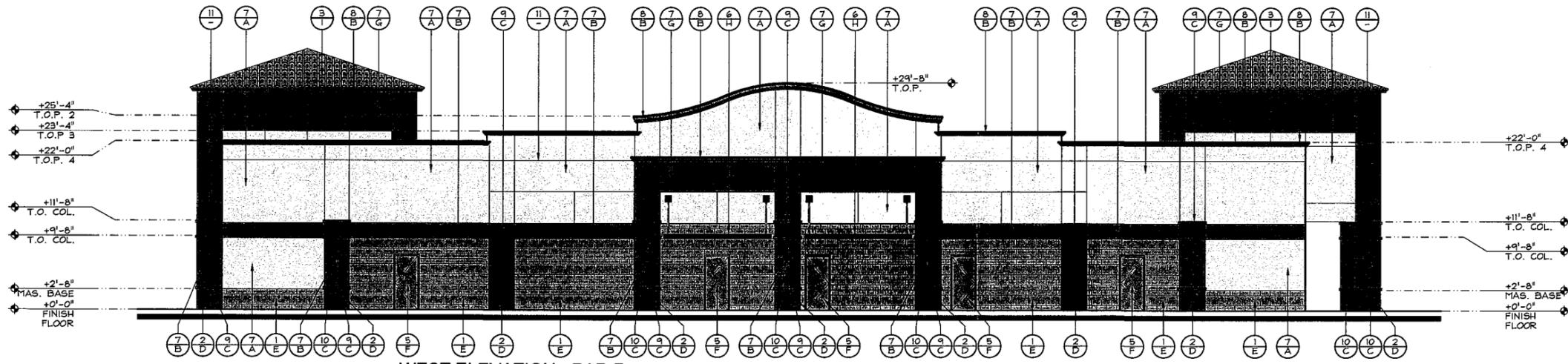
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 DRAWN BY: J.M.  
 SCALE: 1/8" = 1'-0"  
 CAD SAVED NAME: 0623A2.4  
 DATE: 19 FEB 08

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS THE PROPERTY OF REIGLE & ASSOCIATES, AND MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION.

SHOPPING CENTER AT:  
**SURPRISE VILLAGE MARKETPLACE**  
 S.E.C. LOOP 303 AND BELL RD. SURPRISE, ARIZONA  
**BELL ROAD AND 303 LLC**  
 MELISSA HILL  
 7575 N. 16TH STREET - SUITE 1

SHEET TITLE  
**EXTERIOR ELEVATIONS**

SHEET NO.  
**A2.4**



WEST ELEVATION - PAD D

SCALE: 1/8" = 1'-0"

MATERIAL FINISH LEGEND

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NOTE:  
ALL COLORS AND MATERIALS  
TO MATCH EXISTING  
APPROVED BUILDINGS



REVISIONS


**REIGLE & ASSOCIATES**  
ARCHITECTURE, PLANNING, LTD.  
12424 N. 32nd Street Suite 100 Phoenix, AZ 85022 (602) 493-3001 FAX (602) 493-1700

PROJECT NO. 0623  
DRAWN BY: J.M.  
SCALE: 1/8" = 1'-0"  
CAD SAVED NAME: 0623A2.5  
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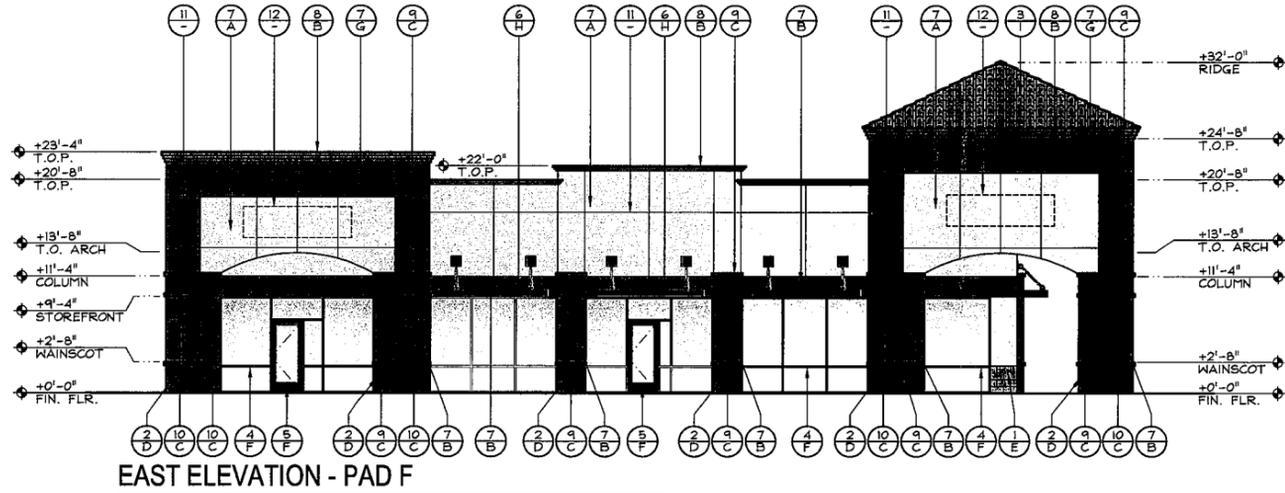
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S.E.C. LOOP 303 AND BELL RD. SURPRISE, ARIZONA  
**BELL ROAD AND 303 LLC**  
MELISSA HILL  
7575 N. 16TH STREET - SUITE 1

SHEET TITLE  
EXTERIOR ELEVATIONS

SHEET NO.  
**A2.5**

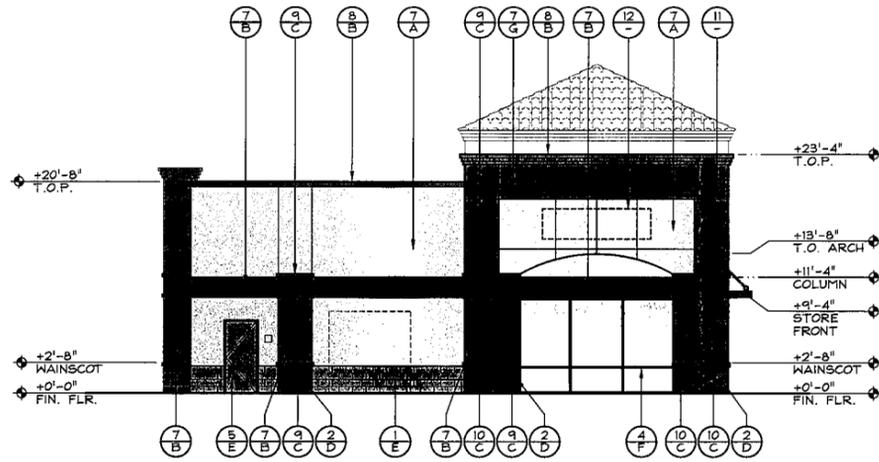
CASE NUMBER: SP07-349

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 COMMUNITY DEVELOPMENT



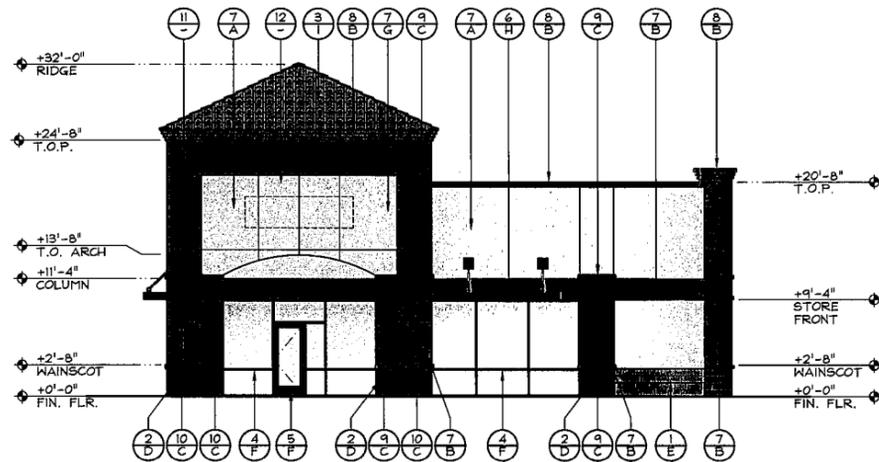
EAST ELEVATION - PAD F

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION - PAD F

SCALE: 1/8" = 1'-0"



NORTH ELEVATION - PAD F

SCALE: 1/8" = 1'-0"

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- I INTERNATIONAL BLEND - IMSS6661 BY MONIER TILE

NOTE:  
ALL COLORS AND MATERIALS  
TO MATCH EXISTING  
APPROVED BUILDINGS



REVISIONS

NO.	DESCRIPTION

**REIGLE & ASSOCIATES**  
ARCHITECTURE, PLANNING, LTD.  
13424 N. 32nd Street, Suite 100 Phoenix, AZ 85032 (602) 495-3001 FAX (602) 495-1700

PROJECT NO. 0623  
DRAWN BY: J.M.  
SCALE: 1/8" = 1'-0"  
CAD SAVED NAME: 0623A3.4  
DATE: 19 FEB 08

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS THE PROPERTY OF REIGLE & ASSOCIATES, AND MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION.

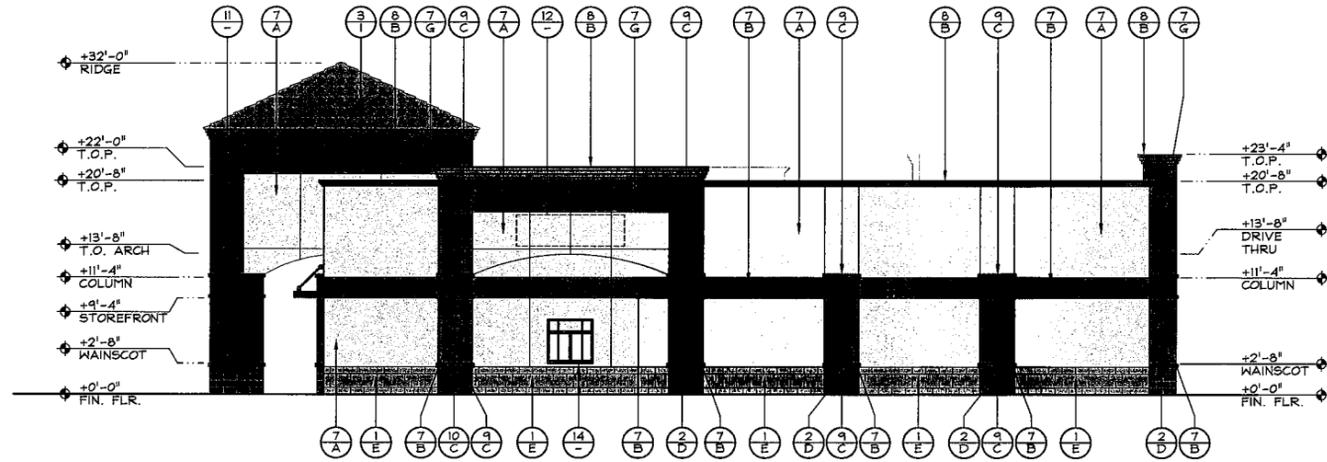
SHOPPING CENTER AT:  
**SURPRISE VILLAGE MARKETPLACE**  
S.E.C. LOOP 303 AND BELL RD. SURPRISE, ARIZONA  
**BELL ROAD AND 303 LLC**  
MELISSA HILL  
7575 N. 16TH STREET - SUITE 1

SHEET TITLE  
**EXTERIOR ELEVATIONS**

SHEET NO.  
**A3.4**

CASE NUMBER: SP07-349

**RECEIVED**  
 APR 16 2008  
 COMMUNITY DEVELOPMENT



WEST ELEVATION - PAD F

SCALE: 1/8" = 1'-0"

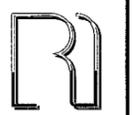
MATERIAL FINISH LEGEND

- 1 8X8X16 SMOOTH FACE CMU BLOCK
- 2 8X8X16 SPLIT FACE CMU BLOCK
- 3 CONCRETE ROOF TILE BY MONIER TILE
- 4 ALUMINUM WINDOW WALL SYSTEM
- 5 METAL DOOR AND FRAME
- 6 STEEL ANNING
- 7 E.I.F.S. WALL SYSTEM
- 8 E.I.F.S. CORNICE
- 9 E.I.F.S. COLUMN CAP
- 10 E.I.F.S. ACCENT PIECE
- 11 CONTROL JOINT
- 12 SIGN AREA
- 13 SERVISE ELECTRICAL SECTION (S.E.S.)
- 14 DRIVE THRU WINDOW

COLOR FINISH LEGEND

- A SIMPLIFY BEIGE SW 6085
- B RANWICK ROSE BEIGE SW 2804
- C REDDENED EARTH SW 6053
- D SWING BROWN SW 6046
- E TRUSTY TAN SW 6087
- F ANODIZED BRONZE STOREFRONT
- G SHERATON SAGE
- H HEMLOCK GREEN BY BERRIDGE
- I INTERNATIONAL BLEND - IMSS56661 BY MONIER TILE

NOTE:  
ALL COLORS AND MATERIALS  
TO MATCH EXISTING  
APPROVED BUILDINGS



REVISIONS

NO.	DESCRIPTION

**REIGLE & ASSOCIATES**  
ARCHITECTURE, PLANNING, LTD.  
13424 N. 32nd Street, Suite 200 Phoenix, AZ 85032 (602) 962-3001 FAX (602) 962-1760

PROJECT NO.  
0623  
DRAWN BY:  
J.M.  
SCALE:  
1/8" = 1'-0"  
CAD SAVED NAME:  
0623A3.5  
DATE:  
19 FEB 08

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SHOPPING CENTER AT:  
**SURPRISE VILLAGE MARKETPLACE**  
S.E.C. LOOP 303 AND BELL RD. SURPRISE, ARIZONA  
**BELL ROAD AND 303 LLC**  
MELISSA HILL  
7575 N. 16TH STREET - SUITE 1

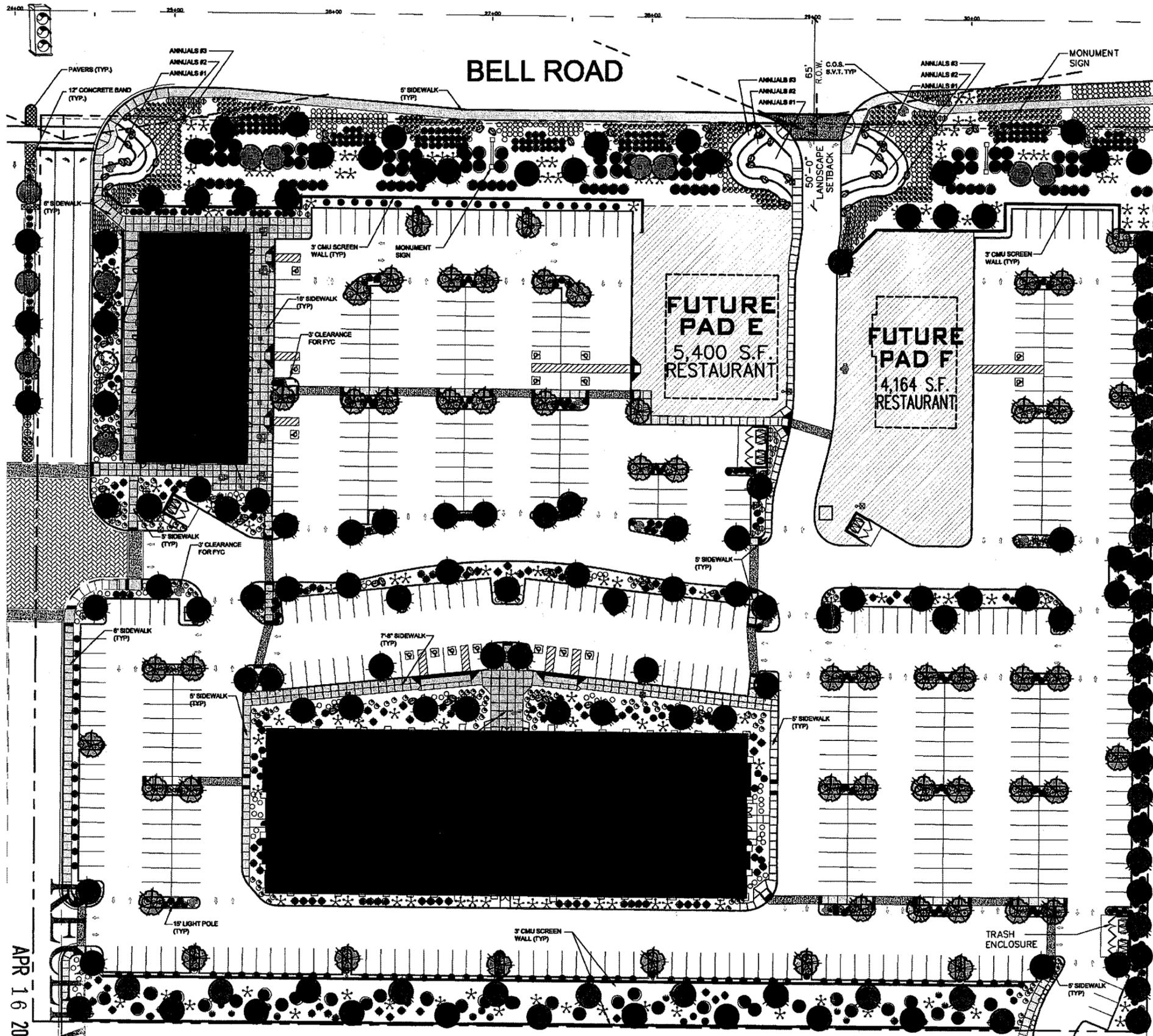
SHEET TITLE  
EXTERIOR ELEVATIONS

SHEET NO.  
**A3.5**

CASE NUMBER: SP07-349

**RECEIVED**  
 APR 16 2008  
 COMMUNITY DEVELOPMENT





**LANDSCAPE LEGEND**

- CERCIDIUM HYBRID DESERT MUSEUM 24" BOX (2" CALIPER) - 53
  - OLNEYA TESOTA IRONWOOD TREE 48" BOX (3.5" CALIPER) - 12
  - CERCIDIUM HYBRID DESERT MUSEUM 48" BOX (3.5" CALIPER) - 85
  - DALBERGIA SISSOO SISSOO TREE 24" BOX (4" CALIPER) - 4
  - ACACIA SMALL SWEET ACACIA 24" BOX (1.5" CALIPER) - 22
  - ACACIA STENOPHYLLA SHOESTRING ACACIA 24" BOX (1.5" CALIPER) - 22
  - LEUCOPHYLLUM LAEVIGATUM 'TEXAS RANGER' 5 GALLON - 332
  - CALLIANDRA ERIOPHYLLA FAIRY DUSTER 5 GALLON - 40
  - DASYURKON WHEELERI DESERT SPOON 5 GALLON - 64
  - LEUCOPHYLLUM CANDINIUM 'THUNDER CLOUD' 5 GALLON - 110
  - NERIUM OLEANDER PETITE OLEANDER (50% MIX PINK & WHITE) 5 GALLON - 414
  - TECOMA 'ORANGE JUBILEE' ORANGE JUBILEE 5 GALLON - 42
  - HESPERALOE PARVIFLORA RED YUCCA 5 GALLON - 101
  - CAESALPINIA MEXICANA MEXICAN BIRD OF PARADISE 5 GALLON - 134
  - AGAVE VILMORENA OCTOPUS ACAVE 5 GALLON - 29
  - SIMMONDSIA CHINENSIS JOJOBA 5 GALLON - 82
  - CONVULVULUS CNEORUM BUSH MORNING GLORY 5 GALLON - 470
  - RUELLIA MONTEVIDENSIS 'PURPLE TRAILING RUELLIA' 5 GALLON - 507
  - LANTANA MONTEVIDENSIS 'GOLD MOUND' 5 GALLON - 154
  - 3'x3'x3 SURFACE SELECT GRANITE BOULDER MINIMUM 2000lbs EACH - 103
  - 6" EXTRUDED CURB CONCRETE HEADER SEE DETAIL
- ANNUALS #1 VINCA MINOR VINCA ADJUST AS SEASON DICTATES 4" POTS 8" O.C.
- ANNUALS #2 DIMORPHOTHECA PLUVIALIS MADAGASCAR PERIWINKLE ADJUST AS REQ. 4" POTS 8" O.C.
- ANNUALS #3 VINCA MINOR VINCA ADJUST AS SEASON DICTATES 4" POTS 8" O.C.
- 3/4" SCREENED MADISON GOLD DECOMPOSED GRANITE 2" DEPTH IN ALL LANDSCAPE AREAS



REVISIONS


**REIGLE & ASSOCIATES**  
ARCHITECTURE, PLANNING, LTD.

13244 N. 24th Street, Suite 200 Phoenix, AZ 85021 (602) 998-8900 FAX (602) 998-1798

PROJECT NO. 0623

DRAWN BY: AJD

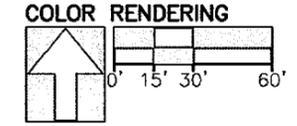
SCALE: AS NOTED

CAD SAVED NAME: 0623

DATE: 04.14.08

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS THE PROPERTY OF REIGLE & ASSOCIATES, AND MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION.

A SITE PLAN FOR:  
**SURPRISE VILLAGE MARKETPLACE**  
S.E.C. LOOP 303 AND BELL RD. SURPRISE, ARIZONA  
**BELL ROAD AND 303 LLC**  
C/O MELISSA HILL  
7575 N. 10TH STREET - SUITE 1



T.J. McQUEEN & ASSOCIATES, INC.  
LANDSCAPE ARCHITECTURE  
URBAN DESIGN  
SITE PLANNING  
1121 East Missouri Ave., Suite 218  
Phoenix, Arizona 85014  
(602) 265-0320



TJM & ASSOCIATES EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT & OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN PERMISSION & CONSENT OF TJM & ASSOCIATES

SHEET TITLE  
**COLOR RENDERING**

SHEET NO.  
**CP1**  
CASE # SP07-349

RECEIVED  
COMMUNITY DEVELOPMENT  
APR 16 2008



**Arizona Department of Transportation**  
**Intermodal Transportation Division**

206 South Seventeenth Avenue Phoenix, Arizona 85007-3213

Janet Napolitano  
Governor

Victor M. Mendez  
Director

Sam Elters  
State Engineer

October 30, 2007

Ms. Carol Dager  
City of Surprise Planning Department  
12425 West Bell Road Suite D-100  
Surprise, Arizona 85374

RE: **Surprise Village Marketplace PH 2/SP07-349/ SEC 303L and Bell Road**

Dear Ms. Dager:

Thank you for your notification regarding the Site Plan on the above-referenced subject. After a complete review, we have concurred that the proposed Plan could have an impact on our highway facilities in this area.

Access to ADOT R/W, whether it is for construction or any other purpose is by permit only and recommends they contact Dave Zimbro, ADOT Phoenix District Office, (602) 712-7522, for any access or encroachment information.

The Arizona Department of Transportation would like to review and comment on all plans to ensure there are no encroachments, drainage, and/or access problems.

**ADOT does reserve the right to review and comment any further development plans, changes and or additions for this site, as to any impact they may have on the State Highway System.**

Should you have any questions, you may contact me at 602-712-8876, or in writing at 205 S. 17<sup>th</sup> Avenue, Right of Way Project Management Section, MD 612E, Phoenix, Arizona 85007. Thanking you in advance for your cooperation.

Sincerely,

Annette Close  
Administrative Assistant III  
Right of Way Project Management  
[aclose@azdot.gov](mailto:aclose@azdot.gov)



2001 Award Recipient



DEPARTMENT OF THE AIR FORCE  
AIR EDUCATION AND TRAINING COMMAND

24 October 2007

Mr. James R. Mitchell  
Director, Community Initiatives Team  
56th Fighter Wing  
14185 West Falcon Street  
Luke AFB AZ 85309-1629

Ms. Carol Dager  
City of Surprise Planning Department  
12425 West Bell Road  
Surprise AZ 85374

Re: Case #SP07-349 Surprise Village Marketplace Phase 2

Dear Ms. Dager

Thank you for the opportunity to comment on the Site Plan Application for the Surprise Village Marketplace Phase 2. The site is located on 9.01 of the 30.55 acre commercial center at the southeast corner of Loop 303 and Bell Road. The project will consist of a 10,000 square foot retail shops building and a 60,000 square foot office space building. The site is approximately 3 1/2 miles outside the 1988 JLUS 65 Ldn, "high noise or accident potential zone" as defined by A.R.S. § 28-8461 and is within the "territory in the vicinity of a military airport" also defined by A.R.S. § 28-8461.

As described, Phase 2 will not negatively impact the flying operations at Luke AFB. Since it will be located within the "territory in the vicinity of a military airport," it will be subjected to noise from approximately 165 over flights a day, with some as low as 1,500 feet above ground level. We recommend you review the sound attenuation requirements found in A.R.S. § 28-8482. In addition, a strong notification program on the part of the applicant is essential to inform potential tenants about Luke AFB operations. We also recommend a review of the Luke AFB web site at <http://www.luke.af.mil>, Community Interests and Community Initiatives links, for further information.

If there are any questions, please contact my Community Planner, Mr. Bob Dubsy, at (623) 856-6195.

Sincerely

A handwritten signature in black ink, appearing to read "James R. Mitchell", written over a horizontal line.

JAMES R. MITCHELL

cc:

Colonel Henry M. Reed III, Vice Commander, 56th Fighter Wing

# SURPRISE VILLAGE MARKETPLACE - PHASE 2

## SEC OF ESTRELLA FREEWAY (303) & BELL ROAD

### SURPRISE, AZ

PORTIONS OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 3 NORTH,  
RANGE 2 WEST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

CITY OF SURPRISE

**GENERAL NOTES FOR CONSTRUCTION**

- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS, UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION (MAG), CITY OF SURPRISE INFRASTRUCTURE GUIDE, SURPRISE DETAILS AND CITY OF PHOENIX STANDARD DETAILS WILL CONTINUE TO APPLY WHERE SUCH DETAILS WERE NOT ADOPTED OR INCLUDED BY MAG. ALTERNATE DETAILS AND SPECIFICATIONS MAY BE SUBMITTED FOR REVIEW AND ACCEPTANCE BY THE ENGINEERING DEPARTMENT. IF ACCEPTED, ALTERNATE DETAILS WILL BE SHOWN AS PART OF THE APPROVED PLANS/DETAIL SHEETS.
- THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH CITY REQUIREMENTS PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS. HOWEVER, SUCH REVIEW SHALL NOT PREVENT THE CITY ENGINEER FROM REQUIRING CORRECTION OF ERRORS OR OMISSIONS IN PLANS FOUND TO BE IN VIOLATION OF ANY LAW OR ORDINANCE.
- APPROVAL BY THE CITY ENGINEER MEANS FOR GENERAL LAYOUT IN RIGHT-OF-WAY ONLY. THIS APPROVAL OF CONSTRUCTION PLANS IS VALID FOR A PERIOD OF NINE (9) MONTHS. CONSTRUCTION PERMITS SHALL BE OBTAINED WITHIN THIS PERIOD OR THE PLANS SHALL BE RESUBMITTED FOR APPROVAL. WORK SHALL ALSO BE CONTINUOUSLY PURSUED IN ORDER TO MAINTAIN A VALID PLAN APPROVAL AND PERMIT. APPROVAL IS ONLY FOR WORK WITHIN THE JURISDICTION OF THE CITY OF SURPRISE.
- THE CITY ENGINEER DOES NOT WARRANT ANY QUANTITIES SHOWN ON THESE PLANS.
- OFF-SITE PERMITS FOR ANY WORK WITHIN THE RIGHT-OF-WAY AND EASEMENTS, AND ANY GRADING AND DRAINAGE, WHETHER ON-SITE OR OFF-SITE, ARE REQUIRED PRIOR TO COMMENCING WORK. THE BUILDING PERMIT SHALL NOT BE CONSIDERED IN ANY WAY AS PERMISSION TO COMMENCE WORK COVERED BY AN OFF-SITE PERMIT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/DEVELOPER TO UNDERSTAND THE WORK COVERED BY VARIOUS PERMITS.
- AN APPROVED SET OF PLANS MUST BE AVAILABLE ON THE JOB SITE AT ALL TIMES. THE CONTRACTOR'S/DEVELOPER'S REPRESENTATIVE (CAPABLE OF COMMUNICATING WITH THE CITY'S REPRESENTATIVES) SHALL BE ON THE JOB AT ALL TIMES THE WORK IS BEING PURSUED.
- THE CONTRACTOR/DEVELOPER IS RESPONSIBLE TO PROVIDE EMERGENCY TELEPHONE NUMBERS TO THE CITY OF SURPRISE FOR ISSUANCE OF OFF-SITE/ON-SITE PERMITS AND HAVE PERSONNEL AVAILABLE 24-HOURS A DAY TO RESPOND TO EMERGENCIES. IF THE CITY IS REQUIRED TO RESPOND AND MAKE EMERGENCY REPAIRS ON BEHALF OF THE CONTRACTOR/DEVELOPER, THE CONTRACTOR/DEVELOPER IS RESPONSIBLE TO REIMBURSE THE CITY FOR ALL COSTS INCURRED.
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE TO ARRANGE FOR THE RELOCATION AND RELOCATION COSTS OF ALL UTILITIES, AND SUBMIT A UTILITY RELOCATION SCHEDULE PRIOR TO THE ISSUANCE OF A CONSTRUCTION PERMIT.
- THE PROCEDURES AND METHODS USED TO SAMPLE, TEST MATERIALS, AND REPORT TEST RESULTS WILL BE DETERMINED BY THE ENGINEERING DEPARTMENT. FOR ALL PHASES OF CONSTRUCTION, THE TYPE, SCHEDULING, FREQUENCY AND LOCATION OF ALL MATERIALS TESTING AND SAMPLING SHALL BE DETERMINED BY THE ENGINEERING DEPARTMENT. ALL TEST RESULTS SHALL BE REPORTED DIRECTLY (IN WRITING) TO THE ENGINEERING DEPARTMENT. FOR EACH PHASE OF CONSTRUCTION, TEST RESULTS (IN WRITING) MUST BE RECEIVED FROM THE TESTING LABORATORY, PRIOR TO START OF THE NEXT PHASE OF CONSTRUCTION.
- THE EXCAVATING CONTRACTOR MUST GIVE LOCATION FOR WASTING EXCESS EXCAVATION AND A LETTER FROM THE OWNER GIVING PERMISSION FOR DUMPING PRIOR TO STARTING ON-SITE CONSTRUCTION. DEVELOPER'S ENGINEER SHALL SUBMIT CERTIFICATION OF CONSTRUCTION BUILDING PAD ELEVATIONS PRIOR TO CITY ACCEPTANCE OF PROJECT.
- IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO VERIFY THE PRESENCE AND LOCATION OF ALL EXISTING OVERHEAD AND/OR UNDERGROUND UTILITIES THAT MAY INTERFERE WITH THIS CONSTRUCTION, WHETHER OR NOT SAID UTILITIES ARE SHOWN ON THE CONSTRUCTION PLANS FOR THIS PROJECT AND TO ADEQUATELY PROTECT AND MAINTAIN ANY SUCH UTILITIES.
- THE ENGINEERING DEPARTMENT DOES NOT ASSUME ANY LIABILITY FOR ERRORS OF LINE AND/OR GRADE ON ANY STAKING WHICH HAS BEEN DISTURBED IN ANY WAY, NOR DOES THE ENGINEER ASSUME ANY LIABILITY FOR ERRORS OF LINE AND/OR GRADE ON ANY STAKING THAT HAS BEEN IN PLACE FOR A PERIOD OF TWENTY-FOUR (24) HOURS OR MORE WITHOUT THE COMMENCEMENT OF THE CONSTRUCTION FOR WHICH IT WAS SET.
- THE CONTRACTOR SHALL CONTACT BLUE STAKE (602) 263-1100 PRIOR TO CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN CURRENT BLUE STAKE MARKINGS THROUGHOUT CONSTRUCTION.
- ALL CONTRACTORS/DEVELOPERS ARE RESPONSIBLE TO CONSTRUCT STABILIZED CONSTRUCTION ENTRANCES IN ORDER TO REDUCE OR ELIMINATE THE TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAYS OR STREETS. GRAVEL TRACK-OUT PADS SHALL MEET CURRENT MARICOPA COUNTY STANDARDS.
- ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SHALES, INTERCEPTION DITCHES, PIPES PROTECTIVE BERMS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT IMPROVEMENTS, WHETHER EXISTING OR PROPOSED, FROM RUNOFF OR DAMAGE FROM STORM WATER, MUST BE CONSTRUCTED PRIOR TO THE CONSTRUCTION OF ANY IMPROVEMENTS.
- ANY AND ALL OBSTRUCTIONS WITHIN THE RIGHTS-OF-WAY AND EASEMENTS SHALL BE REMOVED BEFORE ANY CONSTRUCTION IS COMMENCED.
- ALL CONTRACTORS/DEVELOPERS ARE RESPONSIBLE TO OBTAIN A NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS, INCLUDING NOTICE OF INTENT (NOI), NOTICE OF TERMINATION, AND STORM WATER POLLUTION PREVENTION PLAN (SWPPP). A COPY OF THE NOI AND SWPPP SHALL BE AVAILABLE ON THE JOB SITE AT ALL TIMES. ALL CONTRACTORS/DEVELOPERS ARE RESPONSIBLE TO OBTAIN THE NECESSARY 401 AND 404 PERMITS. A COPY OF THE PERMIT SHALL BE SUBMITTED TO THE CITY PRIOR TO APPROVAL OF THE GRADING AND DRAINAGE PLANS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR/DEVELOPER TO OBTAIN ANY AND ALL OTHER PERMITS AND MEET ANY REQUIREMENTS SET FORTH BY OTHER AGENCIES OR UTILITIES, WHICH HAVE JURISDICTION, AT THE CONTRACTORS/DEVELOPERS EXPENSE, INCLUDING OSHA. CONTRACTOR SHALL MEET OSHA STANDARDS FOR TRENCH SAFETY.
- AS A REMINDER, MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT HAS ASKED THE CITY TO INFORM ALL CONTRACTORS/DEVELOPERS WORKING IN THE CITY OF SURPRISE OF THE FOLLOWING:  
  
PER THE MARICOPA COUNTY AIR POLLUTION CONTROL RULES AND REGULATIONS ON EARTH MOVING EQUIPMENT PERMITS, NO PERSON SHALL CAUSE OR PERMIT THE USE OF ANY POWER OF MECHANICAL EQUIPMENT FOR COMMERCIAL PURPOSES TO CLEAR, EXCAVATE OR LEVEL LAND, INCLUDING BUT NOT LIMITED TO BLASTING, DEMOLITION, ROAD AND STREET CONSTRUCTION, SWIMMING POOL EXCAVATING, TRENCHING, VEGETATION REMOVAL, OR ENGAGE IN ANY OTHER EARTH MOVING ACTIVITIES WITHOUT FIRST OBTAINING A PERMIT FROM THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT. THE PROPERTY OWNER, LESSEE, DEVELOPER OR PRIME CONTRACTOR WILL BE RESPONSIBLE FOR ACQUIRING THE PERMIT.  
  
ALSO AS A REMINDER, IF THE ABOVE REFERENCED DEVELOPMENT HAS WORK THAT NEEDS TO BE DONE IN THE MARICOPA COUNTY RIGHTS-OF-WAY, PLEASE OBTAIN ALL PERMITS FROM THE MARICOPA COUNTY DEPARTMENT OF TRANSPORTATION. THE OFF-SITE PERMITS ISSUED BY THE CITY OF SURPRISE DO NOT COVER THE MARICOPA COUNTY RIGHTS-OF-WAY.
- FIRE ACCESS TO BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION AS REQUIRED BY THE CITY OF SURPRISE FIRE DEPARTMENT.
- ALL PROPOSED DEVELOPMENT PHASES DEPICTED ON THIS SITE PLAN SHALL BE PROVIDED A MINIMUM OF TWO (2) SEPARATE POINTS OF UNOBSTRUCTED ACCESS WITH A MINIMUM WIDTH OF TWENTY FEET, INSTALLED AND MAINTAINED PURSUANT TO THE REQUIREMENTS OF THE CITY OF SURPRISE.

**SHEET INDEX**

A0.1	COVER SHEET
S1.00	ALTA TITLE SHEET
S1.10	BOUNDARY SURVEY
S1.20	TOPOGRAPHIC SURVEY
A1.1	PHASING PLAN
A1.0	OVERALL SITE PLAN
C1.1	GRADING AND DRAINAGE PLAN
C2.1	UTILITY PLAN
A1.2	SITE DETAILS
A1.3	SITE DETAILS
A2.1	FLOOR PLAN - PAD D
A2.4	EXTERIOR ELEVATIONS - PAD D
A2.5	EXTERIOR ELEVATIONS - PAD D
A3.1	FLOOR PLAN - PAD F
A3.4	EXTERIOR ELEVATIONS - PAD F
A3.5	EXTERIOR ELEVATIONS - PAD F
PH1	SITE PHOTOMETRICS PLAN
PH2	PHOTOMETRICS CUT SHEETS
PH3	PHOTOMETRICS CUT SHEETS
L1	LANDSCAPE PLAN

**VICINITY MAP**



VICINITY MAP  
NOT TO SCALE

**CONSULTANTS**

**UTILITY CONTACTS:**

**ELECTRIC:**  
ARIZONA PUBLIC SERVICE (APS)  
P.O. BOX 53953 STATION 4620  
PHOENIX, ARIZONA 85072-3953  
PHONE: (623) 975-5740  
CONTACT: BRENDA BUCCIGROSSI

**TELEPHONE:**  
QUEST COMMUNICATIONS  
10220 NORTH 25TH AVE., RM 100  
PHOENIX, ARIZONA 85021  
PHONE: (602) 630-3462  
CONTACT: KATHY ERICKSON

**OWNER & DEVELOPER:**  
303 & BELL, LLC, A DELAWARE LLC  
4425 NORTH 24TH STREET, STE. 225  
PHOENIX, ARIZONA 85061  
PHONE: (602) 956-8254  
CONTACT: MELISSA HILL

**PLANNING DEPT.:**  
CITY OF SURPRISE  
12425 W. BELL ROAD SUITE D 100  
SURPRISE, ARIZONA 85374-9002  
PHONE: (623) 583-1000

**TRANSPORTATION DEPT.:**  
CITY OF SURPRISE  
12425 W. BELL ROAD SUITE D 100  
SURPRISE, ARIZONA 85374-9002  
PHONE: (623) 583-1000  
CONTACT: ROBERT EROH

**HIGHWAY DEPT.:**  
ARIZONA DEPT. OF TRANSPORTATION  
205 SOUTH 17TH STREET, ROOM 295  
MAIL DROP 614E  
PHOENIX, ARIZONA 85007  
PHONE: (602) 712-7646  
CONTACT: RON McCALLY

**ARCHITECT:**  
REIGLE & ASSOCIATES  
1242 N. 32ND STREET SUITE 200  
PHOENIX, ARIZONA 85032  
PHONE: (602) 493-3001  
CONTACT: RICK REIGLE

**WATER:**  
ARIZONA AMERICAN WATER  
19820 NORTH 7TH STREET STE. 201  
PHOENIX, ARIZONA 85024  
PHONE: (623) 445-2458  
CONTACT: GREG WILLIAMSON  
ADD'L CONTACT: TODD GILLAM

**NATURAL GAS:**  
SOUTHWEST GAS CORPORATION  
10851 NORTH BLACK CANYON HWY.  
P.O. BOX 52075  
PHOENIX, ARIZONA 85072-2075  
PHONE: (602) 395-4082  
CONTACT: LARRY HOLLY

**SURVEYOR:**  
WOOD/PATEL & ASSOCIATES, INC.  
2051 W. NORTHERN AVE.  
PHOENIX, AZ 85021  
PHONE: (602) 335-8500  
SURVEYOR: TOM GETTINGS

**STRUCTURAL ENGINEER:**  
AED INCORPORATED  
688 WEST FIRST STREET SUITE 6  
TEMPE, ARIZONA 85281  
PHONE: (480) 894-0399  
FAX: (480) 894-0396  
CONTACT: CHRIS SOSNOWSKI

**MECHANICAL / PLUMBING ENGINEER:**  
PETERSON & ASSOCIATES  
7201 NORTH DREAMY DRAW DRIVE  
SUITE #200  
PHOENIX, ARIZONA 85020  
PHONE: (602) 943-4116  
FAX: (602) 943-2507  
CONTACT: MARC HAASE

**ELECTRICAL ENGINEER:**  
PETERSON & ASSOCIATES  
7201 NORTH DREAMY DRAW DRIVE  
SUITE #200  
PHOENIX, ARIZONA 85020  
PHONE: (602) 943-4116  
FAX: (602) 943-2507  
CONTACT: MARC HAASE

**LANDSCAPE ARCHITECT:**  
T. J. McQUEEN AND ASSOCIATES  
1121 EAST MISSOURI SUITE 218  
PHOENIX, ARIZONA 85014  
PHONE: (602) 265-0320  
FAX: (602) 266-3739  
CONTACT: AMOS DODSON  
CONTACT: TERRY GLENN

**SANITARY SEWER:**  
CITY OF SURPRISE  
12425 WEST BELL ROAD  
SUITE D100  
SURPRISE, ARIZONA 85374-9002  
PHONE: (623) 875-4247  
CONTACT: TODD GILLAM

**FIRE DEPT.:**  
CITY OF SURPRISE  
12425 WEST BELL ROAD, STE. C-306  
SURPRISE, ARIZONA 85374  
PHONE: (623) 583-8225  
KEVIN BLOOMFIELD

**CIVIL ENGINEER:**  
SPICER GROUP, INC.  
2120 E. 5TH STREET  
TEMPE, AZ 85281  
PHONE: (480) 214-4065 EXT. 113  
FAX: (480) 214-4066  
CONTACT: DENIS V. KELSCH, P.E.

**FIRE PROTECTION/ FIRE ALARM**  
PETERSON & ASSOCIATES  
7201 NORTH DREAMY DRAW DRIVE  
SUITE #200  
PHOENIX, ARIZONA 85020  
PHONE: (602) 943-4116  
FAX: (602) 943-2507  
CONTACT: TERRY GLENN

**GEOTECHNICAL ENGINEER:**  
TERRACON  
4685 SOUTH ASH AVE., STE H-4  
TEMPE, ARIZONA 85282  
PHONE: (480) 897-8200  
CONTACT: SCOTT NEELY, P.E.

**ENVIRONMENTAL ENGINEER:**  
TERRACON  
4685 SOUTH ASH AVE., STE H-4  
TEMPE, ARIZONA 85282  
PHONE: (480) 897-8200  
CONTACT: HERB SPITZ, R.G.

**TRANSPORTATION ENGINEER:**  
CIVTECH  
4920 N. SCOTTSDALE RD., STE. 213  
SCOTTSDALE, ARIZONA 85251  
PHONE: (480) 659-4250  
CONTACT: JOE SPADAFINO P.E.,PTOE

**DESCRIPTION**

THAT PORTION OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 3 NORTH, RANGE 2 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA; DESCRIBED AS FOLLOWS:  
  
COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 1;  
  
THENCE SOUTH 89 DEGREES 50 MINUTES 12 SECONDS WEST, ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 1, 617.90 FEET;  
  
THENCE SOUTH 00 DEGREES 09 MINUTES 48 SECONDS EAST, 65.00 FEET TO THE POINT OF BEGINNING;  
  
THENCE SOUTH 00 DEGREES 13 MINUTES 53 SECONDS EAST, 996.39 FEET;  
  
THENCE NORTH 89 DEGREES 42 MINUTES 26 SECONDS EAST, 562.98 FEET, TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF SAID SARIVAL AVENUE, SAID POINT BEING ON THE WEST LINE OF THE EAST 55.00 FEET OF SAID SECTION 1;  
  
THENCE SOUTH 00 DEGREES 13 MINUTES 53 SECONDS EAST, ALONG SAID WEST RIGHT-OF-WAY LINE, 263.14 FEET TO A POINT ON THE SOUTH LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 1;  
  
THENCE SOUTH 89 DEGREES 42 MINUTES 26 SECONDS WEST, ALONG SAID SOUTH LINE, 1,261.68 FEET TO A POINT ON THE SOUTHWEST CORNER OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 1;  
  
THENCE NORTH 00 DEGREES 13 MINUTES 04 SECONDS WEST, ALONG THE WEST LINE OF SAID NORTHEAST QUARTER OF THE NORTHEAST QUARTER, 1261.10 FEET;  
  
THENCE NORTH 89 DEGREES 50 MINUTES 12 SECONDS EAST, PARALLEL WITH AND 65 FEET SOUTH OF THE AFOREMENTIONED NORTH LINE OF SAID SECTION 1, A DISTANCE OF 698.40 FEET TO THE POINT OF BEGINNING;

EXCEPT ALL MINERALS AS RESERVED BY THE CALIFORNIA, ARIZONA AND SANTA FE RAILWAY COMPANY IN QUIT-CLAIM DEED RECORDED IN DOCKET 3953, PAGE 116, MARICOPA COUNTY RECORDS, IN THAT PORTION OF SAID LAND LYING WITHIN THAT CERTAIN 50-FOOT STRIP OF LAND DESCRIBED AS PARCEL NO. 1 IN DEED RECORDED IN BOOK 215 OF DEEDS, PAGE 113, MARICOPA COUNTY RECORDS.

2) THE HORIZONTAL DATUM FOR THIS SURVEY IS BASED ON THE NATIONAL GEODETIC SURVEY (NGS) WEBSITE "WWW.NG.NOAA.GOV", ON NOVEMBER 26, 2007.

**PROJECTION:** ARIZONA CENTRAL ZONE, NAD 83, (EPOCH 07)  
**DATUM:** GR5-80  
**UNITS:** INTERNATIONAL FEET  
**GEOD MODEL:** GEOID 03  
  
**CONTROL POINT:** 4GCI  
**PID:** A-JB855  
**LATITUDE:** 33°38'04.7922"N  
**LONGITUDE:** 112°24'11.96773"W  
**ELLIPSOID HEIGHT:** 351.664  
**DESCRIPTION:** STAINLESS STEEL ROD  
  
**MODIFIED TO GROUND AT (GRID) N:** 958797.319, **E:** 551879.849, USING A SCALE FACTOR OF 1.0001299687.  
  
**HORIZONTAL ADJUSTMENT:** NONE  
**HORIZONTAL ROTATION:** NONE

THE VERTICAL DATUM FOR THIS SURVEY IS BASED ON A CHISEL SQUARE ON THE SOUTH SIDE OF A CONCRETE STREET LIGHT BASE AT THE SOUTHEAST CORNER OF BELL ROAD AND SARIVAL AVENUE HAVING AN ELEVATION OF 1266.15', CITY OF SURPRISE, NAVD 88 DATUM.

**RECEIVED**  
APR 16 2008  
COMMUNITY DEVELOPMENT  
CASE NUMBER: SP07-349

NO.	DATE	DESCRIPTION	BY



**REVISIONS**


**REIGLE & ASSOCIATES**  
ARCHITECTURE, PLANNING, LTD  
1242 N. 32nd Street Suite 200 Phoenix, AZ 85032 (602) 493-3001 FAX (602) 493-3001

**PROJECT NO.:** 0623  
**DRAWN BY:** J.M.  
**SCALE:** AS NOTED  
**CAD SAVED NAME:** 0623A0.1  
**DATE:** 19 FEB 08

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS THE PROPERTY OF REIGLE & ASSOCIATES, AND MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION.

**SHOPPING CENTER AT:**  
**SURPRISE VILLAGE MARKETPLACE**  
S.E.C. LOOP 303 AND BELL RD. SURPRISE, ARIZONA  
**BELL ROAD AND 303 LLC**  
MELISSA HILL  
7575 N. 16TH STREET - SUITE 1

**SHEET TITLE**  
**TITLE SHEET**

**SHEET NO.**  
**A0.1**



**DESCRIPTION**

That portion of the Northeast Quarter of the Northeast quarter of Section 1, Township 3 North, Range 2 West of the Gila and Salt River Base and Meridian, Maricopa County, Arizona; described as follows:

Commencing at the Northeast corner of said Section 1;

Thence South 89 degrees 50 minutes 12 seconds West, along the North line of the Northeast quarter of said Section 1, 617.90 feet;

Thence South 00 degrees 09 minutes 48 seconds East, 65.00 feet to the point of beginning;

(SEE NOTE 12) Thence South 00 degrees 13 minutes 53 seconds East, 996.39 feet;

(SEE NOTE 13) Thence North 89 degrees 42 minutes 28 seconds East, 562.98 feet, to a point on the West right-of-way line of said Sarival Avenue, said point being on the West line of the East 55.00 feet of said Section 1;

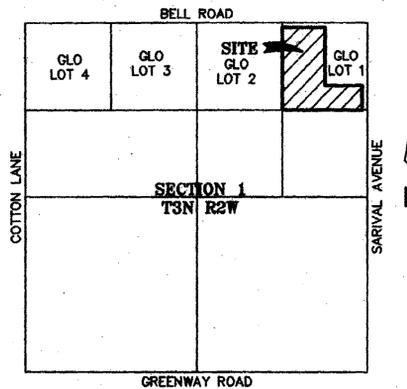
Thence South 00 degrees 13 minutes 53 seconds East, along said West right-of-way line, 263.14 feet to a point on the South line of the Northeast Quarter of the Northeast Quarter of said Section 1;

Thence South 89 degrees 42 minutes 26 seconds West, along said South line, 1,261.68 feet to a point on the Southwest corner of the Northeast Quarter of the Northeast Quarter of said Section 1;

Thence North 00 degrees 13 minutes 04 seconds West, along the West line of said Northeast Quarter of the Northeast Quarter, 1261.10 feet;

Thence North 89 degrees 50 minutes 12 seconds East, parallel with and 65 feet South of the aforementioned North line of said Section 1, a distance of 698.40 feet to the point of beginning;

(SEE NOTE 14) Except all minerals as reserved by the California, Arizona and Santa Fe Railway Company in Quit-Claim Deed recorded in Docket 3353, page 116, Maricopa County Records, in that portion of said land lying within that certain 50-foot strip of land described as Parcel No. 1 in Deed recorded in Book 215 of Deeds, page 113, Maricopa County Records.



**VICINITY MAP**

N.T.S.

**SCHEDULE "B" ITEMS**

1. RESERVATIONS contained in the Patent from the United States of America, reading as follows: SUBJECT to any vested and accrued water rights for mining, agricultural, manufacturing or other purposes, and rights to ditches and reservoirs used in connection with such water rights as may be recognized and acknowledged by the local customs, laws and decisions of courts; and there is reserved from the lands hereby granted, a right of way thereon for ditches or canals constructed by the authority of the United States of America.
2. TAXES AND ASSESSMENTS collectible by the County Treasurer, a lien payable but not yet due for the second half of the following year:  
2007
3. WATER RIGHTS, claims or title to water, and agreements, covenants, conditions or rights incident thereto, whether or not shown by the public records. This exception is not limited by reason of the disclosure of any matter relating to Water Rights as may be set forth elsewhere in Schedule B.
- (SEE NOTE 14) 4. RESERVATION of the right to remove the mineral estate in a portion of said land by means of wells, shafts, tunnels or other means of access which may be constructed, drilled or dug from other land as set forth in Quit-Claim Deed recorded in Docket 3353, page 116.
5. AGREEMENT according to the terms and conditions contained therein:  
Purpose: Modification of Irrigation Facilities  
Document No. 1988-124597
6. MATTERS SET FORTH in Order Regarding Change in Beneficial Uses of Water recorded in Document No. 1988-596767; and thereafter Second Order Regarding Change in Beneficial Uses of Water recorded in Document No. 1988-444811.
7. LIABILITIES AND OBLIGATIONS due to the inclusion of said land within the Maricopa County Municipal Water Conservation District No. One and Resolution to fix liens as set forth in Document No. 1988-582223.
8. ANY ACTION that may be taken by the Department of Transportation to acquire right of way for State Route 303 Loop as disclosed by Resolution of Establishment & Advance Acquisition:  
Recorded in Document No. 1988-267292
9. AGREEMENT according to the terms and conditions contained therein:  
Purpose: Intergovernmental Agreement and Mutual Grant of Easements  
Document No. 1997-231759
10. AGREEMENT according to the terms and conditions contained therein:  
Purpose: Development Agreement  
Document No. 1999-1090865
11. EASEMENT and rights incident thereto, as set forth in instrument:  
Recorded in Document No. 2001-223037  
Purpose: water lines and appurtenant facilities
12. EASEMENT and rights incident thereto, as set forth in instrument:  
Recorded in Document No. 2001-223039  
Purpose: water lines and appurtenant facilities
13. NOTICE of increased noise and accident potential relating to a military airport recorded in Document No. 2001-743413.
14. AGREEMENT according to the terms and conditions contained therein:  
Purpose: Donation Agreement  
Document No. 2002-727044
15. EASEMENT and rights incident thereto, as set forth in instrument:  
Recorded in Document No. 2002-1060934  
Purpose: sewer lines and appurtenant facilities
- (SEE NOTE 15) 16. THE FOLLOWING MATTER as disclosed by survey job no. GRAC008-S, dated April 22, 2004 by Gary R. Brandt, R.L.S. 28218:  
a. 3-foot by 6-foot electric vault on the North property line.
17. RESTRICTIONS, CONDITIONS, COVENANTS, RESERVATIONS, including but not limited to any recitals creating easements, liabilities, obligations or party walls, omitting, if any, from the above, any restrictions based on race, color, religion sex, handicap, familial status or national origin contained in Easements with Covenants and Restrictions Affecting Land:  
Recorded in Document No. 2006-1658065
18. ADVERSE MATTERS that may be revealed by an inspection of the land.  
NOTE: This exception will be amended or deleted upon the submission of the corresponding documents required in Schedule B, Part I.
19. RIGHTS OF LESSEES under unrecorded leases.  
NOTE: This exception will be amended or deleted upon the submission of the corresponding documents required in Schedule B, Part I.
20. LOCATION OF IMPROVEMENTS, easements, discrepancies, conflicts in boundary lines, shortage in area, encroachments or any other facts which a correct survey would disclose.  
NOTE: This exception will be amended or deleted upon the submission of the corresponding documents required in Schedule B, Part I.

**NOTES**

- 1) ALL TITLE INFORMATION IS BASED ON A COMMITMENT FOR TITLE INSURANCE PREPARED BY LAWYERS TITLE INSURANCE COMPANY, FILE NO. 00754415, DATED NOVEMBER 19, 2007. THIS SURVEY REFLECTS THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 1, T.3N., R.2W., AS GLO LOT 1.
- 2) THE HORIZONTAL DATUM FOR THIS SURVEY IS BASED ON THE NATIONAL GEODETIC SURVEY (NGS) WEBSITE "WWW.NG.NOAA.GOV", ON NOVEMBER 26, 2007.  
PROJECTION: ARIZONA CENTRAL ZONE, NAD 83, (EPOCH 07)  
DATUM: GRS-80  
UNITS: INTERNATIONAL FEET  
GEOD MODEL: GEOD 03  
CONTROL POINT: 4GC1  
PID: AJ3855  
LATITUDE: 33°38'04.7922"N  
LONGITUDE: 112°24'11.96773"W  
ELLIPSOID HEIGHT: 351.664  
DESCRIPTION: STAINLESS STEEL ROD  
MODIFIED TO GROUND AT (GRID) N:958797.319, E:551879.849, USING A SCALE FACTOR OF 1.0001299687.  
HORIZONTAL ADJUSTMENT: NONE  
HORIZONTAL ROTATION: NONE  
THE VERTICAL DATUM FOR THIS SURVEY IS BASED ON A CHISLED SQUARE ON THE SOUTH SIDE OF A CONCRETE STREET LIGHT BASE AT THE SOUTHEAST CORNER OF BELL ROAD AND SARIVAL AVENUE HAVING AN ELEVATION OF 1266.15', CITY OF SURPRISE, NAVD 88 DATUM.
- 3) THIS SURVEY WAS PERFORMED WITH GLOBAL POSITIONING SYSTEM EQUIPMENT UTILIZING REAL TIME KINEMATICS SURVEYING METHODS. THE MONUMENTS LOCATED ARE WITHIN THE POSITIONAL TOLERANCES RECOMMENDED IN THE ALTA/ACSM SURVEY REQUIREMENTS ADOPTED FOR USE IN 2005 BY THE AMERICAN LAND TITLE ASSOCIATION AND THE NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS.
- 4) AREA IS 1,029,649 SQUARE FEET OR 23.6375 ACRES, MORE OR LESS.
- 5) UNDERGROUND UTILITIES ARE NOT SHOWN. NO UNDERGROUND INVESTIGATION WAS PERFORMED.
- 6) THE ABBREVIATIONS THAT APPEAR WITH THE RECORD INFORMATION REPRESENT THE FOLLOWING:  
(R) ABOVE NAMED TITLE COMMITMENT  
(R1) RECORD OF SURVEY PLUS SUBDIVISION MARICOPA COUNTY GEODETIC DENSIFICATION AND CADASTRAL SURVEY BOOK 661, PAGE 18, M.C.R.  
(R2) FINAL PLAT OF NORTHWEST RANCH PHASE 1 BOOK 552, PAGE 01, M.C.R.  
(R3) RESULTS OF SURVEY FOR A.D.O.T. BOOK 333, PAGE 33, M.C.R.  
(R4) UNRECORDED ALTA/ACSM LAND TITLE SURVEY GERARD C. SCOTT BELL ROAD AND ESTRELLA FREEWAY, PREPARED BY HOOK ENGINEERING INC., JOB # 3994, DATED 8/24/99  
(R5) UNRECORDED A.L.T.A. SURVEY PART OF SECTION 1, T3N, R2W G. & S.R.B. & M. PREPARED BY VALLEY ENGINEERING & SURVEYING CO., MAY 18, 1984  
(R6) GENERAL LAND OFFICE PLAT OFFICIALLY FILED 11-12-1896
- 7) ACCORDING TO FEMA FLOOD INSURANCE RATE MAP NO. 04013C1145 H DATED SEPTEMBER 30, 2005, THE SUBJECT PROPERTY IS LOCATED IN OTHER FLOOD AREAS ZONE X. OTHER FLOOD AREAS ZONE X IS DESCRIBED AS: "AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD."
- 8) ANY DISTANCES, BEARINGS, DESCRIPTIONS, ETC., WHICH MAY VARY FROM THE PROVISIONS OF THE RECORD INFORMATION NOTED ABOVE REFLECT ACTUAL MEASURED DATA, OR THE BEST INTERPRETATION OF THE UNDERSIGNED.
- 9) ADJOINING OWNER INFORMATION IS PER THE MARICOPA COUNTY ASSESSOR'S OFFICE GEOGRAPHIC INFORMATION SYSTEM (GIS) WEBSITE ON NOVEMBER, 2007.
- 10) SUBJECT PROPERTY IS ZONED C-2 PAD AND R-3. SETBACK, HEIGHT AND BULK RESTRICTIONS ARE NOT CLEARLY DEFINED AND MAY APPLY.
- 11) CITY ZONE CODE: C-2 PAD AND R-3  
ACCESSOR ZONE CODE: PAD AND M-H  
PER INFORMATION SUPPLIED BY THE CLIENT.
- 12) THERE APPEARS TO BE A TYPOGRAPHICAL ERROR IN THE DESCRIPTION OF SAID TITLE COMMITMENT. IN OUR OPINION, IN THE FIRST COURSE AFTER THE POINT OF BEGINNING "South 00 degrees 13 minutes 53 seconds West" SHOULD BE "South 00 degrees 13 minutes 53 seconds East" AS SHOWN CORRECTED HEREON.
- 13) THERE APPEARS TO BE A TYPOGRAPHICAL ERROR IN THE DESCRIPTION OF SAID TITLE COMMITMENT. IN OUR OPINION, IN THE SECOND COURSE AFTER THE POINT OF BEGINNING "South 89 degrees 42 minutes 26 seconds East" SHOULD BE "North 89 degrees 42 minutes 26 seconds East" AS SHOWN CORRECTED HEREON.
- 14) DOCKET 3353, PAGE 116, M.C.R. AND DEED RECORDED IN BOOK 215, PAGE 113, M.C.R. WERE NOT PROVIDED OR AVAILABLE AT THE TIME OF THIS SURVEY AND MAY OR MAY NOT AFFECT SUBJECT PARCEL.
- 15) SCHEDULE "B" ITEM #16, MAY OR MAY NOT AFFECT SUBJECT PARCEL. AT THE TIME OF THIS SURVEY, THE SURVEY REFERENCED IN SAID SCHEDULE "B" ITEM #16 WAS NOT PROVIDED OR AVAILABLE.
- 16) THE MATHEMATICAL POSITION OF THE NORTH LINE OF THE FINAL PLAT FOR NORTHWEST RANCH PHASE 1 (BEING ALSO THE NORTH LINE OF TRACT B OF SAID FINAL PLAT) DOES NOT APPEAR TO HAVE ACCOUNTED FOR GLO LOTS 1 AND 2 WHEN DETERMINING THE LOCATION OF THE NORTH LINE OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 1, T.3N., R.2W.
- 17) THE PHYSICAL LOCATION OF THE FOUND 1/2" REBARS W/CAP RLS 31019 HOOK SHOWN IN DETAIL "A" AND "B" ON SHEET 2 AND 3 OF 3 APPEAR TO REPRESENT CORNERS OF THE UNRECORDED SURVEY IDENTIFIED AS (R4) IN NOTE 6, BUT NEITHER APPEAR TO HAVE ACCOUNTED FOR GLO LOT 2 WHEN DETERMINING THE LOCATION OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 1, T.3N., R.2W.

**CERTIFICATION**

TO: BELL ROAD & 303, L.L.C., A DELAWARE LIMITED LIABILITY COMPANY  
LAWYERS TITLE INSURANCE CORPORATION

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2005, AND INCLUDES ITEMS 1-6, 7(a), 8, 10, 11(g) AND 13 OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF ARIZONA, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

**ALTA/ACSM LAND TITLE SURVEY**  
**SURPRISE VILLAGE MARKETPLACE**  
 A PORTION OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 3 NORTH, RANGE 2 WEST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



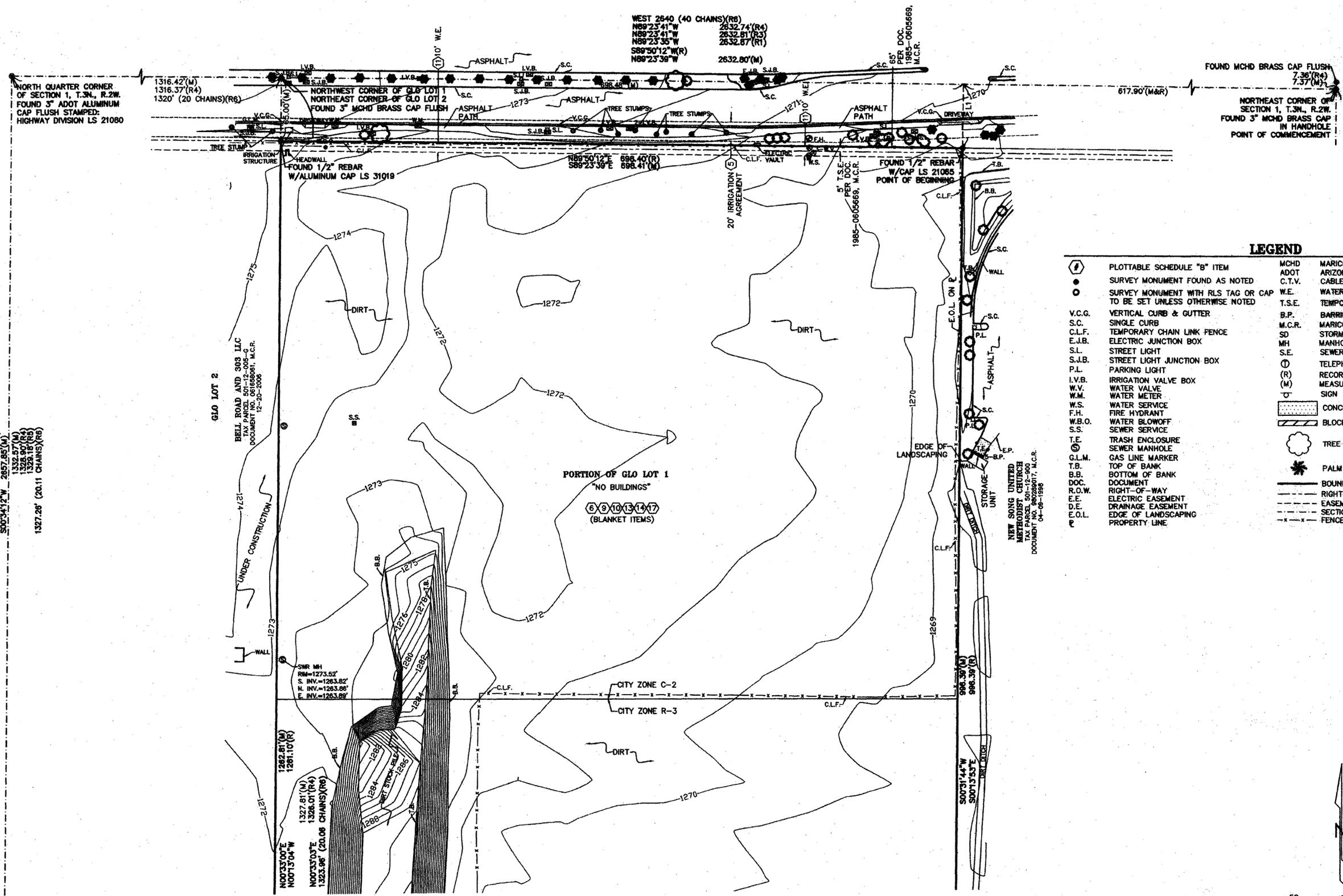
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 www.woodpatel.com  
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COMPLETED SURVEY FIELD  
 WORK ON 11-30-07  
 CHECKED BY  
 GR/RR/TRG  
 DAD TECHNICIAN  
 SCALE ECS  
 DATE 19 FEB 08  
 JOB NUMBER 073143.00  
 SHEET 1 OF 3

# ALTA/ACSM LAND TITLE SURVEY

**SURPRISE VILLAGE MARKETPLACE**

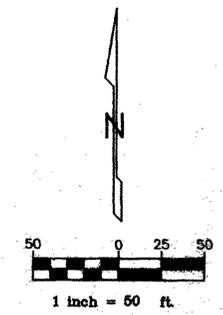
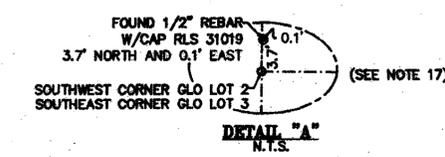
A PORTION OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 3 NORTH, RANGE 2 WEST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



### LEGEND

- |        |                                                                      |           |                                      |
|--------|----------------------------------------------------------------------|-----------|--------------------------------------|
| ⬢      | PLOTTABLE SCHEDULE "B" ITEM                                          | MCHD      | MARICOPA COUNTY HIGHWAY DEPARTMENT   |
| ●      | SURVEY MONUMENT FOUND AS NOTED                                       | ADOT      | ARIZONA DEPARTMENT OF TRANSPORTATION |
| ○      | SURVEY MONUMENT WITH RLS TAG OR CAP TO BE SET UNLESS OTHERWISE NOTED | C.T.V.    | CABLE TV VAULT                       |
|        |                                                                      | W.E.      | WATERLINE EASEMENT                   |
|        |                                                                      | T.S.E.    | TEMPORARY SLOPE EASEMENT             |
| V.C.G. | VERTICAL CURB & GUTTER                                               | B.P.      | BARRIER POST                         |
| S.C.   | SINGLE CURB                                                          | M.C.R.    | MARICOPA COUNTY RECORDS              |
| C.L.F. | TEMPORARY CHAIN LINK FENCE                                           | SD        | STORM DRAIN                          |
| E.J.B. | ELECTRIC JUNCTION BOX                                                | MH        | MANHOLE                              |
| S.L.   | STREET LIGHT                                                         | S.E.      | SEWER EASEMENT                       |
| S.J.B. | STREET LIGHT JUNCTION BOX                                            | ⊕         | TELEPHONE MANHOLE                    |
| P.L.   | PARKING LIGHT                                                        | (R)       | RECORD DATA                          |
| I.V.B. | IRRIGATION VALVE BOX                                                 | (M)       | MEASURED DATA                        |
| W.V.   | WATER VALVE                                                          | ⊕         | SIGN                                 |
| W.M.   | WATER METER                                                          | ▨         | CONCRETE                             |
| W.S.   | WATER SERVICE                                                        | ▩         | BLOCK WALL                           |
| F.H.   | FIRE HYDRANT                                                         | ⊗         | TREE OR BUSH                         |
| W.B.O. | WATER BLOWOFF                                                        | ⊗         | PALM TREE                            |
| S.S.   | SEWER SERVICE                                                        | —         | BOUNDARY LINE                        |
| T.E.   | TRASH ENCLOSURE                                                      | - - -     | RIGHT-OF-WAY LINE                    |
| G.L.M. | GAS LINE MARKER                                                      | - · - · - | EASEMENT LINE AS NOTED               |
| T.B.   | TOP OF BANK                                                          | - - - - - | SECTION LINE                         |
| B.B.   | BOTTOM OF BANK                                                       | - · - · - | FENCE LINE                           |
| DOC.   | DOCUMENT                                                             |           |                                      |
| R.O.W. | RIGHT-OF-WAY                                                         |           |                                      |
| E.E.   | ELECTRIC EASEMENT                                                    |           |                                      |
| D.E.   | DRAINAGE EASEMENT                                                    |           |                                      |
| E.O.L. | EDGE OF LANDSCAPING                                                  |           |                                      |
| P      | PROPERTY LINE                                                        |           |                                      |

LINE	BEARING	DISTANCE
L1(M)	S00°36'21"W	65.00'
L1(R)	S00°09'48"E	65.00'



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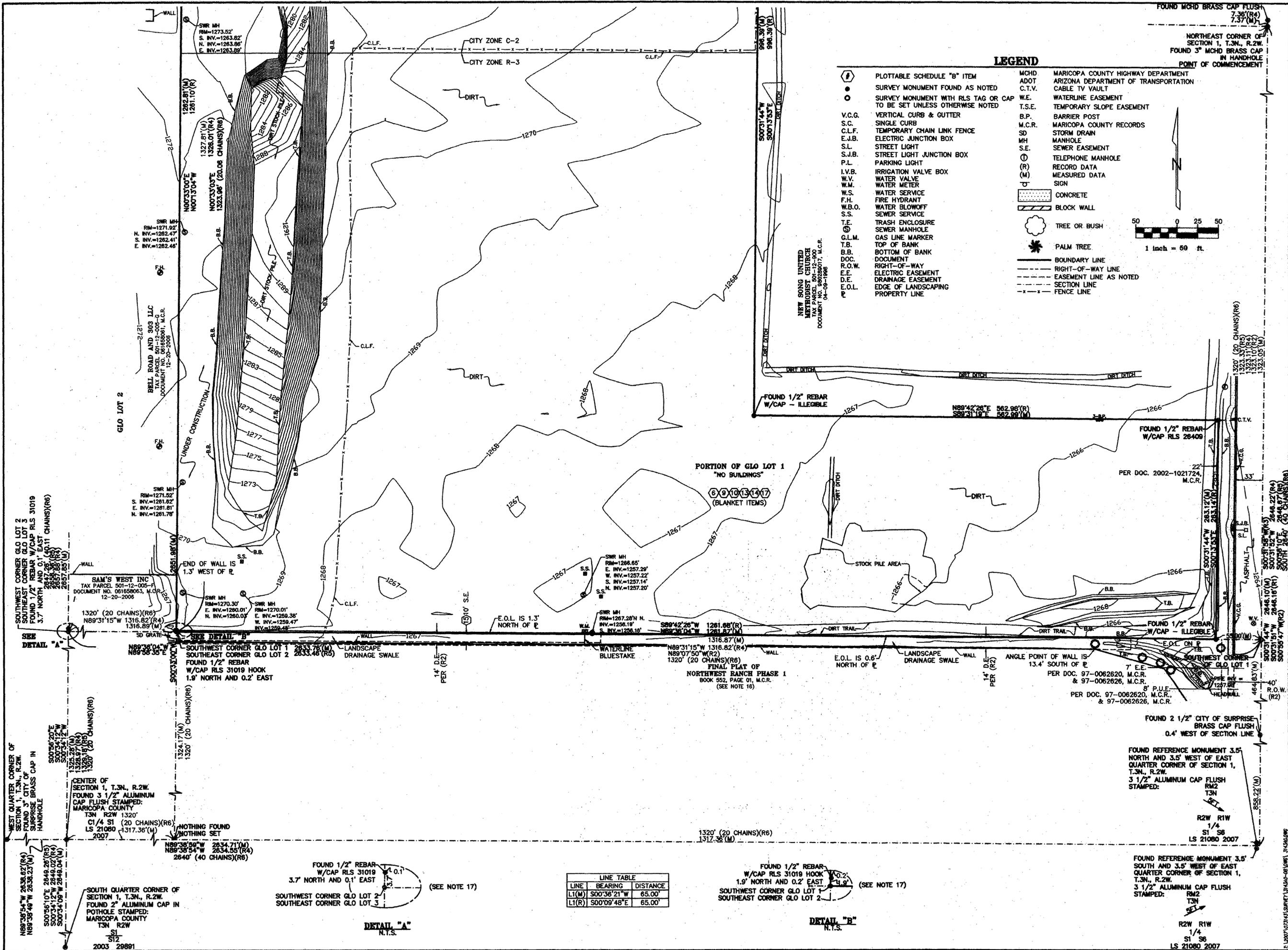
COMPLETED SURVEY FIELD WORK ON 11-30-07  
 CHECKED BY GR/RR/TRG  
 CAD TECHNICIAN ECS  
 SCALE 1"=50'  
 DATE 19 FEB 08  
 JOB NUMBER 073143.80  
 SHEET 2 OF 3

2847.28' (40.11 CHAINS)(R6)  
 2855.38' (R5)  
 2857.12' (R4)  
 2857.85' (M)  
 1327.28' (20.11 CHAINS)(R6)  
 1327.28' (M)  
 1328.18' (R5)  
 1328.18' (R4)

SOUTHWEST CORNER GLO LOT 2  
 SOUTHWEST CORNER GLO LOT 3  
 FOUND 1/2" REBAR  
 W/CAP RLS 31019  
 3.7' NORTH AND 0.1' EAST  
 SEE DETAIL "A"

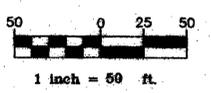
2847.28' (40.11 CHAINS)(R6)  
 2855.38' (R5)  
 2857.12' (R4)  
 2857.85' (M)  
 1327.28' (20.11 CHAINS)(R6)  
 1327.28' (M)  
 1328.18' (R5)  
 1328.18' (R4)

SOUTHWEST CORNER GLO LOT 2  
 SOUTHWEST CORNER GLO LOT 3  
 FOUND 1/2" REBAR  
 W/CAP RLS 31019  
 3.7' NORTH AND 0.1' EAST  
 SEE DETAIL "A"



**LEGEND**

- Ⓜ PLOTTABLE SCHEDULE "B" ITEM
- SURVEY MONUMENT FOUND AS NOTED
- SURVEY MONUMENT WITH RLS TAG OR CAP TO BE SET UNLESS OTHERWISE NOTED
- V.C.G. VERTICAL CURB & GUTTER
- S.C. SINGLE CURB
- C.L.F. TEMPORARY CHAIN LINK FENCE
- E.J.B. ELECTRIC JUNCTION BOX
- S.L. STREET LIGHT
- S.J.B. STREET LIGHT JUNCTION BOX
- P.L. PARKING LIGHT
- I.V.B. IRRIGATION VALVE BOX
- W.V. WATER VALVE
- W.M. WATER METER
- W.S. WATER SERVICE
- F.H. FIRE HYDRANT
- W.B.O. WATER BLOWOFF
- S.S. SEWER SERVICE
- T.E. TRASH ENCLOSURE
- S.E. SEWER MANHOLE
- G.L.M. GAS LINE MARKER
- T.B. TOP OF BANK
- B.B. BOTTOM OF BANK
- DOC. DOCUMENT
- R.O.W. RIGHT-OF-WAY
- E.E. ELECTRIC EASEMENT
- D.E. DRAINAGE EASEMENT
- E.O.L. EDGE OF LANDSCAPING
- P. PROPERTY LINE
- MCHD MARICOPA COUNTY HIGHWAY DEPARTMENT
- ADOT ARIZONA DEPARTMENT OF TRANSPORTATION
- C.T.V. CABLE TV VAULT
- W.E. WATERLINE EASEMENT
- T.S.E. TEMPORARY SLOPE EASEMENT
- B.P. BARRIER POST
- M.C.R. MARICOPA COUNTY RECORDS
- SD STORM DRAIN
- MH MANHOLE
- S.E. SEWER EASEMENT
- Ⓜ TELEPHONE MANHOLE
- (R) RECORD DATA
- (M) MEASURED DATA
- Ⓜ SIGN
- CONCRETE
- BLOCK WALL
- TREE OR BUSH
- PALM TREE
- BOUNDARY LINE
- RIGHT-OF-WAY LINE
- EASEMENT LINE AS NOTED
- SECTION LINE
- FENCE LINE



NEW SONG UNITED  
METHODIST CHURCH  
TAX PARCEL 501-12-900  
DOCUMENT NO. 99-09-1986  
04-09-1986

**ALTA/ACSM LAND TITLE SURVEY**

**SURPRISE VILLAGE MARKETPLACE**

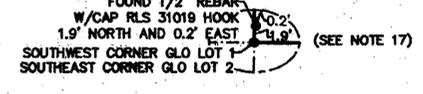
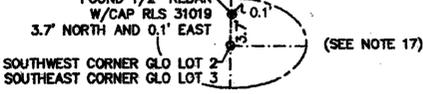
A PORTION OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 3 NORTH, RANGE 2 WEST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



**WOOD/PATEL**  
LAND DEVELOPMENT • WATER RESOURCES  
CONSTRUCTION • TRANSPORTATION/TRAFFIC  
WATER/WASTEWATER • SURVEYING  
CONSTRUCTION MANAGEMENT  
2051 W. Northern Ave.  
Phoenix, AZ 85021  
(602) 335-8500  
www.woodpatel.com  
FIDELITY • MESA • GOCITYBAR • TUCKER

COMPLETED SURVEY FIELD WORK ON 11-30-07  
CHECKED BY OR/RR/TRG  
CAD TECHNICIAN ECS  
SCALE 1"=50'  
DATE 19 FEB 08  
JOB NUMBER 073143.80  
SHEET 3 OF 3

LINE	BEARING	DISTANCE
L1(M)	S00°36'21"W	65.00'
L1(R)	S00°09'48"E	65.00'



**DETAIL "A"**  
N.T.S.

**DETAIL "B"**  
N.T.S.

SOUTH QUARTER CORNER OF SECTION 1, T.3N., R.2W. FOUND 2" ALUMINUM CAP IN POT HOLE STAMPED: MARICOPA COUNTY T3N R2W 1320'

WEST QUARTER CORNER OF SECTION 1, T.3N., R.2W. FOUND 3" CITY OF SURPRISE BRASS CAP IN HANDHOLE

SEE DETAIL "A"

SEE DETAIL "B"

SOUTHWEST CORNER GLO LOT 2 SOUTH EAST CORNER GLO LOT 3 FOUND 1/2" REBAR W/CAP RLS 31019 3.7' NORTH AND 0.1' EAST (SEE NOTE 17)

SAM'S WEST INC TAX PARCEL 501-12-005-F DOCUMENT NO. 061658063, M.C.R. 12-20-2006

END OF WALL IS 1.3' WEST OF R

LANDSCAPE DRAINAGE SWALE

WATERLINE BLUESTAKE

E.O.L. IS 1.3' NORTH OF P

LANDSCAPE DRAINAGE SWALE

WALL

WATERLINE BLUESTAKE

E.O.L. IS 0.6' NORTH OF P

LANDSCAPE DRAINAGE SWALE

WALL

ANGLE POINT OF WALL IS 13.4' SOUTH OF P

PER DOC. 97-0062620, M.C.R. & 97-0062626, M.C.R.

PER DOC. 97-0062620, M.C.R. & 97-0062626, M.C.R.

FOUND 2 1/2" CITY OF SURPRISE BRASS CAP FLUSH 0.4' WEST OF SECTION LINE

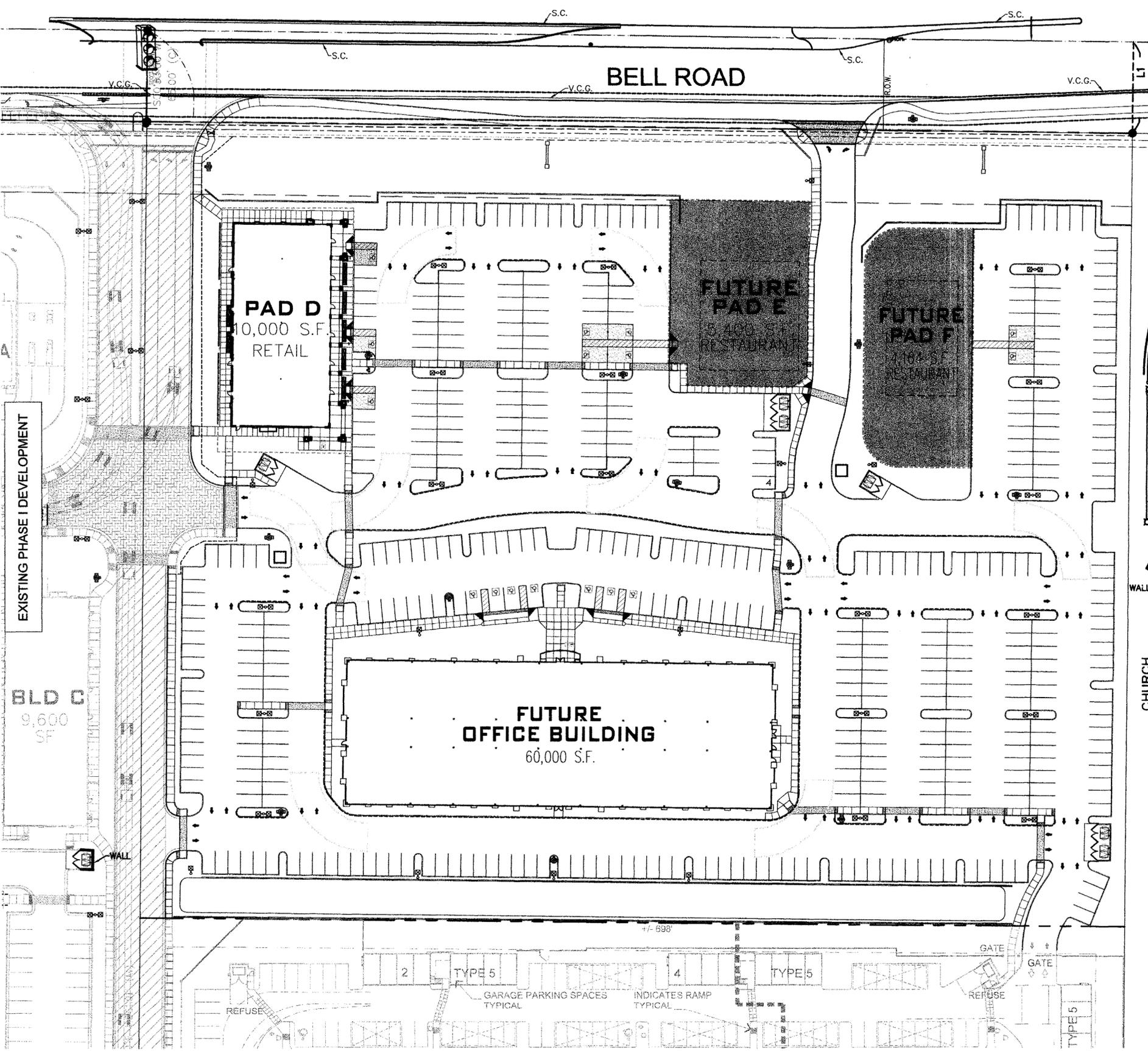
FOUND REFERENCE MONUMENT 3.5' NORTH AND 3.5' WEST OF EAST QUARTER CORNER OF SECTION 1, T.3N., R.2W.

3 1/2" ALUMINUM CAP FLUSH STAMPED: T3N R2W 1320'

FOUND REFERENCE MONUMENT 3.5' SOUTH AND 3.5' WEST OF EAST QUARTER CORNER OF SECTION 1, T.3N., R.2W.

3 1/2" ALUMINUM CAP FLUSH STAMPED: RM2 T3N R2W R1W 1/4 S1 S6 LS 21080 2007

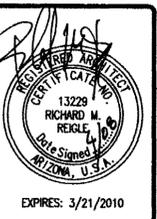
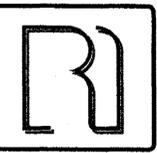
SP 05 - 476: APPROVED  
C-2 P.A.D. RETAIL CENTER



SP 07 - 145: PENDING  
APARTMENTS

# PHASING PLAN

1" = 40'-0"



REVISIONS

**REIGLE & ASSOCIATES**  
ARCHITECTURE, PLANNING, LTD  
12424 N. 52nd Street Suite 200 Phoenix, AZ 85033 (602) 493-3001 FAX (602) 499-1760

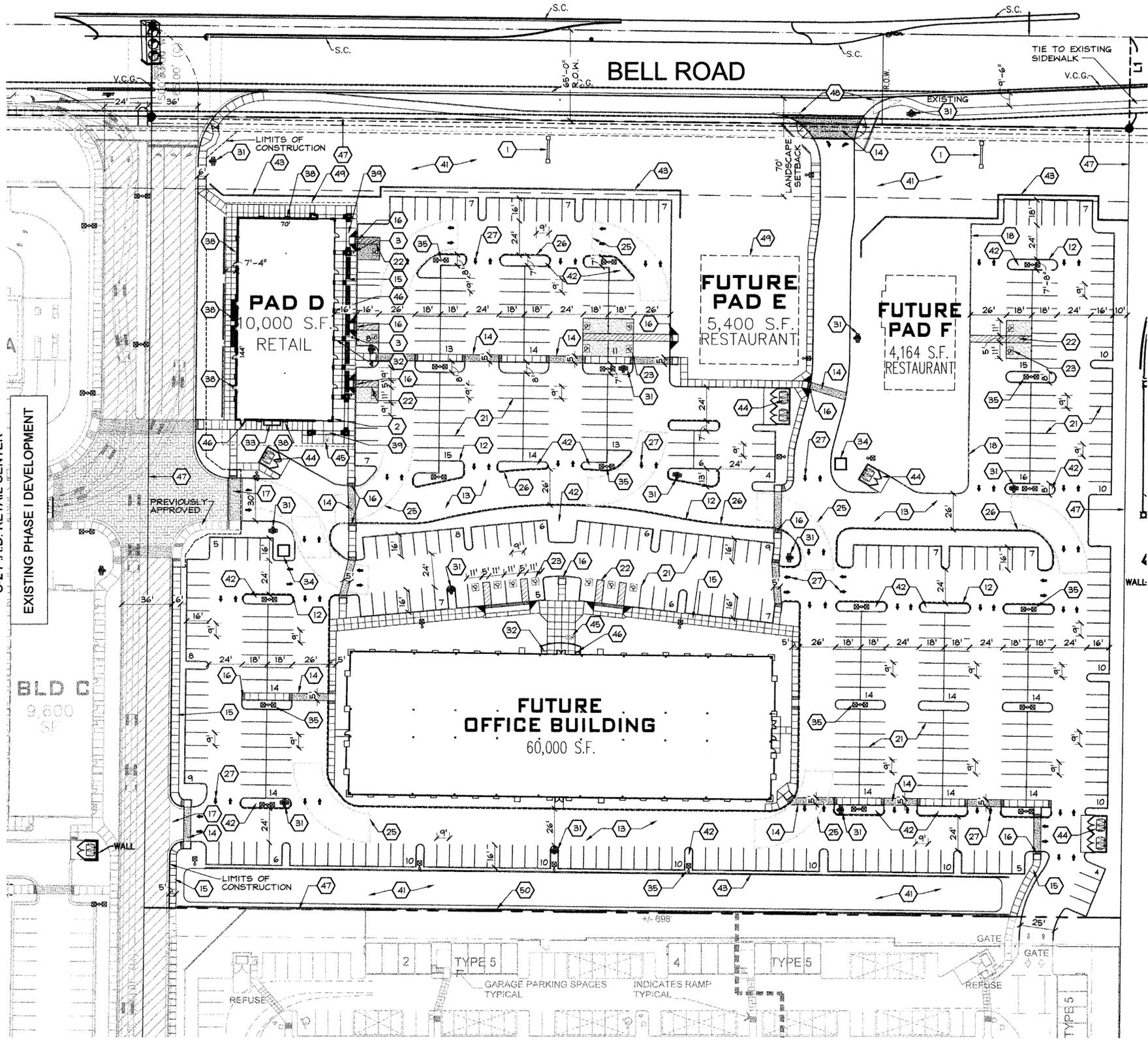
PROJECT NO. 0623
DRAWN BY: J.M.
SCALE: 1" = 40'-0"
CAD SAVED NAME: 0623A1.1
DATE: 19 FEB 08

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS THE PROPERTY OF REIGLE & ASSOCIATES, AND MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION.

A SITE PLAN FOR:  
**SURPRISE VILLAGE MARKETPLACE**  
S.E.C. LOOP 303 AND BELL RD. SURPRISE, ARIZONA  
**BELL ROAD AND 303 LLC**  
C/O MELISSA HILL  
7875 N. 16TH STREET - SUITE 1

SHEET TITLE  
**PHASING PLAN**

SHEET NO.  
**A1.1**



SP 07 - 145: PENDING APARTMENTS

**SITE PLAN**

1" = 40'-0"



**KEYED NOTES**

- 00 - SIGNS**
- SITE MONUMENT BY OTHERS APPROVED.
  - DASHED LINE INDICATES LOCATION OF MIN. 15" HIGH BLACK ADDRESS NUMBERS POSTED ON BUILDING PER FIRE DEPARTMENT REQUIREMENTS.
  - ACCESSIBLE PARKING SIGN PER CITY OF SURPRISE REQUIREMENTS, RE: 5,6,9,10/AI.3.
  - FIRE LANE SIGNAGE PER FIRE DEPARTMENT STANDARDS, MIN. 12" X 18" SIGN FACE WITH MIN. 2" HIGH RED LETTERS ON WHITE BACKGROUNDS STATING "FIRE LANE NO PARKING BY ORDER OF STATE FIRE MARSHALL", MAXIMUM SPACING OF SIGNS 75' (TYPICAL).
- 10 - PAVING & CONC. CURBS / SIDEWALKS**
- NOT USED.
  - 6" HIGH CAST IN PLACE CONCRETE CURB, TYPICAL OF LANDSCAPE PLANTERS AND ALL PARKING ISLANDS, RE: CIVIL DRAWINGS.
  - ASPHALT PAVING, RE: CIVIL DRAWINGS AND SOILS REPORT.
  - A.D.A. COMPLIANT ACCESSIBLE ROUTE WITH ENHANCED CONCRETE PAVING (SHOWN HATCHED) THROUGHOUT SITE, INTERCONNECTING ALL BUILDINGS, (MAXIMUM CROSS SLOPE SHALL NOT EXCEED 2%), RE: CIVIL DRAWINGS AND SOILS REPORT. WIDTH PER SITE PLAN.
  - 4" THICK (MIN.) CONCRETE SIDEWALK ON 4" A.B.C. WITH MEDIUM BROOM FINISH, EXPANSION JOINTS @ 20'-0" O.C. & CONTROL JOINTS @ 5'-0" O.C. MAX., WHERE SIDEWALK ABUTS BUILDING SLOPE AWAY FROM BUILDING. (MAXIMUM CROSS SLOPE SHALL NOT EXCEED 2%). WIDTH PER SITE PLAN.
  - CONCRETE CURB RAMP WITH TRUNCATED DOME TACTILE SURFACE FULL FACE OF RAMP OVER 4" A.B.C., SLOPE NOT TO EXCEED 1:12 (8.33%) MAX., EDGE OF RAMP SHALL BE FLUSH WITH ASPHALT PAVING, RE: 1/AI.3 AND CIVIL DRAWINGS. WIDTH PER SITE PLAN.
  - CONNECTING DRIVE TO EXISTING DEVELOPMENT, RE: CIVIL DRAWINGS.
  - DASHED LINE INDICATES 6" HIGH TEMPORARY CONCRETE CURB, RE CIVIL DRAWINGS.
- 20 - SITE PAINTING**
- 4" WIDE PAINTED PARKING STRIPES WITH (2) COATS HIGHWAY WHITE PAINT - TYPICAL, RE: CIVIL DRAWINGS.
  - 5'-0" ACCESSIBLE AISLE WITH 4" WIDE PERIMETER STRIPE AND 4" WIDE STRIPE AT 36" O.C. DIAGONALLY WITH (2) COATS HIGHWAY WHITE PAINT - TYPICAL.
  - ACCESSIBLE PARKING SIGN PAINTED ON ASPHALT PAVING, RE: 2/AI.2.
  - 12' X 36' DRIVE THRU PICKUP WITH 4" WIDE PERIMETER STRIPES AND 4" WIDE STRIPES AT 36" O.C. DIAGONALLY WITH (2) COATS HIGHWAY WHITE PAINT - TYPICAL.
  - DASHED LINE INDICATES HAMMERHEAD TYPE FIRE TRUCK EMERGENCY VEHICLE TURN RADIUS (TYPICAL) AND IS FOR BUILDING SAFETY REVIEW ONLY - NO PAINTING REQUIRED.
  - DASHED LINE INDICATES CONCRETE CURB PAINTED RED WITH MIN. 3" HIGH WHITE LETTERS STATING "FIRE LANE NO PARKING" WITH ASSOCIATED FIRE DEPARTMENT NO PARKING SIGNS, PER FIRE DEPARTMENT STANDARDS.
  - 4" WIDE PAINTED DIRECTIONAL ARROWS WITH (2) COATS REFLECTIVE YELLOW - TYPICAL, RE: 3/AI.2 AND CIVIL DRAWINGS.
- 30 - SITE UTILITIES**
- FIRE HYDRANT, RE: CIVIL DRAWINGS
  - FIRE DEPARTMENT CONNECTION PER FIRE DEPARTMENT REQUIREMENTS, RE: CIVIL DRAWINGS.
  - ELECTRICAL SERVICE ENTRANCE SECTION ON 4" CONCRETE PAD WITH 8" MIN. TURN DOWN AT PERIMETER OF SLAB. TOP OF SLAB SHALL BE 4" ABOVE ADJACENT FINISH GRADE. VERIFY EXACT SIZE AND LOCATION WITH S.E.S. SUPPLIER, RE: ELECTRICAL DRAWINGS.
  - ELECTRICAL TRANSFORMER ON 4" CONCRETE PAD. VERIFY EXACT SIZE AND LOCATION WITH UTILITY COMPANY, RE: ELECTRICAL DRAWINGS.
  - PARKING LOT LIGHT POLE ON 24" DIA. CONCRETE BASE WITH SACK FINISH, RE: ELECTRICAL DRAWINGS FOR EXACT LOCATIONS AND STRUCTURAL DRAWINGS.
  - DASHED LINE INDICATES FUTURE UNDERGROUND GREASE INTERCEPTOR, PROVIDED AND INSTALLED BY TENANT, RE: CIVIL DRAWINGS AND PLUMBING DRAWINGS.
  - GAS METER LOCATION, VERIFY EXACT LOCATION AND REQUIREMENTS WITH GAS COMPANY.
  - BUILDING MOUNTED LIGHT @ 16'.
  - RECESSED BUILDING MOUNTED LIGHT @ 12'.
- 40 - SITE AMENITIES**
- LANDSCAPED RETENTION BASIN, RE: CIVIL AND LANDSCAPE DRAWINGS.
  - LANDSCAPE PLANTER, RE: LANDSCAPE DRAWINGS.
  - 3'-0" (MIN.) HIGH MASONRY SCREEN WALL/RETAINING WALL, MEASURED FROM THE BASE OF THE CONCRETE CURB AT THE ADJACENT PARKING SPACE, RE: 11/AI.2 AND STRUCTURAL DRAWINGS.
  - TRASH ENCLOSURE: 6'-0" HIGH MASONRY WALL AND METAL FRAME GATES, PROVIDE 10'-0" X WIDTH X 6" THICK CONCRETE APRON TO SUPPORT VEHICLE WHEELS, RE: 3,4,7,8,11/AI.3.
  - BICYCLE PARKING RACK, RIB STYLE EMBEDDED INTO CONCRETE (1 RIB - 2 BICYCLE PARKING SPACES), RE: 10/AI.2.
  - KNOX BOX, VERIFY EXACT LOCATION WITH FIRE MARSHALL IN FIELD.
  - EXISTING PROPERTY LINE, RE: CIVIL DRAWINGS.
  - 10' X 20' SITE VISIBILITY TRIANGLE INDICATED BY DASHED LINE.
  - LIMITS OF FUTURE BUILDING AREA, THE AREA SHOWN SHALL MEET THE REQUIREMENTS OF THE GEOTECHNICAL REPORT FOR AN ENGINEERED PAD FOR SLAB ON GRADE CONSTRUCTION.
  - 42" HIGH GUARD RAIL ON MASONRY RETAINING WALL, RE: 12/AI.2 AND STRUCTURAL DRAWINGS.
- ALL DIMENSIONS TO FACE OF CURB.  
ALL CHANGES TO BE APPROVED BY THE CITY OF SURPRISE PLANNING DEPARTMENT.  
ALL SIGNS REQUIRE A SEPARATE PERMIT.
- ALL PROPOSED DEVELOPMENT PHASES DEPICTED ON THIS SITE PLAN SHALL BE PROVIDED A MINIMUM OF TWO (2) SEPARATE POINTS OF UNOBSTRUCTED ACCESS WITH A MINIMUM WIDTH OF TWENTY FEET, INSTALLED AND MAINTAINED PURSUANT TO THE REQUIREMENTS OF THE CITY OF SURPRISE.
- IBC CONSTRUCTION TYPE (SHOP BUILDINGS): V-B  
OCCUPANCY CLASSIFICATION (SHOP BUILDINGS) M / B / A-2 (UNSEPARATED)  
IBC CONSTRUCTION TYPE (OFFICE BUILDING): III-B  
OCCUPANCY CLASSIFICATION (OFFICE BUILDING) B  
ALL BUILDINGS ARE FULLY SPRINKLERED
- ARCHITECT:  
REIGLE & ASSOCIATES  
12424 NORTH 32ND. STREET  
SUITE 200  
PHOENIX, ARIZONA 85032  
PHONE: (602) 493-3001  
FAX: (602) 493-1760  
CONTACT: RICK REIGLE
- CIVIL ENGINEER:  
SPICER GROUP, INC.  
2120 E. 5TH STREET  
TEMPE, ARIZONA 85281  
PHONE: (480) 214-4065  
FAX: (480) 214-4066  
CONTACT: DENIS V. KELSCH, P.E.
- | BUILDING AREA: |                    |
|----------------|--------------------|
| PAD D          | 10,000 S.F.        |
| PAD E          | 5,400 S.F.         |
| PAD F          | 4,164 S.F.         |
| OFFICE         | 60,000 S.F.        |
| <b>TOTAL:</b>  | <b>79,564 S.F.</b> |
- | PARKING REQUIRED:                   |                   |
|-------------------------------------|-------------------|
| RETAIL (11,779 S.F. / 250 )         | = 48 SPACES       |
| RESTAURANT (7,785 S.F. x 0.6 / 50)  | = 94 SPACES       |
| OUTDOOR PATIO (470 S.F. x 0.6 / 50) | = 12 SPACES       |
| OFFICE (60,000 S.F. x 4/1000)       | = 240 SPACES      |
| <b>TOTAL PARKING REQUIRED:</b>      | <b>394 SPACES</b> |
| <b>TOTAL PARKING PROVIDED:</b>      | <b>471 SPACES</b> |
- 
- MINIMUM SIMPLE CURVE WITH TAPER  
60 FT. RADIUS, OFFSET 4 FT.
- ALL ACCESS ROADS AND ALL TURNING RADIUS, INCLUDING PARKING AISLE ISLANDS SHALL COMPLY WITH REQUIREMENT OF WB-50.  
CASE NUMBER: SP07-349

SP 05 - 476: APPROVED  
C-2 P.A.D. RETAIL CENTER

EXISTING PHASE I DEVELOPMENT

BLD C  
9,600 S.F.



REGISTERED PROFESSIONAL ENGINEER  
RICK REIGLE  
No. 13229  
State of Arizona  
EXPIRES: 3/21/2010

REVISIONS

NO.	DESCRIPTION

**REIGLE & ASSOCIATES**  
ARCHITECTURE, PLANNING, LTD.  
12424 N. 32nd Street, Suite 200 Phoenix, AZ 85032 (602) 493-3001 FAX (602) 493-1760

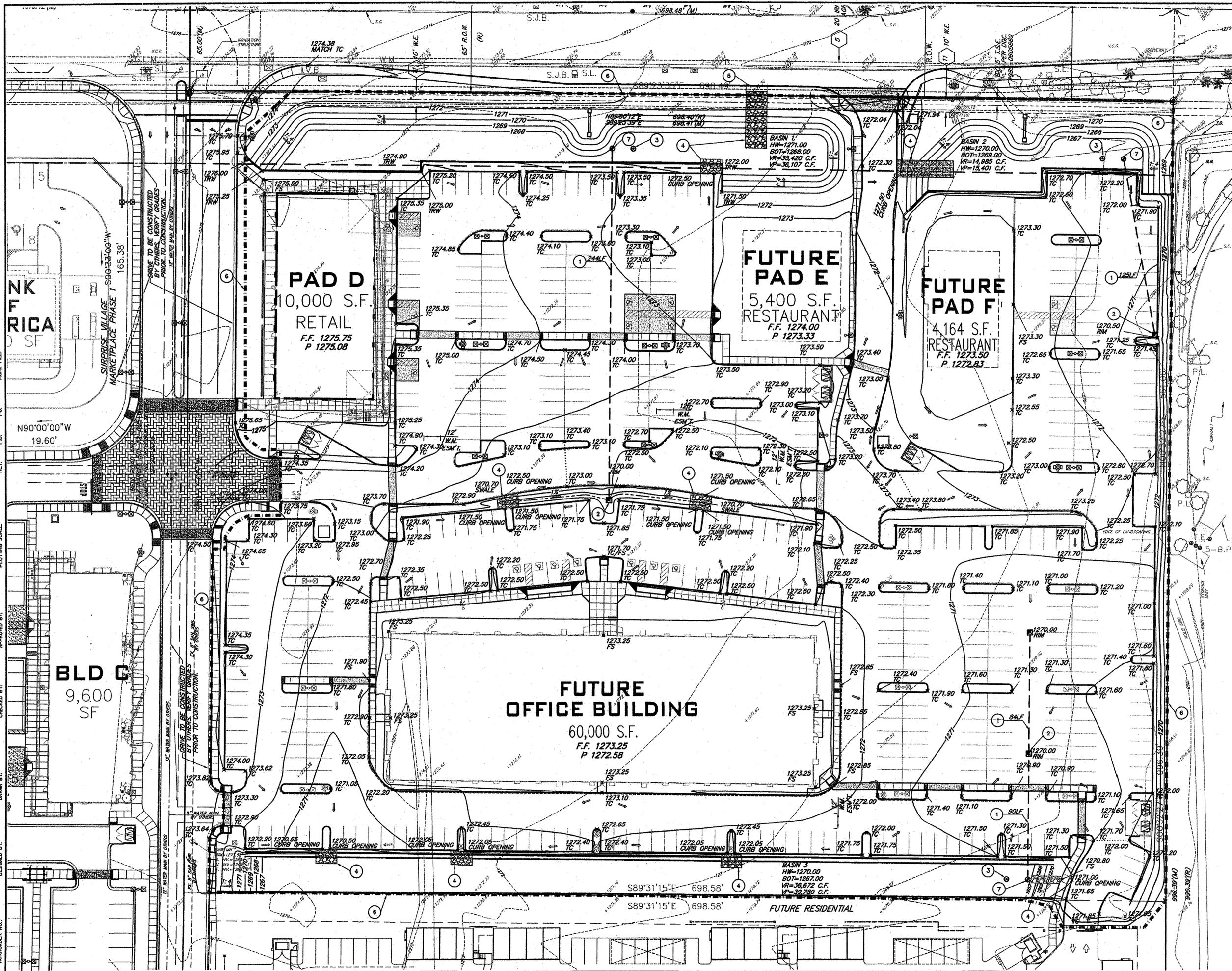
PROJECT NO. 0623  
DRAWN BY: J.M.  
SCALE: 1" = 40'-0"  
CAD SAVED NAME: 0623A1.0  
DATE: 19 FEB 08

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A SITE PLAN FOR:  
**SURPRISE VILLAGE MARKETPLACE**  
S.E.C. LOOP 303 AND BELL RD. SURPRISE, ARIZONA  
**BELL ROAD AND 303 LLC**  
C/O MELISSA HILL  
7575 N. 16TH STREET - SUITE 1

SHEET TITLE  
**SITE PLAN**

SHEET NO.  
**A1.0**



**NOTES**

1. PROPOSED ELEVATIONS ARE TO THE TOP OF WALK AND/OR CURB. SUBTRACT 0.5' FROM THE TOP OF WALK AND/OR CURB FOR THE GUTTER ELEVATION UNLESS SPECIFIED OTHERWISE.
2. WHERE SLOPE IS GREATER THAN 1:4 IN GRASS AREAS, PLACE N.A.G. SC150 SOIL EROSION CONTROL BLANKET UNTIL GRASS IS ESTABLISHED. STAKE BLANKET USING A BIODEGRADABLE STAKE AND MANUFACTURERS RECOMMENDED STAKING PATTERN.
3. ALL AREAS SHALL HAVE POSITIVE DRAINAGE UPON COMPLETION OF CONSTRUCTION.

**RETENTION CALCULATION**  
SITE AREA = 9.0 ACRES

**BASIN 1**  
RETENTION REQUIRED:  
 $VR = (P/12)(A/C) \quad P=2.8 \text{ INCHES}$   
 $VR = (2.8/12)(3.96)(43,560) = 35,420 \text{ C.F.}$   
 VOL PROVIDED = 36,107 C.F.

**BASIN 2**  
RETENTION REQUIRED:  
 $VR = (P/12)(A/C) \quad P=2.8 \text{ INCHES}$   
 $VR = (2.8/12)(1.82)(0.81)(43,560) = 14,985 \text{ C.F.}$   
 VOL PROVIDED = 15,401 C.F.

**BASIN 3**  
RETENTION REQUIRED:  
 $VR = (P/12)(A/C) \quad P=2.8 \text{ INCHES}$   
 $VR = (2.8/12)(4.31)(0.87)(43,560) = 38,112 \text{ C.F.}$   
 VOL PROVIDED = 38,780 C.F.

**TOTAL VOLUME REQUIRED = 85,729 C.F.**  
**TOTAL VOLUME PROVIDED = 90,812 C.F.**

- GRADING & DRAINAGE NOTES**
- 1 HDPE STORM PIPE
  - 2 TYPE D CATCHBASIN PER MAG STD. DTL. 533-1, 533-2, 533-3
  - 3 MAXWELL IV DRYWELL SYSTEM
  - 4 PROVIDE GROUTED NATIVE INDIGENOUS RIP-RAP STONE PAD, D50=6", THICK=12"
  - 5 SCUPPER PER MAG STD. DTL. 206-1 & 206-2 W/RIP RAP PAD
  - 6 CONSTRUCTION LIMITS
  - 7 BUBBLER BOX

**BENCH MARK**

ORIGINATING BENCHMARK: 4GC1  
 VERTICAL DATUM: NAVD 88

SOUTHEAST BOLT OF FIRE HYDRANT STAMPED "TBM". FIRE HYDRANT IS LOCATED ALONG THE WESTERLY BOUNDARY LINE OF PHASE 2 SITE WITH THE FOLLOWING GEODETIC COORDINATES:

33°38'12.05943"N  
 112°25'01.76330"W

ORTHOMETRIC HEIGHT: 1,277.95 FT



CAR	UPDATE FOR MAY P & Z APPROVAL	4-14-08
CAR	SUBMIT FOR SITE PLAN REVIEW	2-15-08
BY MARK	REVISIONS	DATE

W.M. GRACE DEVELOPMENT CO.  
 7575 NORTH 16th STREET, SUITE 1  
 PHOENIX, AZ 85020

**GRADING & DRAINAGE PLAN**  
**SURPRISE VILLAGE**  
**MARKETPLACE PHASE 2**  
**SURPRISE, ARIZONA**

OFFICE LOCATIONS:  
 TEMPE, AZ  
 SAGINAW, MI  
 ST. JOHNS, MI  
 CARO, MI  
 DETROIT, MI

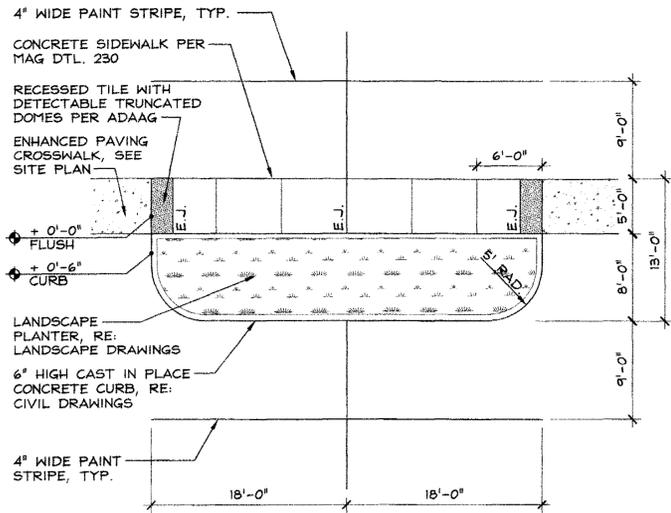
TEMPERATURE OFFICE:  
 2120 E. 8th Street  
 Tempe, AZ 85281  
 Tel: 480-214-4066  
 Fax: 480-214-4068  
 www.SpicerGroup.com

DE. BY: CAR	CH. BY: MWC	PROJECT NO.
DR. BY: CAR	APP. BY: MWC	114409.07
STDS. C.O.S.	SHEET 1 OF 2	C
DATE 2-14-08	FILE NO. 02-0011-1	1.1
SCALE 1"=30'		

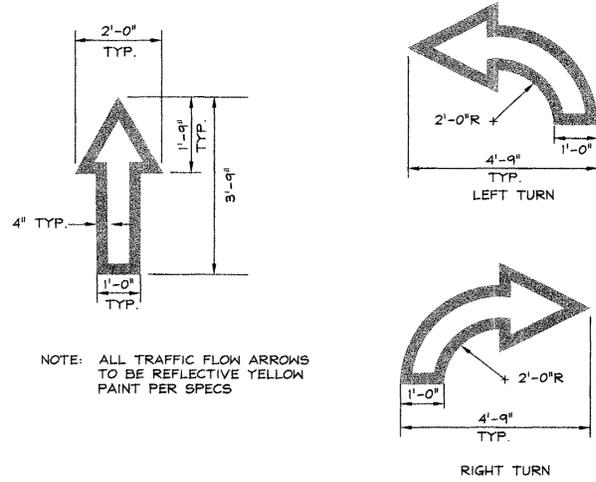
ACAD FILE: PG. F.B. RET. PLOTTING SCALE: APPROVED BY: CHECKED BY: DRAWN BY: DESIGNED BY: WORKORDER NO.:

CASE #SP07-349

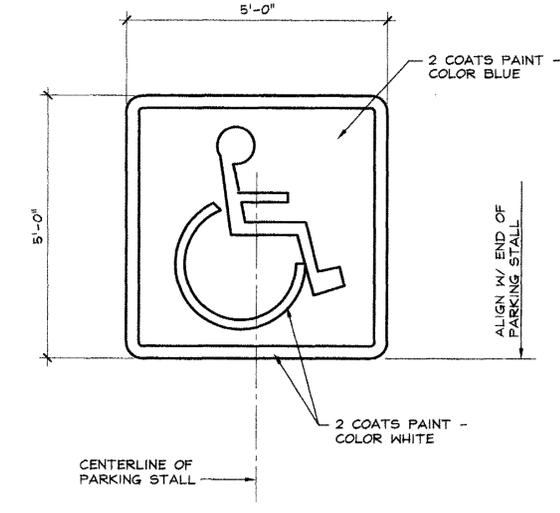




**4 PARKING ISLAND DETAIL**  
SCALE: 1/8" = 1'-0"

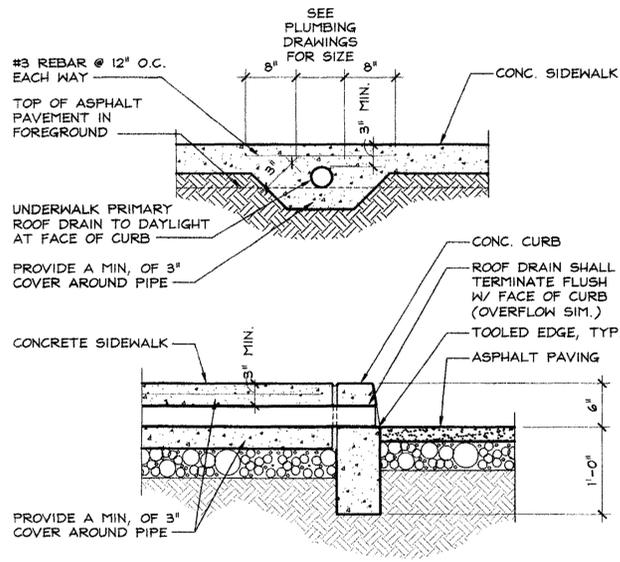


**3 TRAFFIC FLOW ARROW**  
SCALE: 1/2" = 1'-0"

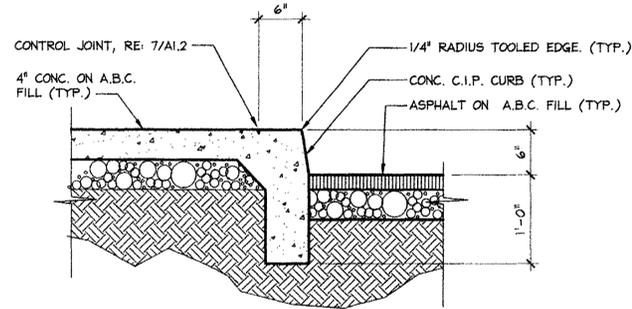


**2 ACCESSIBLE PARKING DETAIL**  
SCALE: 1/2" = 1'-0"

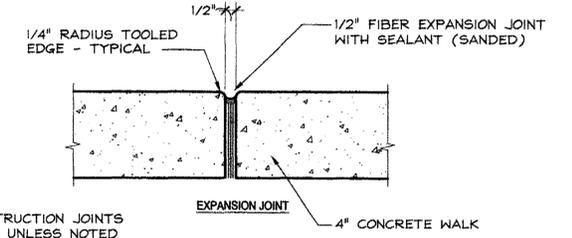
**1 NOT USED**



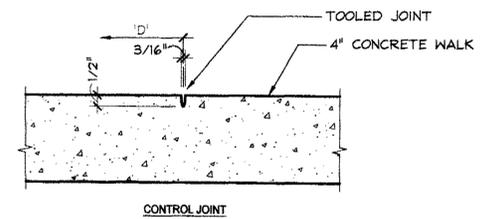
**7 ROOF DRAIN DAYLIGHT @ CURB FACE**  
SCALE: 1" = 1'-0"



**6 WALK EDGE**  
SCALE: 1" = 1'-0"

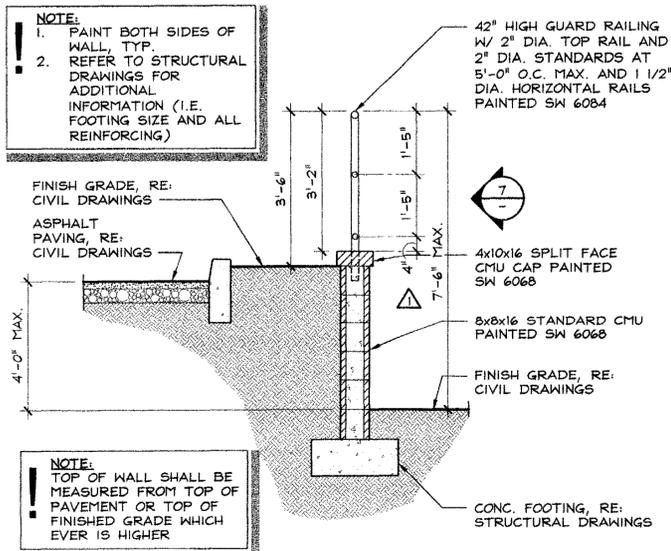


NOTE: PROVIDE CONSTRUCTION JOINTS AT 20'-0" MAX. UNLESS NOTED OTHERWISE

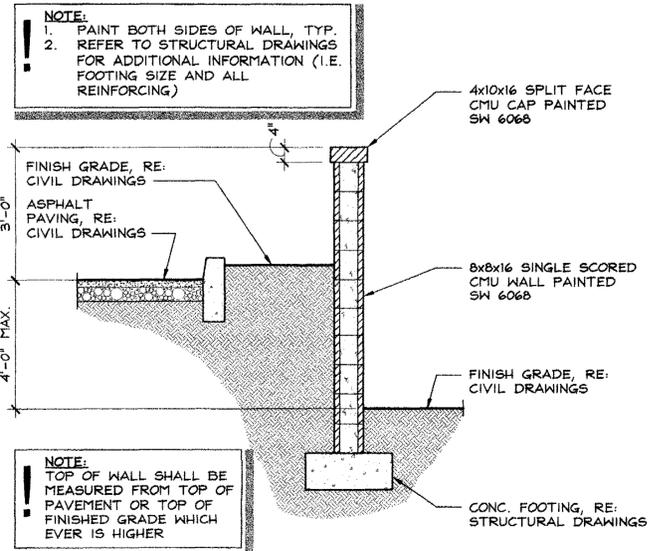


NOTE: SPACE TOOLED JOINTS AT A DISTANCE "D" EQUAL TO WIDTH OF SIDEWALK OR AS INDICATED ON THE PLANS UNLESS NOTED OTHERWISE

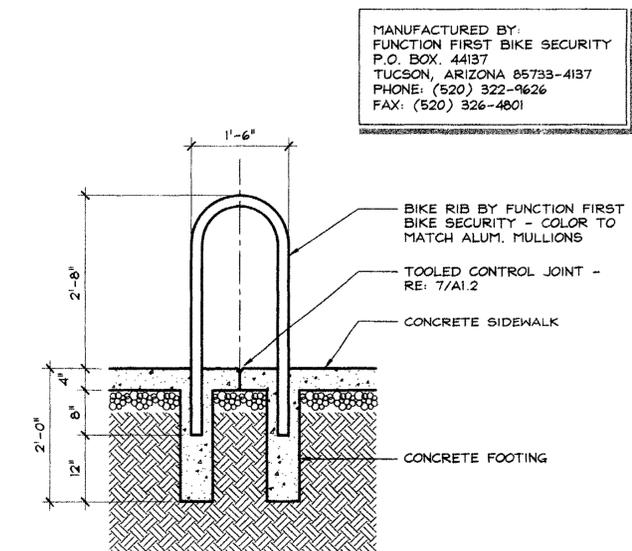
**5 CONCRETE SLAB JOINTS**  
SCALE: 3" = 1'-0"



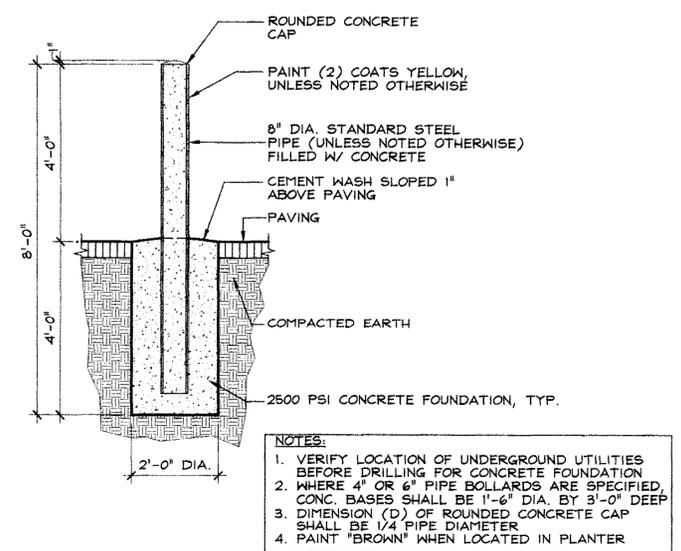
**12 RAILING @ C.M.U. RETAINING SCREEN WALL**  
SCALE: 1/2" = 1'-0"



**11 3' H. C.M.U. RETAINING SCREEN WALL**  
SCALE: 1/2" = 1'-0"



**10 BIKE LOOP**  
SCALE: 3/4" = 1'-0"



**9 TYPICAL BOLLARD DETAIL**  
SCALE: 1/2" = 1'-0"



REVISIONS

**REIGLE & ASSOCIATES**  
ARCHITECTURE, PLANNING, LTD.  
12604 N. 32nd Street, Suite 200 Phoenix, AZ 85028 (602) 495-3001 FAX (602) 495-1700

PROJECT NO. 0623  
DRAWN BY: J.M.  
SCALE: AS NOTED  
CAD SAVED NAME: 0623A1.2  
DATE: 19 FEB 08

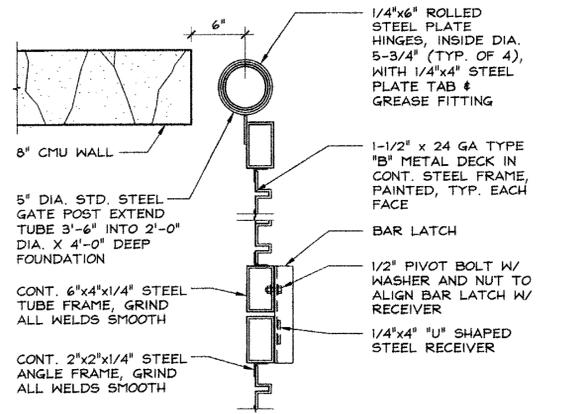
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SHOPPING CENTER AT:  
**SURPRISE VILLAGE MARKETPLACE**  
S.E.C. LOOP 303 AND BELL RD. SURPRISE, ARIZONA  
**BELL ROAD AND 303 LLC**  
MELISSA HILL  
7575 N. 18TH STREET - SUITE 1

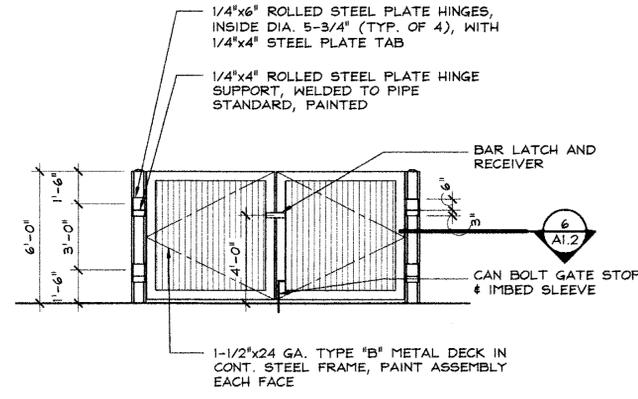
SHEET TITLE  
**SITE DETAILS**

SHEET NO.

**A1.2**



NOTE: PAINT EACH SIDE, AND ALL EDGES OF GATE AND HARDWARE.

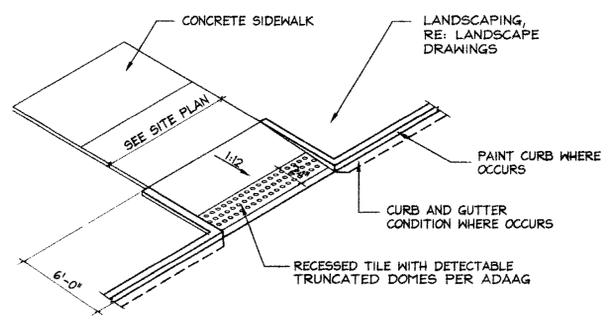


**3 ELEVATION - TRASH ENCLOSURE**  
SCALE: 1/4" = 1'-0"

NOTE: PROVIDE RECESSED DETECTABLE TRUNCATED DOMES TILES AS MANUFACTURED BY:

- WAUSAU TILE, TERRA-PAVING DIVISION
- 9001 BUS. HIGHWAY 51
- WAUSAU, WI
- (800) 388-8728

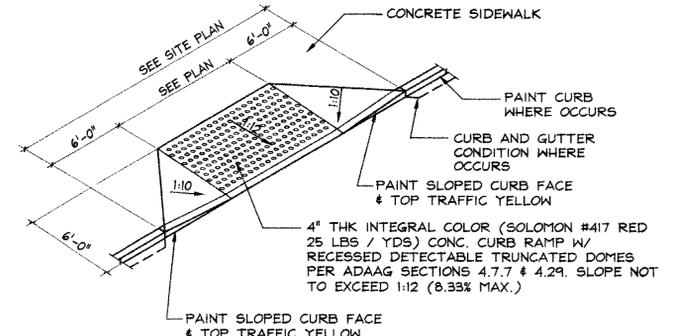
OR EQUAL



**2 CONCRETE CURB ACCESSIBLE RAMP**  
SCALE: 1/8" = 1'-0"

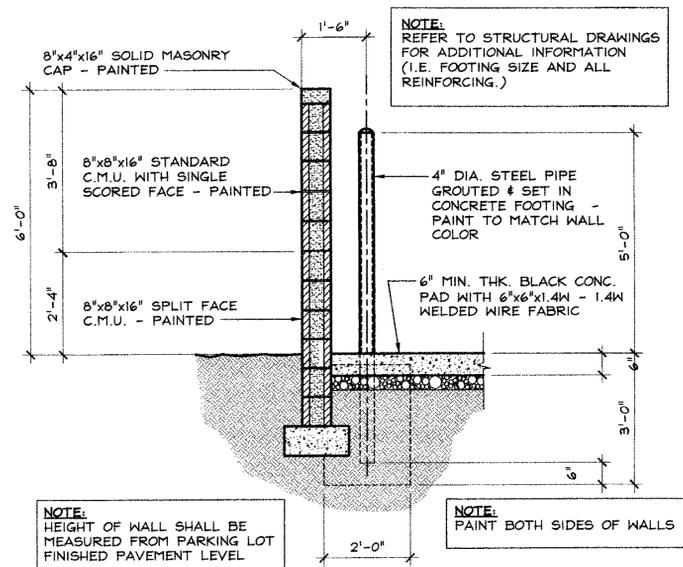
NOTE: PROVIDE RECESSED DETECTABLE TRUNCATED DOMES TILES AS MANUFACTURED BY:

- TEKWAY DOME TILES
- 3296 EAST HEMISPHERE LOOP
- TUCSON, ARIZONA 85706
- (520) 547-3515
- WWW.STRONGGO.COM

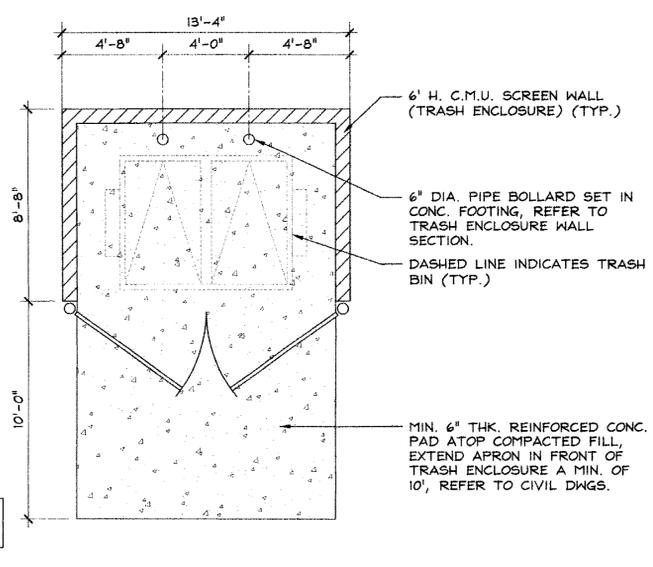


**1 CONCRETE CURB ACCESSIBLE RAMP**  
SCALE: 1/8" = 1'-0"

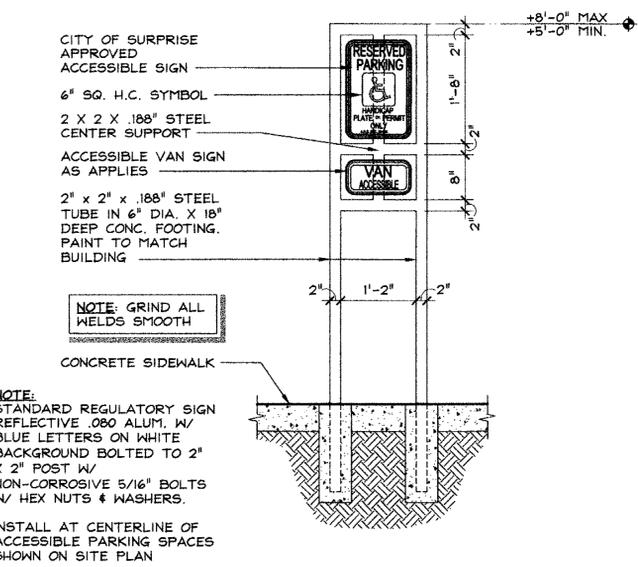
**4 TRASH ENCLOSURE DOORS**  
SCALE: 1/4" = 1'-0"



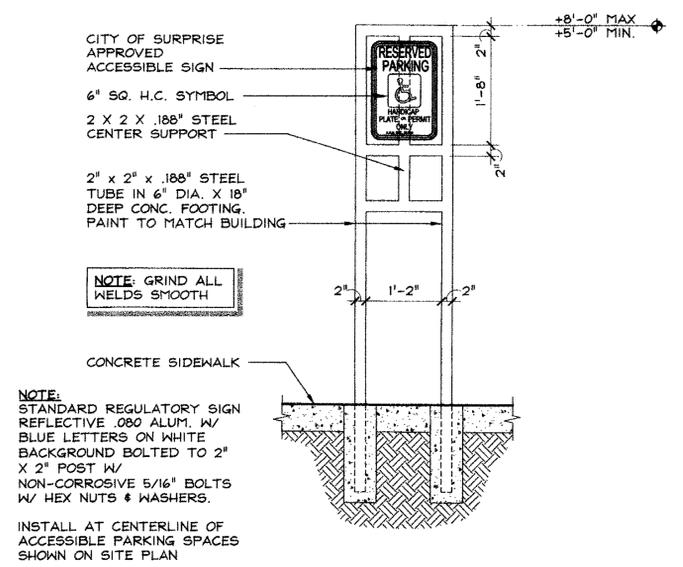
**8 WALL SECTION - TRASH ENCLOSURE**  
SCALE: 1/2" = 1'-0"



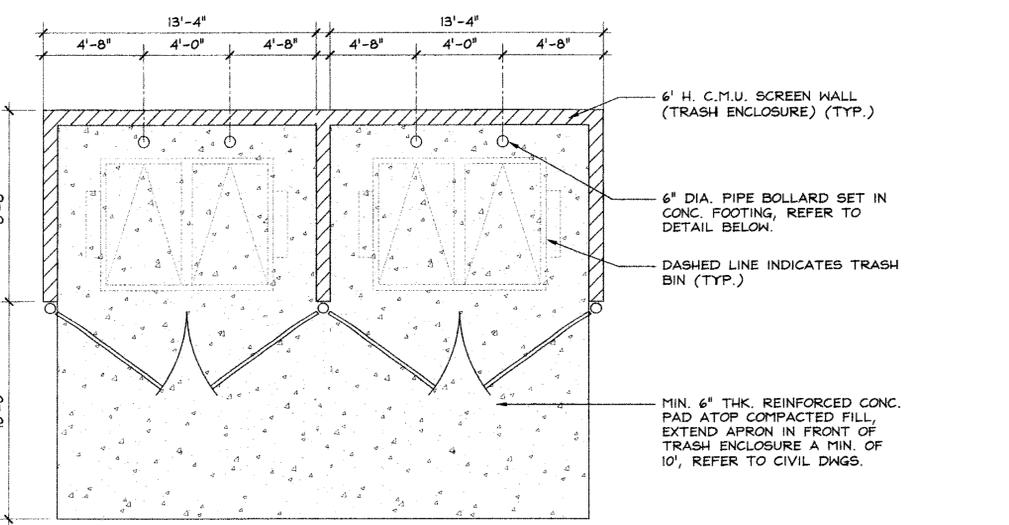
**7 PLAN - TRASH ENCLOSURE**  
SCALE: 1/4" = 1'-0"



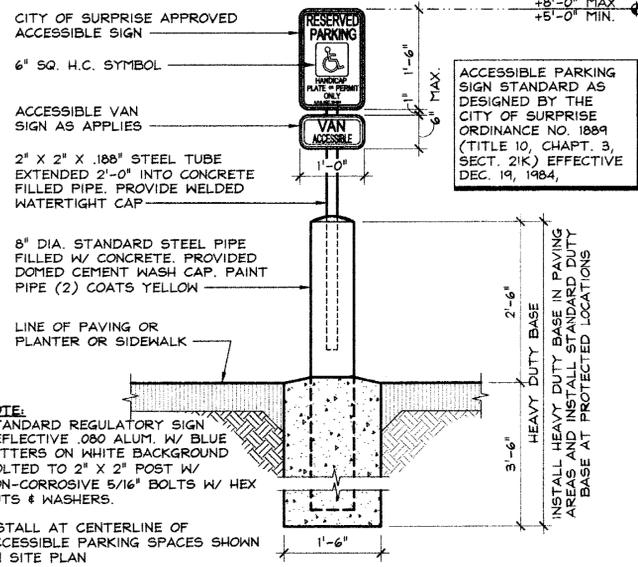
**6 VAN ACCESSIBLE PARKING SIGN**  
SCALE: 3/4" = 1'-0"



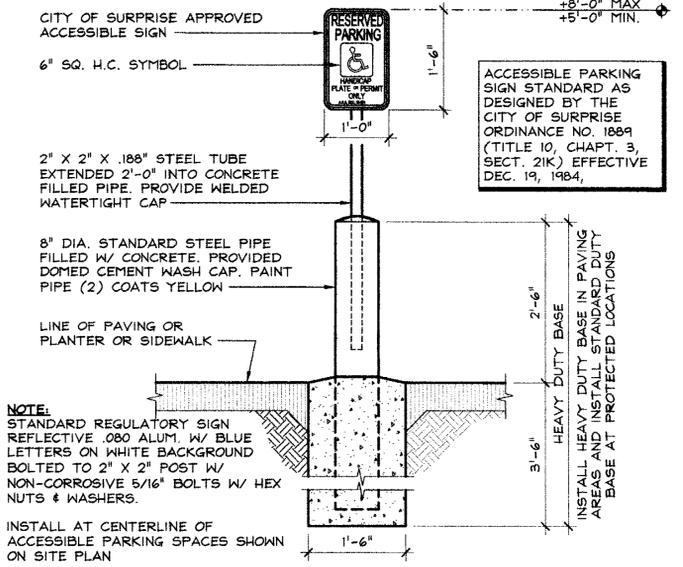
**5 ACCESSIBLE PARKING SIGN**  
SCALE: 3/4" = 1'-0"



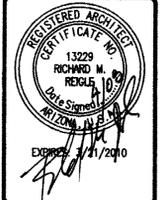
**11 PLAN - DOUBLE TRASH ENCLOSURE**  
SCALE: 1/4" = 1'-0"



**10 VAN ACCESSIBLE PARKING SIGN**  
SCALE: 3/4" = 1'-0"  
PER CITY OF SURPRISE STANDARD DETAIL



**9 ACCESSIBLE PARKING SIGN**  
SCALE: 3/4" = 1'-0"  
PER CITY OF SURPRISE STANDARD DETAIL



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DRAWN BY: J.M.  
SCALE: AS NOTED  
CAD SAVED NAME: 0623A1.3  
DATE: 19 FEB 08

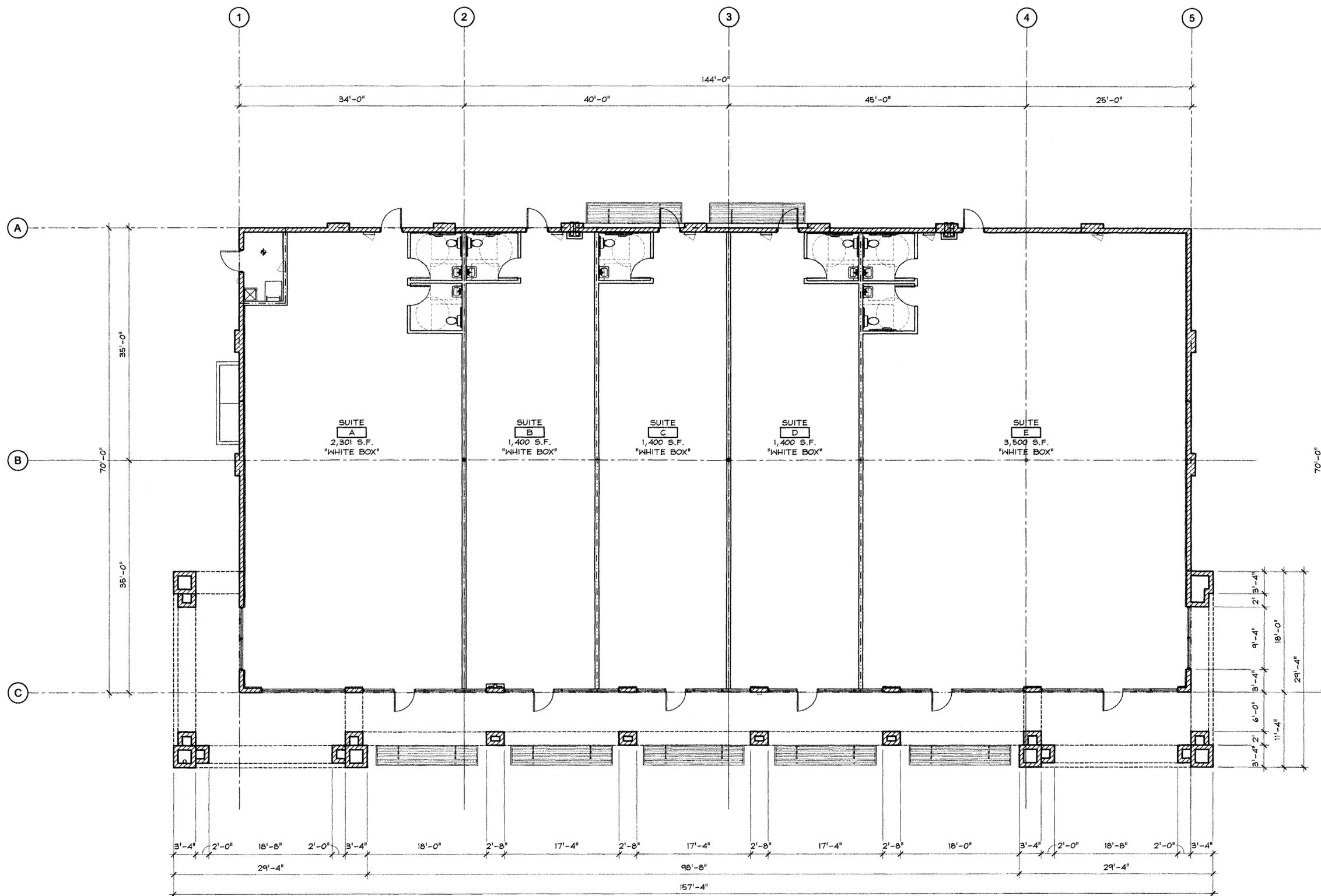
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MELISSA HILL  
7575 N. 16TH STREET - SUITE 1

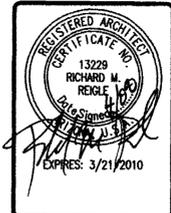
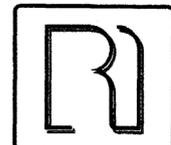
SHEET TITLE  
**SITE DETAILS**

SHEET NO.

**A1.3**



FLOOR PLAN - PAD D  
SCALE: 1/8" = 1'-0"



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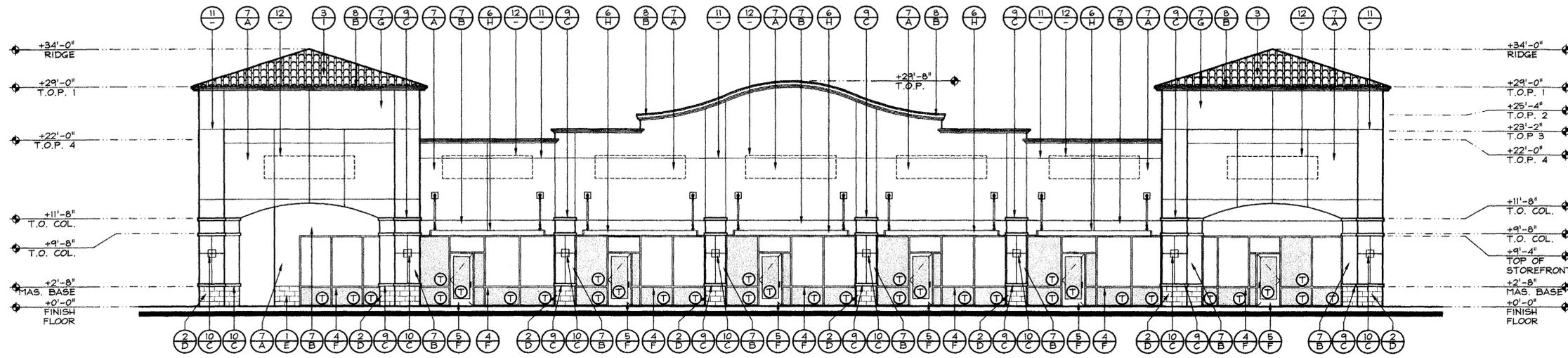
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DRAWN BY: J.M.  
SCALE: 1/8" = 1'-0"  
CAD SAVED NAME: 0623A2.1  
DATE: 19 FEB 08

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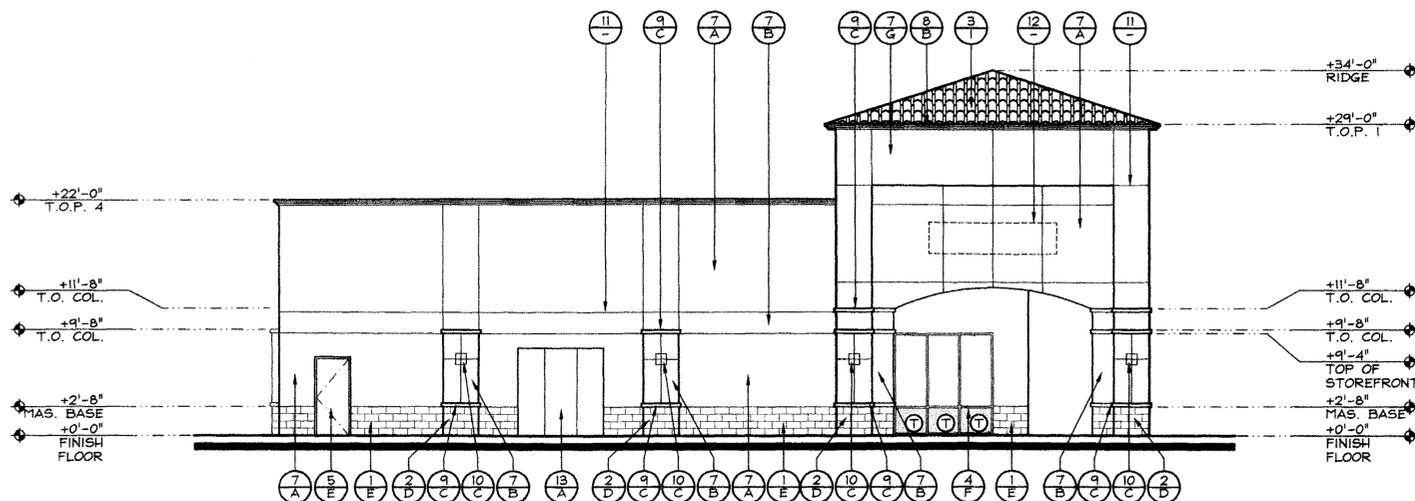
SHEET TITLE  
FLOOR PLAN  
PAD D

SHEET NO.  
**A2.1**



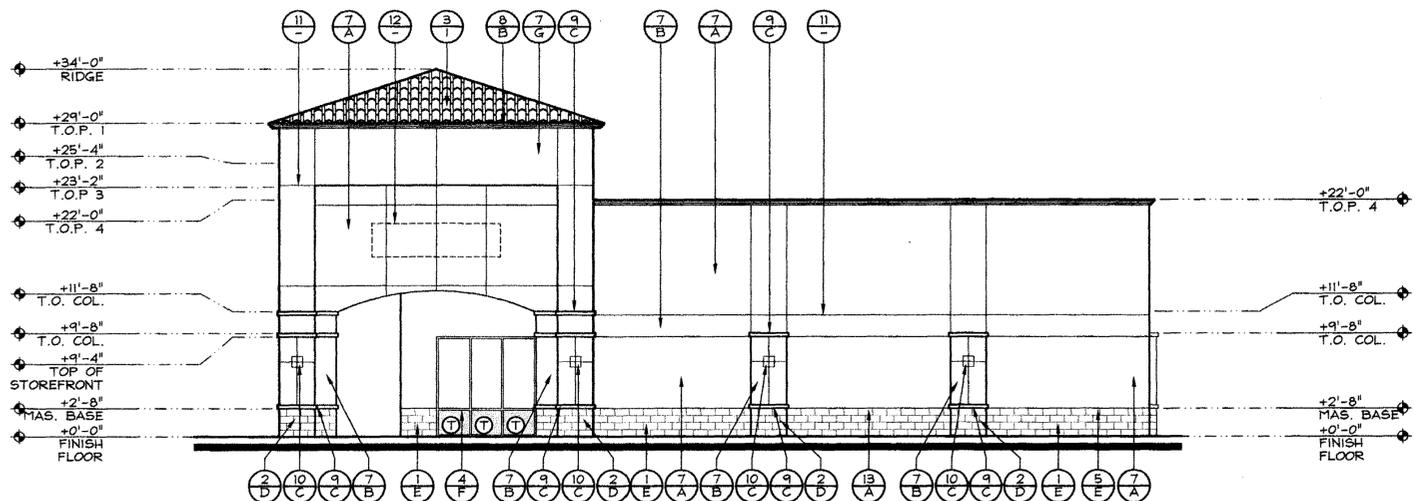
EAST ELEVATION - PAD D

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION - PAD D

SCALE: 1/8" = 1'-0"



NORTH ELEVATION - PAD D

SCALE: 1/8" = 1'-0"

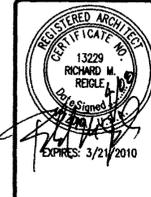
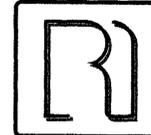
MATERIAL FINISH LEGEND

- 1 8X8X16 SMOOTH FACE CMU BLOCK
- 2 8X8X16 SPLIT FACE CMU BLOCK
- 3 CONCRETE ROOF TILE BY MONIER TILE
- 4 ALUMINUM WINDOW WALL SYSTEM
- 5 METAL DOOR AND FRAME
- 6 STEEL ANNING
- 7 E.I.F.S. WALL SYSTEM
- 8 E.I.F.S. CORNICE
- 9 E.I.F.S. COLUMN CAP
- 10 E.I.F.S. ACCENT PIECE
- 11 CONTROL JOINT
- 12 SIGN AREA
- 13 SERVICE ELECTRICAL SECTION (S.E.S.)
- 14 DRIVE THRU WINDOW

COLOR FINISH LEGEND

- A SIMPLIFY BEIGE SW 6085
- B RANWICK ROSE BEIGE SW 2804
- C REDDENED EARTH SW 6053
- D SWING BROWN SW 6046
- E TRUSTY TAN SW 6087
- F ANODIZED BRONZE STOREFRONT
- G SHERATON SAGE
- H HEMLOCK GREEN BY BERRIDGE
- I INTERNATIONAL BLEND - 1MSS6661 BY MONIER TILE

**NOTE:**  
ALL COLORS AND MATERIALS  
TO MATCH EXISTING  
APPROVED BUILDINGS



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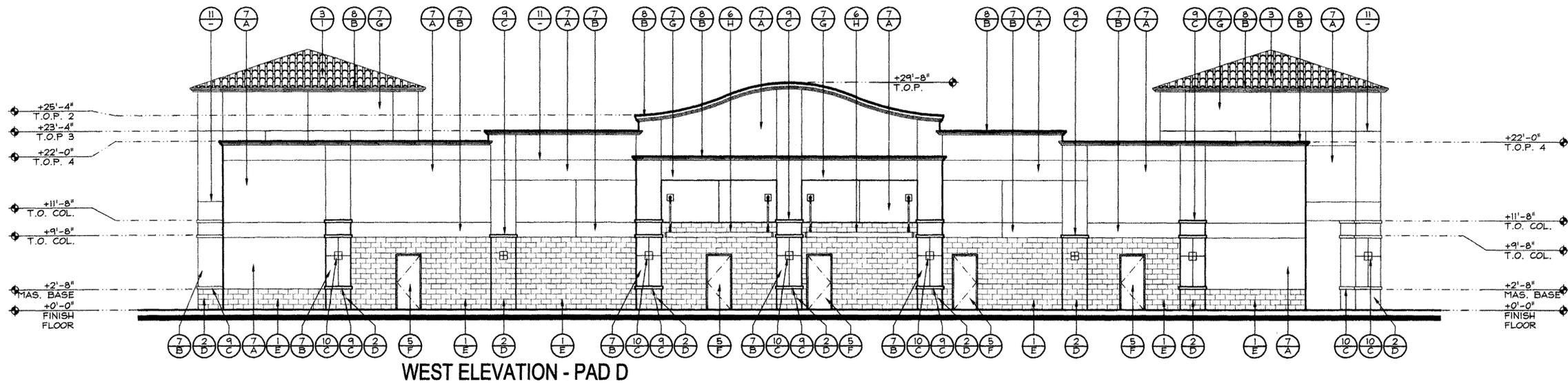
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SCALE: 1/8" = 1'-0"  
CAD SAVED NAME: 0623A2.4  
DATE: 19 FEB 08

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MELISSA HILL  
7575 N. 16TH STREET - SUITE 1

SHEET TITLE  
**EXTERIOR ELEVATIONS**

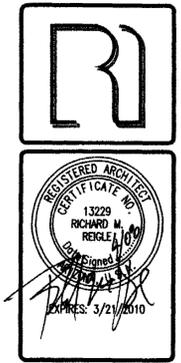
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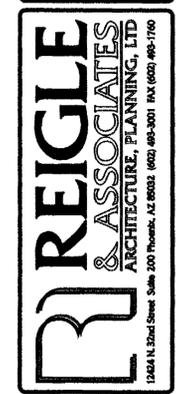
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1	8X8X16 SMOOTH FACE CMU BLOCK
2	8X8X16 SPLIT FACE CMU BLOCK
3	CONCRETE ROOF TILE BY MONIER TILE
4	ALUMINUM WINDOW WALL SYSTEM
5	METAL DOOR AND FRAME
6	STEEL AWNING
7	E.I.F.S. WALL SYSTEM
8	E.I.F.S. CORNICE
9	E.I.F.S. COLUMN CAP
10	E.I.F.S. ACCENT PIECE
11	CONTROL JOINT
12	SIGN AREA
13	SERVICE ELECTRICAL SECTION (S.E.S.)
14	DRIVE THRU WINDOW

COLOR FINISH LEGEND	
A	SIMPLIFY BEIGE SW 6085
B	RANWICK ROSE BEIGE SW 2804
C	REDDENED EARTH SW 6053
D	SWING BROWN SW 6046
E	TRUSTY TAN SW 6087
F	ANODIZED BRONZE STOREFRONT
G	SHERATON SAGE
H	HEMLOCK GREEN BY BERRIDGE
I	INTERNATIONAL BLEND - 1M5556661 BY MONIER TILE



REVISIONS



PROJECT NO. 0623
DRAWN BY: J.M.
SCALE: 1/8" = 1'-0"
CAD SAVED NAME: 0623A2.5
DATE: 19 FEB 08

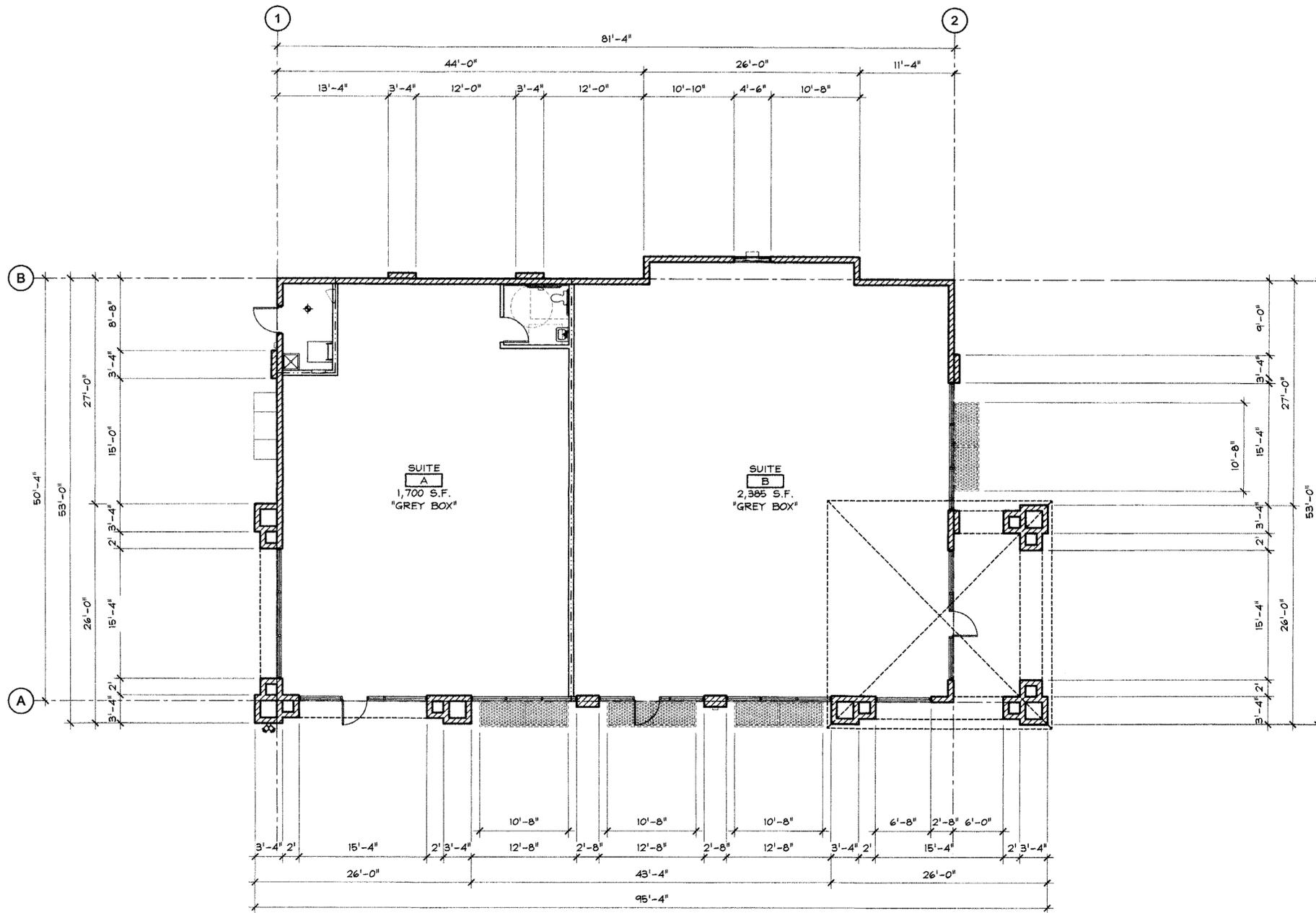
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**NOTE:**  
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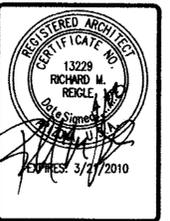
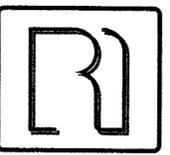
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SHEET TITLE  
**EXTERIOR ELEVATIONS**

SHEET NO.  
**A2.5**



FLOOR PLAN - PAD F  
SCALE: 1/8" = 1'-0"



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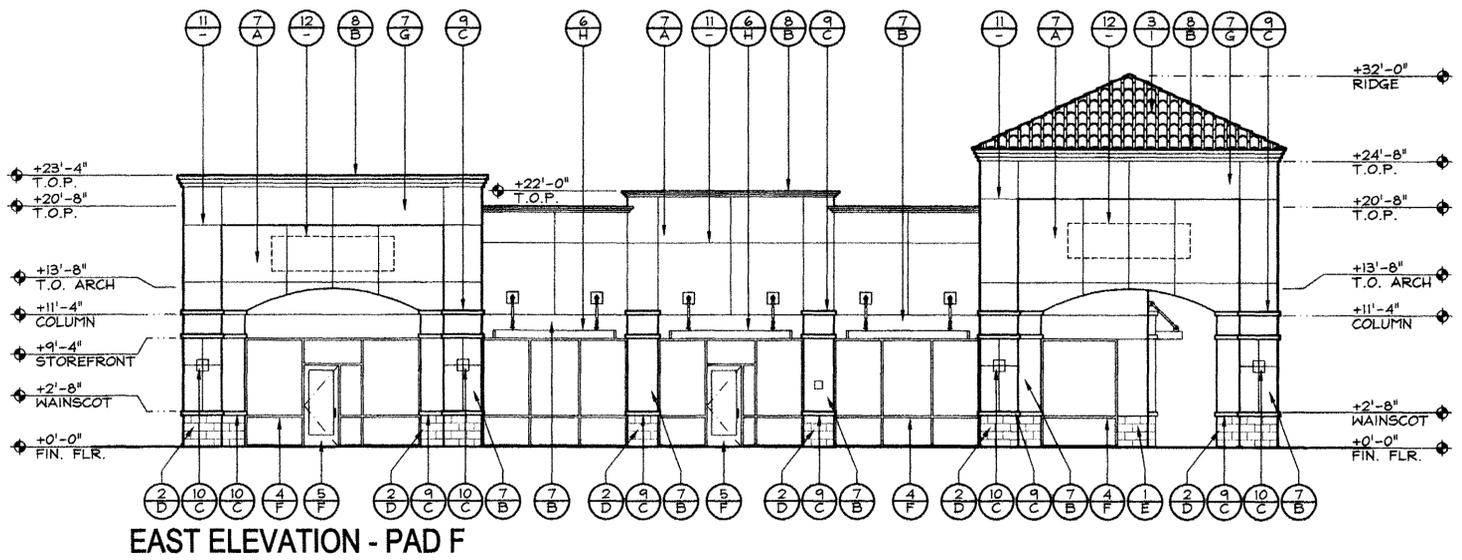
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DRAWN BY: J.M.
SCALE: 1/8" = 1'-0"
CAD SAVED NAME: 0623A3.1
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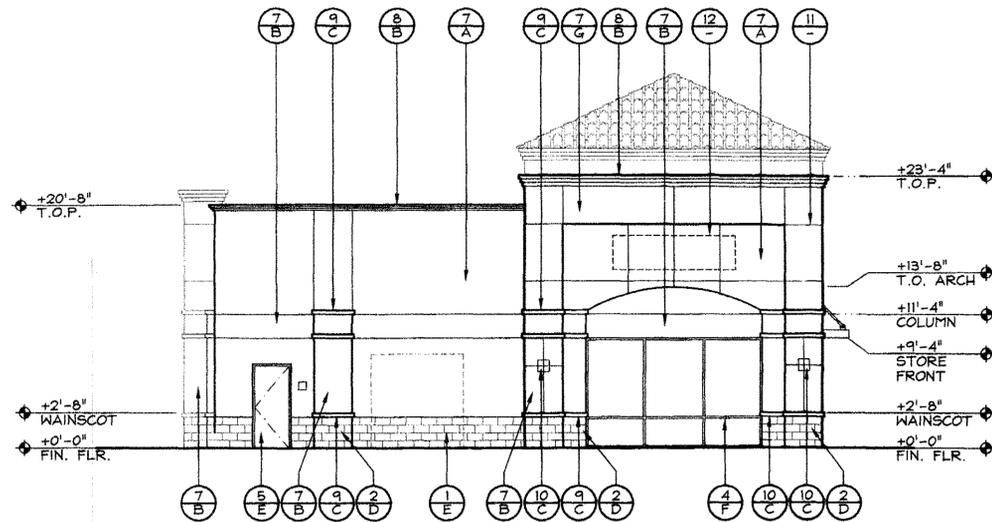
SHEET TITLE  
FLOOR PLAN  
PAD F

SHEET NO.  
**A3.1**



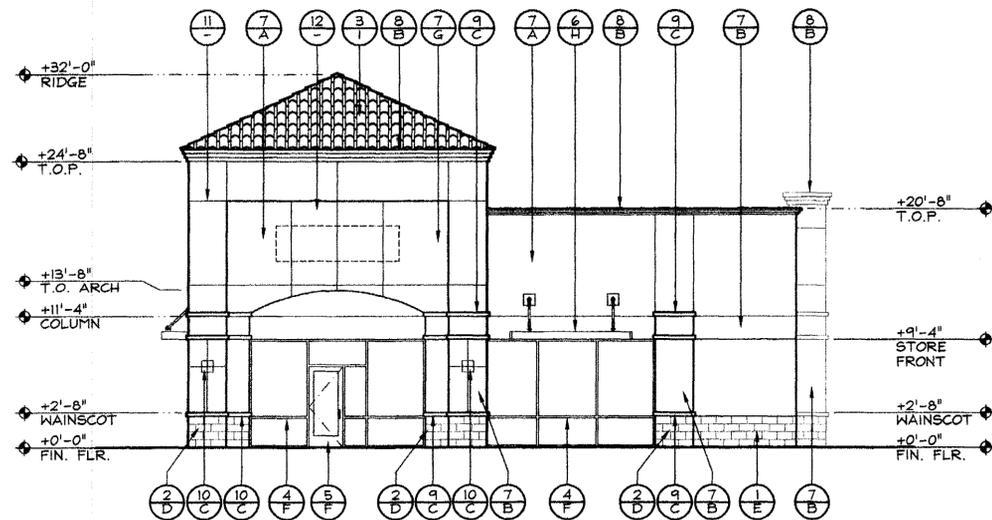
EAST ELEVATION - PAD F

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION - PAD F

SCALE: 1/8" = 1'-0"



NORTH ELEVATION - PAD F

SCALE: 1/8" = 1'-0"

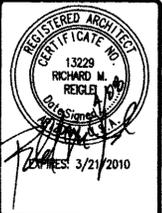
MATERIAL FINISH LEGEND

- 1 8X8X16 SMOOTH FACE CMU BLOCK
- 2 8X8X16 SPLIT FACE CMU BLOCK
- 3 CONCRETE ROOF TILE BY MONIER TILE
- 4 ALUMINUM WINDOW WALL SYSTEM
- 5 METAL DOOR AND FRAME
- 6 STEEL AWNING
- 7 E.I.F.S. WALL SYSTEM
- 8 E.I.F.S. CORNICE
- 9 E.I.F.S. COLUMN CAP
- 10 E.I.F.S. ACCENT PIECE
- 11 CONTROL JOINT
- 12 SIGN AREA
- 13 SERVICE ELECTRICAL SECTION (S.E.S.)
- 14 DRIVE THRU WINDOW

COLOR FINISH LEGEND

- |   |                                                  |
|---|--------------------------------------------------|
| A | SIMPLIFY BEIGE SW 6085                           |
| B | RANNICK ROSE BEIGE SW 2804                       |
| C | REDDENED EARTH SW 6053                           |
| D | SWING BROWN SW 6046                              |
| E | TRUSTY TAN SW 6087                               |
| F | ANODIZED BRONZE STOREFRONT                       |
| G | SHERATON SAGE                                    |
| H | HEMLOCK GREEN BY BERRIDGE                        |
| I | INTERNATIONAL BLEND -<br>1MSS6661 BY MONIER TILE |

**NOTE:**  
ALL COLORS AND MATERIALS  
TO MATCH EXISTING  
APPROVED BUILDINGS



REVISIONS



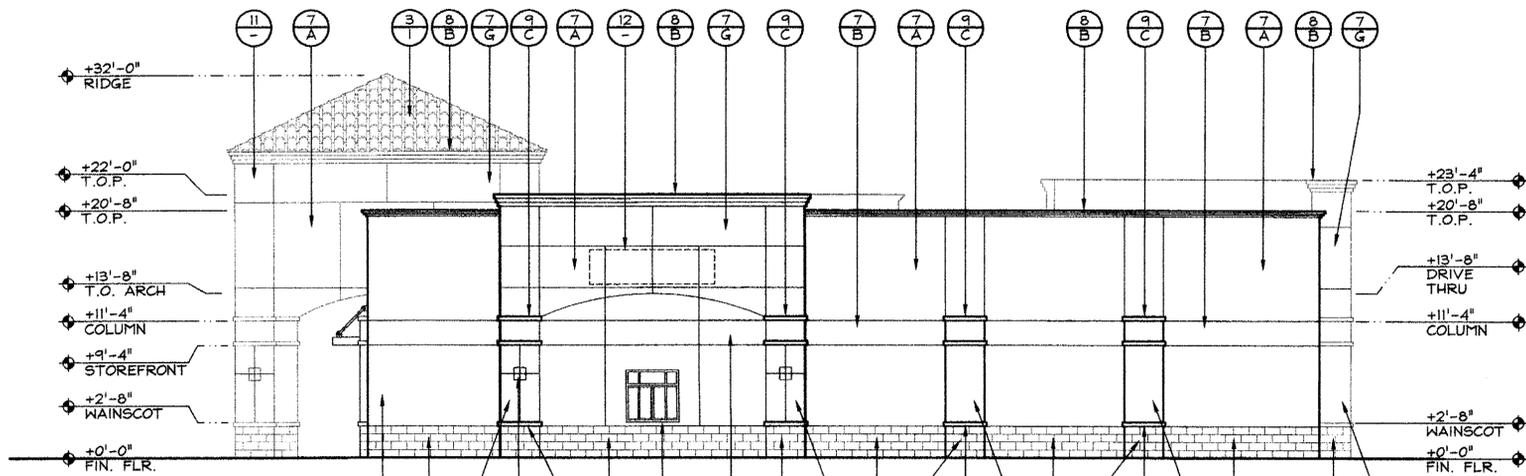
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DRAWN BY: J.M.
SCALE: 1/8" = 1'-0"
CAD SAVED NAME: 0623A3.4
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7575 N. 16TH STREET - SUITE 1

SHEET TITLE  
**EXTERIOR ELEVATIONS**

SHEET NO.  
**A3.4**



WEST ELEVATION - PAD F

SCALE: 1/8" = 1'-0"

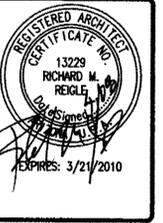
MATERIAL FINISH LEGEND

- 1 8X8X16 SMOOTH FACE CMU BLOCK
- 2 8X8X16 SPLIT FACE CMU BLOCK
- 3 CONCRETE ROOF TILE BY MONIER TILE
- 4 ALUMINUM WINDOW WALL SYSTEM
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- 13 SERVICE ELECTRICAL SECTION (S.E.S.)
- 14 DRIVE THRU WINDOW

COLOR FINISH LEGEND

- A SIMPLIFY BEIGE SW 6085
- B RANWICK ROSE BEIGE SW 2804
- C REDDENED EARTH SW 6053
- D SWING BROWN SW 6046
- E TRUSTY TAN SW 6087
- F ANODIZED BRONZE STOREFRONT
- G SHERATON SAGE
- H HEMLOCK GREEN BY BERRIDGE
- I INTERNATIONAL BLEND - IMSS6661 BY MONIER TILE

**NOTE:**  
ALL COLORS AND MATERIALS TO MATCH EXISTING APPROVED BUILDINGS



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NO.	DESCRIPTION



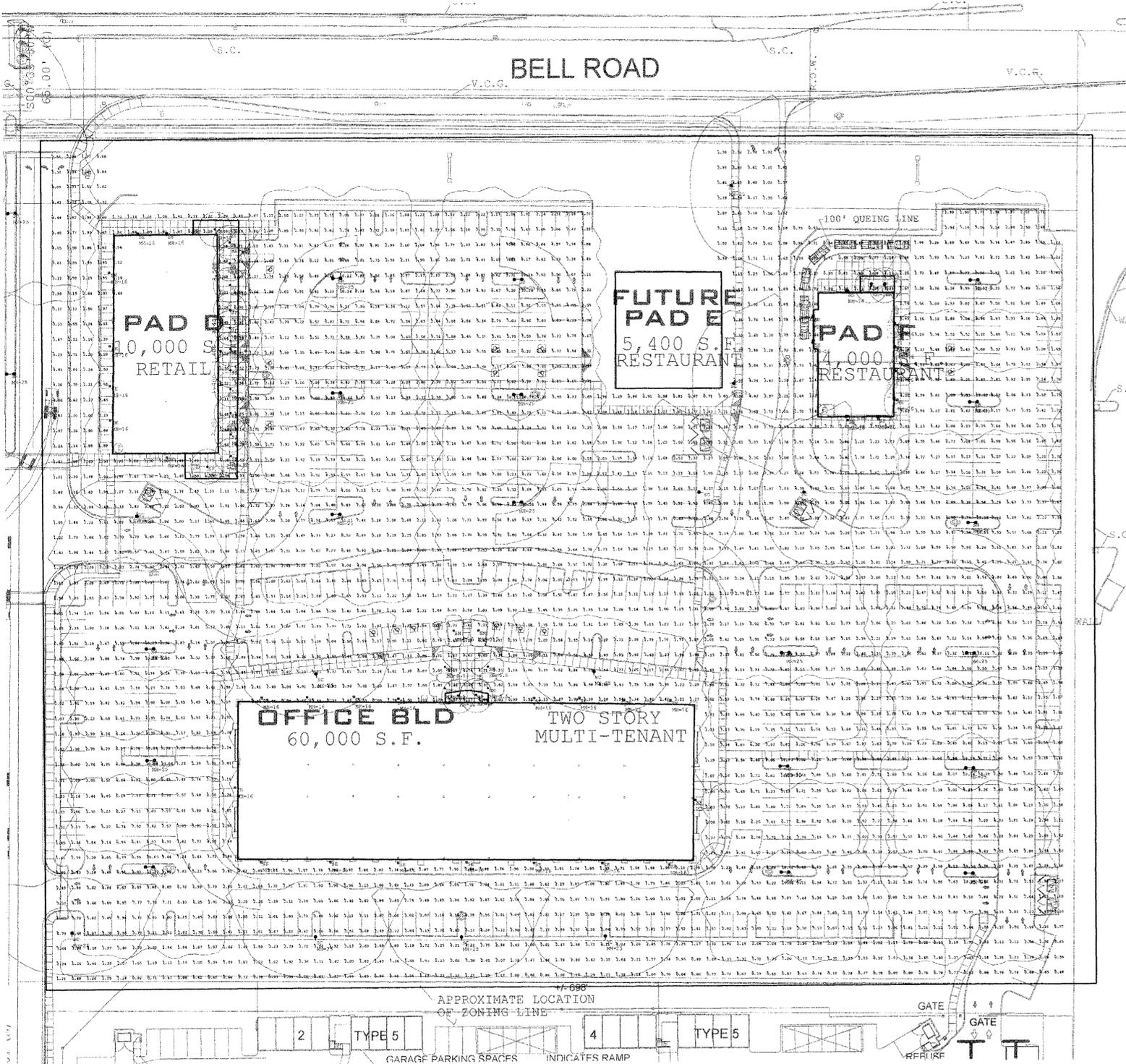
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SCALE: 1/8" = 1'-0"
CAD SAVED NAME: 0623A3.5
DATE: 19 FEB 08

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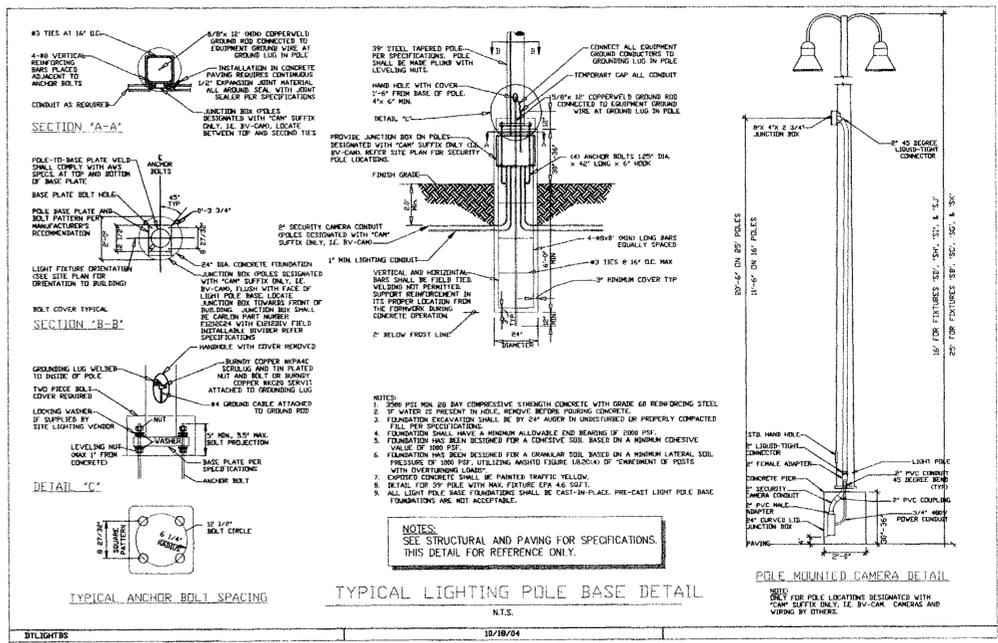
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**BELL ROAD AND 303 LLC**  
MELISSA HILL  
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SHEET TITLE  
**EXTERIOR ELEVATIONS**

SHEET NO.  
**A3.5**



**ELECTRICAL SITE PLAN**  
1"=40'-0"



DATE: 02/17/2008 AZLFG Filename: C:\My Documents\G132\Job Files\721\721-F\Surprise-Village-02-17-08\_721-F.AGI

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	# Pts	PtSpcLr	PtSpchT
Site Area	Illuminance	Fc	3.68	11.30	0.45	8.18	25.11	2884	10	10

Luminaire Schedule

Symbol	Arrangement	Qty	Label	[MANUFAC]	Description	Lumens	LLF	Total Watts	Filename
●●	BACK-BACK	20	SB	KIM LIGHTING	2B-RA255 400PMHxxx xx @ 25 FT	40000	0.800	800	RA255-400M.ies
●	SINGLE	11	SC	KIM LIGHTING	1A-RA253 400PMHxxx xx @ 25 FT	40000	0.800	400	RA253-400M.ies
○	SINGLE	33	SE	KIM LIGHTING	ETC-WD14x3 2/26PLTxxx xx @ 16 FT	3200	0.750	84	WD14-3-070M.ies
○	SINGLE	17	SF	BRESOLITE	CTFD812HR-STD802H @ 12 FT	1800	0.750	65	p15500.ies
○	SINGLE	6	SM	SPAUDLING LIGHTING	MO2-H10 BOLLARD 100PSMH @ 3.5 FT	9000	0.720	120	L3841M02.ies

Object Summary

Label	Type	Description
Site	Planar	Site Area - Asphalt
Pad D	Polygon-Flat	Building - 25 ft
Pad E	Rect-Flat	Building - 25 ft
Pad F	Polygon-Flat	Building - 25 ft
Pad F Canopy	Rect-Flat	Canopy @ 12 ft - 20/30/70 refl
Office Bldg	Polygon-Flat	
Pad D Canopy	Polygon-Flat	
Office Bldg Canopy	Polygon-Flat	



REVISIONS

No.	Description



PROJECT NO. 0623  
DRAWN BY: JRT  
SCALE: AS SHOWN  
CAD SAVED NAME:

DATE: 19 FEB 08

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A SITE PLAN FOR:  
**SURPRISE VILLAGE MARKETPLACE**  
S.E.C. LOOP 303 AND BELL RD.  
SURPRISE, ARIZONA  
**BELL ROAD AND 303 LLC**  
C/O MELISSA HILL  
7575 N. 16TH STREET - SUITE 1

SHEET TITLE  
SITE PHOTO.

SHEET NO.

**PH1**



7201 N. Greenway Drive  
Suite 200  
Phoenix, Arizona 85020  
(602) 943-4110  
Fascinate (602) 943-2567  
www.peterason.com  
Job No. 07193

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Type: **Reset Form**  
 Job: \_\_\_\_\_  
 Catalog number: \_\_\_\_\_  
 Approvals: \_\_\_\_\_  
 Date: **Page: 1 of 6**

**Specifications**  
 RA25 25" Diameter 150 to 400 Watt  
 RA25 with optional Globe Ring and Convex Lens

**Housing:** The Ballast Housing is a one-piece die-cast, low copper red, 60:Cu aluminum component with integral cooling fins. The Reflector Housing is one piece die-cast, low copper 40:60 Cu aluminum. The Reflector Housing attaches to the Reflector Housing with stainless steel fasteners and is sealed with a silicone gasket.

**Lens Frame:** One-piece die-cast, low copper 60:60 Cu aluminum. Stainless steel rings are provided for attachment to the Reflector Housing. Stainless steel threaded fasteners provide easy access, extended from normal view. The 3/4" thick clear 1/2" convex tempered glass lens seals against the reflector flange by a one-piece extruded silicone gasket with load seal, to provide a fully sealed optical chamber.

**The aluminum material used in the die-castings is a customized 360 aluminum alloy. Additional silicone is added to the composition to allow improved molten flow characteristics that provide greater detail and finishing.**

**Mounting:** Stainless steel bolts are provided to attach the luminaire to the crook arm or reset form mounting.

**Reflector Module:** Spherical Alzax<sup>®</sup> optical segments are epoxy mounted within a die-cast low copper 60:60 Cu aluminum enclosure which attaches to the Reflector Housing as a one-piece module. Reflectors are field replaceable in 50" increments. All sockets are factory pre-wired with a quick-disconnect plug for complete detail and explanation of optical system features.

**Horizontal Lamp:** The Reflector Housing is a one-piece die-cast, low copper 40:60 Cu aluminum. The Reflector Housing is one piece die-cast, low copper 40:60 Cu aluminum. The Reflector Housing is one piece die-cast, low copper 40:60 Cu aluminum. The Reflector Housing is one piece die-cast, low copper 40:60 Cu aluminum.

**Vertical Lamp:** The Reflector Housing is a one-piece die-cast, low copper 40:60 Cu aluminum. The Reflector Housing is one piece die-cast, low copper 40:60 Cu aluminum. The Reflector Housing is one piece die-cast, low copper 40:60 Cu aluminum. The Reflector Housing is one piece die-cast, low copper 40:60 Cu aluminum.

**Electrical Module:** All electrical components are UL and CSA recognized, mounted on a single plate and factory pre-wired with our disconnect plug for attachment to the incoming wires and the socket wires. The module attaches inside the housing using toggle slots. All ballasts are high power factor with working temperatures of 200°F for HPS and 207°F for MH lamp modes.

**Finish:** Super TGIC thermoplastic polyester powder coat paint, 0.5 mil nominal thickness, applied over a Titanium Zirconium conversion coating. A.S.T.M. 2500 hour salt spray test enclosure rating. Standard colors are Black, Dark Bronze, Light Gray, Platinum Silver, or White. Custom colors are available.

**CAUTION:** Fixtures must be grounded in accordance with local codes or the National Electrical Code. Failure to do so may result in serious personal injury.

Listings and Ratings	
UL CUL T586	ISO 9001:2000
IP66 Rated	CSA-GS/ETP (Restrictions Only)
	ECODUL Qualification

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Type: \_\_\_\_\_  
 Job: \_\_\_\_\_  
 Catalog number: \_\_\_\_\_  
 Approvals: \_\_\_\_\_  
 Date: **Page: 2 of 6**

**Standard Features**

**Mounting**  
 Plan View:

**Reflector**  
 Cat. No. designates RA focus and light distribution.  
 See the Kim Site/Reset/Day Optical Systems catalog for complete details and explanation of optical system features.

**Horizontal Lamp**  
 Flat Lens Light Distribution: Type II, Type III, Type IV Forward Throw, Type V Square  
 Cat. No.: 25"  RA252  RA253  RA254  RA255

**Vertical Lamp**  
 Convex Lens Light Distribution: Asymmetric, Symmetric Square  
 Cat. No.: 25"  RA25F3  RA25F5

**Electrical Module**  
 HPS - High Pressure Sodium  
 MH - Metal Halide  
 PMH - Pulse Start Metal Halide

**Finish:** Super TGIC thermoplastic polyester powder coat paint over a Titanium Zirconium conversion coating.

NOTE: For lamp/ballast information outside of the U.S. and Canada, please consult your local Kim representative.

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Type: \_\_\_\_\_  
 Job: \_\_\_\_\_  
 Catalog number: \_\_\_\_\_  
 Approvals: \_\_\_\_\_  
 Date: **Page: 3 of 6**

**Standard Features**

**Electrical Module**  
 HPS - High Pressure Sodium  
 MH - Metal Halide  
 PMH - Pulse Start Metal Halide

**Socket**  
 Mogul Base Mogul Base Mogul Base  
 ANSI Ballast Type S-55 S-50 S-51

**Lamp**  
 ED-23V, Clear ED-18, Clear ED-18, Clear

**Socket**  
 Mogul Base Mogul Base Mogul Base

**ANSI Ballast Type**  
 M-57 M-58 M-59

**Lamp**  
 BT-26 or ED-26, Clear BT-26 or ED-26, Clear ED-26, Clear

**Socket**  
 Mogul Base Mogul Base Mogul Base

**ANSI Ballast Type**  
 M-137 M-138 M-135

NOTE: For lamp/ballast information outside of the U.S. and Canada, please consult your local Kim representative.

**Finish:** Super TGIC thermoplastic polyester powder coat paint over a Titanium Zirconium conversion coating.

Color: Black Dark Bronze Light Gray Platinum Silver White Custom Color<sup>1</sup>  
 Cat. No.:  BL-P  DB-P  LG-P  PS-P  WH-P  CC-P

<sup>1</sup>Custom colors subject to additional charges, minimum quantities and extended lead times. Consult representative. Custom color description.

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Type: \_\_\_\_\_  
 Job: \_\_\_\_\_  
 Catalog number: \_\_\_\_\_  
 Approvals: \_\_\_\_\_  
 Date: **Page: 4 of 6**

**Optional Features**

**Wall Mounting**  
 Cat. No. 1W  
 Select from Mounting on page 2.

**Glow Ring**  
 Cat. No.  GR  
 No Option

**PhotoCell**  
 Cat. No. (See right)  
 No Option

**Convex Glass Lens**  
 Cat. No.  CGL  
 No Option

**Polycarbonate Lens**  
 Cat. No.  LS  
 No Option

Cast aluminum wall mounting plate pre-attaches to wall with bolts (by others). A cast cover with crook attachments hangs on mounting plate during field wiring and fastening. Splice cover supplied.

Diffuse tempered glass securely held between the Ballast Housing and Reflector Housing with stainless steel fasteners and silicone gaskets. Extruded aluminum spacers extend Ballast Housing to Reflector Housing connection.

Factory installed fully gasketed sensor.

Cat. No.	Line Volts	Cat. No.	Line Volts
A-30	120V	A-33	277V
A-31	208V	A-34	480V
A-32	240V	A-35	347V

The 3/8" thick clear convex tempered glass lens replaces the standard flat glass lens in horizontal lamp fixtures. Provides increased lens presence and provides a subtle improvement in uniformity where pole spacing is extreme.

NOTE: Convex lens is standard on all vertical lamp optical systems.

One-piece vacuum formed, clear, UV stabilized acrylic polycarbonate, fully gasketed replacing the standard tempered glass lens, 250 watt maximum. May be used with 400 watt HPS in locations where ambient temperature during fixture operation will not exceed 85°F.

CAUTION: Use only when vandalism is anticipated to be high. Useful life limited by UV discoloration from sunlight and metal halide lamps.

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Type: \_\_\_\_\_  
 Job: \_\_\_\_\_  
 Catalog number: \_\_\_\_\_  
 Approvals: \_\_\_\_\_  
 Date: **Page: 5 of 6**

**Optional Features**

**Household Shield**  
 Cat. No.  No Option

**Fusing**  
 Cat. No. (See right)  
 No Option

(Types II, III, IV, and Asymmetric distributions only). The cutoff horizontal reflectors are available with stamped aluminum louvers that pass street-side light and block house-side light, and a blackened panel added to the reflector to reduce house-side reflections. The vertical reflectors and horizontal reflectors with the optional convex glass lens are available with a formed aluminum shield that passes street-side light and blocks house-side light, and a blackened panel added to the reflector to reduce house-side reflections.

Cat. No.  
 HS Recommended for use with clear lamps only. Effectiveness is reduced for coated lamps. Not for use with Type V (horizontal lamp) or symmetric (vertical lamp) light distributions.  
 HSC For use with all fixtures with polycarbonate or convex glass lens. Not for use with Type V or symmetric light distributions.

High temperature fuse holder factory installed. Fuse is included.

Line Volts	208V	240V	277V	347V	480V
Cat. No.	SF	DF	DF	SF	DF

Single Fuse

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Type: \_\_\_\_\_  
 Job: \_\_\_\_\_  
 Catalog number: \_\_\_\_\_  
 Approvals: \_\_\_\_\_  
 Date: **Page: 6 of 6**

**Optional Features**

**Slipiter Arm Mounts**  
 Cat. No. (See right)  
 No Option

**Single Crook Arm**  
 Requires 25" (2 3/4" O.D.) Steel Tenon

**Side Arm Crook**  
 Requires 25" (2 3/4" O.D.) Steel Tenon

**Swept Arm**  
 Requires 25" (2 3/4" O.D.) Steel Tenon

Cast aluminum tenon adapts, drilled to extend and formed arm. Secured by thru bolt and four 3/16" stainless steel set point allen screws.

Configuration and Cat. No.:  
 1A CAL-TM1  
 2B CAL-TM2  
 3Y CAL-TM3  
 4C CAL-TM4

Cast aluminum tenon adapts, drilled to extend and formed arm. Secured by thru bolt and four 3/16" stainless steel set point allen screws.

Configuration and Cat. No.:  
 1A SAL-TM1  
 2B SAL-TM2  
 3Y SAL-TM3  
 4C SAL-TM4

Cast aluminum tenon and arm. Secured by four 3/16" stainless steel set point allen screws.

Configuration and Cat. No.:  
 1A SAL-TM1  
 2B SAL-TM2  
 3Y SAL-TM3  
 4C SAL-TM4

NOTE: CH and SH Detailing and Arm Spacing Dimensions match corresponding pole arm designs.

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SM

MODESTO SERIES

Cat. #	Type	Approvals
_____	_____	_____

SPAUDLING LIGHTING

**APPLICATIONS**  
 • Walkways and courtyards.

**SPECIFICATIONS**  
 • Extruded aluminum square or round housing, with tamper resistant hardware. Flat top, or optional dome top for round model. Single screw access for top cleaning.  
 • Thread-on glass or clear and frosted black polycarbonate lens and/or lens.  
 • Medium porcelain socket, pulse start, with spring-loaded, nickel-plated center contact and reinforced lamp grip screw shell.  
 • Coated, galvanized steel socket base. Four 1/2" x 1/4" anchor bolts.  
 • HPS ballast, starting ret. 207° (407° for HPS). Metal Halide is CWA or Super CWA type. HPS is CWA, MH, or Reflector type.  
 • Durable Luminaires<sup>®</sup> TGIC thermoplastic polyester powder coat paint finish assures long life and maintenance-free service.

**LISTINGS/REFERENCES**  
 • UL1500 listed and CSA certified for outdoor use in wet locations.  
 • ENEC full cutoff classified.

Model	Wattage	Height	Weight		
M01	6.75 sq	42.0"	6.0"	3.75"	41 lbs
M02	7.0" dia	102.0" mm	152 mm	95 mm	19 kg
M03	7.0" dia	42.0"	6.0"	3.75"	41 lbs
M04	176 mm	1067 mm	182 mm	95 mm	19 kg

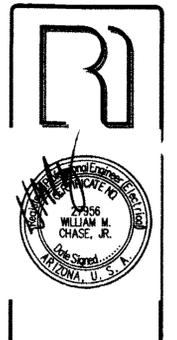
**ORDERING INFORMATION**

ORDERING EXAMPLE: M01 - H17 - Q - DB - F1

Series: M01, M02, M03, M04  
 Voltage: H17, H18, H19, H20, H21, H22, H23, H24, H25, H26, H27, H28, H29, H30, H31, H32, H33, H34, H35, H36, H37, H38, H39, H40, H41, H42, H43, H44, H45, H46, H47, H48, H49, H50, H51, H52, H53, H54, H55, H56, H57, H58, H59, H60, H61, H62, H63, H64, H65, H66, H67, H68, H69, H70, H71, H72, H73, H74, H75, H76, H77, H78, H79, H80, H81, H82, H83, H84, H85, H86, H87, H88, H89, H90, H91, H92, H93, H94, H95, H96, H97, H98, H99, H100  
 Color: Q, DB, F1  
 Options: \_\_\_\_\_

Series	Model	Wattage/Socket	Finish	Options
M01	M01	6.75 sq	Q	_____
M02	M02	7.0" dia	DB	_____
M03	M03	7.0" dia	F1	_____
M04	M04	176 mm	Q	_____

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REVISIONS

No.	Description

**REIGLE & ASSOCIATES**  
 ARCHITECTURE, PLANNING, LTD.  
 1200 N. 16th Street, Suite 200 Phoenix, AZ 85006 (602) 495-3001 FAX: (602) 495-1940

PROJECT NO. 0623  
 DRAWN BY: JRT  
 SCALE: AS SHOWN  
 CAD SAVED NAME:  
 DATE: 19 FEB 08

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A SITE PLAN FOR:  
**SURPRISE VILLAGE MARKETPLACE**  
 S.E.C. LOOP 303 AND BELL RD.  
 SURPRISE, ARIZONA  
**BELL ROAD AND 303 LLC**  
 C/O MELISSA HILL  
 7575 N. 16TH STREET - SUITE 1

SHEET TITLE  
 SITE PHOTO.

SHEET NO.  
 PH2

**PETERSON ASSOCIATES**  
 CONSULTING ENGINEERS, INC.  
 7201 N. Dreamy Drive  
 Suite 200  
 Phoenix, Arizona 85020  
 (602) 943-4116  
 Facsimile (602) 943-2507  
 www.peterson.com  
 Job No. 07193

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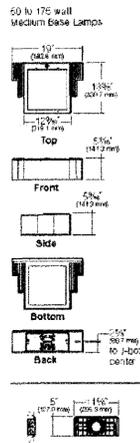
**WC14**  
14" Wall Commander™  
revision 1/12/07 • wc14.pdf

Type:  
Job:  
Catalog number:

Approvals:

Date:  
Page: 1 of 5

**Specifications**



**Housing and Lens**  
The complete housing fits onto a mounting plate with keyhole slots...  
**UP model:** One-piece die-cast, low copper (0.6% Cu) aluminum alloy...  
**DOWN model:** Two-piece die-cast, low copper (0.6% Cu) aluminum alloy...  
**Access Door (UP model):** One-piece die-cast, low copper (0.6% Cu) aluminum alloy...  
**Lens Frame (DOWN and UPDOWN models):** One-piece die-cast, low copper (0.6% Cu) aluminum alloy...  
**Reflector Module**  
All models are precision medium beam rated (40V) aluminum housing...  
**Electrical Module**  
High power area ballasts are mounted to a rigid aluminum tray...  
**Mounting Plate**  
Mounting plate attaches directly to any standard 1/2" junction box...  
**Finish/Color**  
Finish is Super TGIC thermoseal polyester powder coat paint...  
**CAUTION:** Fixtures must be grounded in accordance with national, state and/or local electrical codes.

**WC14 Mounting Plate**  
Attaches directly to any standard 1/2" J-Box (by others)

Listings and Ratings		
ULC CUL 1598		25C Ambient
IP66 Rated	CE	SO 9001:2000

Suitable for wet locations  
A.M. LIGHTING RESERVES THE RIGHT TO CHANGE SPECIFICATIONS WITHOUT NOTICE  
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**WC14**  
14" Wall Commander™  
revision 1/12/07 • wc14.pdf

Type:  
Job:  
Page: 2 of 5

**Standard Features**

Fixture Cat. No. designates WC14 fixture with:

- ▲ Up Light Distribution
- ▼ Down Light Distribution
- ▲ Type II
- ▲ Type III
- ▲ Type IV
- Primary and Secondary Grazes
- Primary and Secondary Spot
- Asymmetric Flood
- Ray

UP ONLY

DOWN ONLY

UP/DOWN

Secondary Grazer

Secondary Spot

Asymmetric Flood

Ray

For colored light or custom conductors:  
Primary grazer or primary spot optics supplied when specified with the ray option. Secondary grazer or secondary spot optics supplied when specified in all other options combination configurations.  
Refer to the Kim Lighting Wall Commander Catalog for a complete matrix of available configurations.

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**WC14**  
14" Wall Commander™  
revision 1/12/07 • wc14.pdf

Type:  
Job:  
Page: 3 of 5

**Standard Features**

**Electrical Module**  
PMH = Pulse Start Metal Halide  
MH = Metal Halide  
HPS = High Pressure Sodium  
PL = Compact Fluorescent Triple Tube  
IF = Induction Fluorescent

Lamp Lamp Line Warts Type Vols 176 MH 277

Cat. Nos. for Electrical Modules available:

High Pressure Sodium	Compact Fluorescent Triple Tube	Induction Fluorescent
120V Triple Tube 120V Single Tube	120V Triple Tube 120V Single Tube	120V Triple Tube 120V Single Tube

Multiple CF lamp configurations (e.g. two 40W lamps) are possible with certain optical systems. Consult factory for details.  
\*Remote battery pack and lens available for 50W CFL lamps. Consult factory. 50W system not available with 55W CFL lamps.  
\*40W and 70W medium beam lamp sockets may require approval by the local building code authority.  
\*For Type II, Type III, or Type IV fixtures only. Up or down.  
NOTE: Lamp and electrical data supplied for reference purposes only. All initial lamp values shown are manufacturer's values. All other lamp values shown are manufacturer's values for reference purposes only. All initial lamp values shown are manufacturer's values. All other lamp values shown are manufacturer's values for reference purposes only.  
CAUTION: All manufacturers of metal halide lamps recommend running them off for 15 minutes once per week when under continuous operation. This will reduce the risk of an "hot" tube at all times. Also, color temperature may differ between manufacturers of metal halide lamps. See lamp manufacturer's literature for details.  
WARNING: Fixtures must be installed and grounded in accordance with national, state and/or local electrical codes. Failure to do so may result in serious personal injury. For further information contact the U.S.A. and Canada, please contact our local Kim representative. Lamp by others.

Finish: Super TGIC powder coat paint over a baked zinc chromate conversion coating.  
Color: Black, Dark Bronze, Light Gray, Platinum Silver, White, Custom Colors.  
Cat. No.: BLP, DBP, LGP, PBP, WHP, CCP.

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**WC14**  
14" Wall Commander™  
revision 1/12/07 • wc14.pdf

Type:  
Job:  
Page: 4 of 5

**Optional Features**

Base Socket: Cat. No.  G12  No Option. Available for 70W and 150W Pulse Start Metal Halide lamps only.

Photocell Control: Cat. No.  (see right)  No Option. Factory installed inside housing with fully gasketed sensor on side wall.

Lexan® SLX non-yellowing enclosure: Cat. No.  WC14SLX  No Option. 3/4" clear convex vacuum formed non-yellowing Lexan® SLX with gasket. Mounts over lens to preformed door frame holes.

Wire Guard: Cat. No.  WC14WG  No Option. Fits over wire with all WC14 fixtures, UP or DOWN. T1 ga. (1/2" dia.) 88 Wire. (.25 sq. welded mesh pattern). Finish is Super TGIC thermoseal polyester powder coat paint, over zinc plated wicketon. Finished to match the fixture. Only available with the lens applications.

Fusing: Cat. No.  (see right)  No Option. High temperature fuse holders factory installed inside the fixture housing. Fuse is included.

Quartz Standby: Cat. No.  QS  No Option. Integral electronic device energizes a T4 mini-can socket during initial lamp start-up or after a power interruption. De-energizes prior to HID lamp reaching full brightness. T4 halogen lamp by others; 100W maximum.

Housings Shield: Cat. No.  HS  No Option. Up or down shield for Type II, III, and IV area optics only. Combination lower shield and black end-panel for reflector. Factory installed to reflector module. Reduces light toward wall.

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**WC14**  
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Type:  
Job:  
Page: 5 of 5

**Optional Features**

Direct Conduit Entries: Cat. No.  DCE  No Option. Two conduit locations provided on the housing, (1) on the side wall and (1) on top of housing for 3/4" conduit clearance.

Emergency Battery Back-up: Cat. No.  EM  No Option. Internal battery pack provides 90 minutes of supplemental light at 250 lamp lumens, on 42 watt compact fluorescent lamps only. Remote mounted battery pack also available for 57W and 60W CFL - consult factory.

Color Ray Kits: Cat. No.  CRA  CRB  CRG  CRH  CRY  CRM. Color: Amber, Blue, Green, Red, Yellow, Multi-Color. Each color ray kit includes (5) glass lens pieces, except for the multi-color kit which includes (5) of each color plus (5) clear, 130 pieces total.

Easy and Flexible Field Installation: Simply arrange the color glass lens into the slide channel and replace the retaining pin. Secure the reflector assembly back into the housing and latch the lens frame shut.

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**8" Horizontal Two Lamp Open & Wall Wash Downlights**  
**CFTD832HEB**  
Two 26W, 32W, or 42W Triple Tube 4 Pin Lamps.  
Non-IC Rated  
120V, 208V, 240V, 277V, or 347V

Architektur

Model: \_\_\_\_\_  
Type: \_\_\_\_\_  
Finish: \_\_\_\_\_  
Color: \_\_\_\_\_

**APPLICATIONS:** The CFTD832HEB offers a horizontally mounted compact fluorescent downlight with wall wash feature that provides superior brightness and low glare. This luminaire is ideal for areas where medium to high ceiling applications including commercial, retail, and residential. The wall wash feature provides the ability to change moods by simply changing the lamp. The CFTD832HEB luminaire is compatible with the Superior family of compact fluorescent lamps.

**HOUSING:** One-piece formed 1 piece die-cast metal housing. Internal 1/2" x 1/2" x 1/2" cover for easy access. Housed in long life and rugged for secure wall mount. Spring housing accommodates overnight and wall wash light applications.

**REFLECTOR:** High purity aluminum Alzak® Alzak® Super® reflective surface reflector. Reflector is standard. Standard white wall wash (11) available. Reflector is standard with optional white wall wash.

**INSTALLATION:** Universal adjustable mounting bracket accommodates 1/2" x 1/2" x 1/2" mounting channel or 1/2" EMT. (By others) for the 24" bar frames. (By others)

**SOCKET:** Two 2 pin base mounted sockets available for 26W, 32W, and 42W triple tube lamps.

**INSTALLATION:** Universal adjustable mounting bracket accommodates 1/2" x 1/2" x 1/2" mounting channel or 1/2" EMT. (By others) for the 24" bar frames. (By others)

**LABELS:** UL, CSA listed for wet locations. (By others) for wall wash.

**Labels:** UL, CSA listed for wet locations. (By others) for wall wash.

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**PHOTOMETRIC DATA** Architektur - 8" Horizontal Two Lamp Open & Wall Wash Downlights - CFTD832HEB

BALLAST DATA	20W Triple			32W Triple			42W Triple		
	120V	277V	347V	120V	277V	347V	120V	277V	347V
Total System Watts	36W	50W	N/A	74W	72W	N/A	99W	92W	N/A
Input Current (Amps)	0.45	0.21		0.61	0.26		0.8	0.35	
Input Frequency (Hz)	50/60	50/60		50/60	50/60		50/60	50/60	
Power Factor	>97%	>97%		>97%	>97%		>97%	>97%	
Ballast Factor	>98%	>98%		>98%	>98%		>98%	>98%	
Total Harmonic Distortion	<10%	<10%		<10%	<10%		<10%	<10%	
Maximum Storage Temp	18°C (6°F)	18°C (6°F)		18°C (6°F)	18°C (6°F)		18°C (6°F)	18°C (6°F)	

**LAMP DATA**

	26W Triple	32W Triple	42W Triple
Rated Lumens	2400	2400	3200
Efficiency (lm/W)	92	74	76
Rated Life (hours)	10,000	10,000	10,000
CFI	82	82	82
M.A. Starting Temp	0°F	0°F	0°F

**LUMINANCE DATA IN CANDLE/SG. METER**

Angle	Average	Average	Average
Vertical	26W	32W	42W
45°	1500	2125	2300
55°	820	950	450
65°	0	0	0
75°	0	0	0

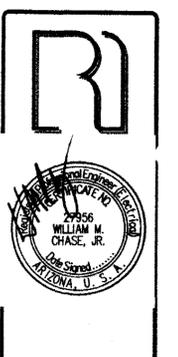
**AVERAGE INITIAL FOOTCANDLES**

Height (ft)	Beam	Beam	Beam
32W Triple	Beam	Beam	Beam
8' 0"	29	22	16
10' 0"	21	16	13
12' 0"	17	14	11
14' 0"	14	12	9

**CONTRASTS OF UTILIZATION**

Beam	80%	70%	60%	50%	40%
1	100	100	100	100	100
2	100	100	100	100	100
3	100	100	100	100	100
4	100	100	100	100	100
5	100	100	100	100	100
6	100	100	100	100	100
7	100	100	100	100	100
8	100	100	100	100	100
9	100	100	100	100	100
10	100	100	100	100	100
11	100	100	100	100	100
12	100	100	100	100	100
13	100	100	100	100	100
14	100	100	100	100	100
15	100	100	100	100	100
16	100	100	100	100	100
17	100	100	100	100	100
18	100	100	100	100	100
19	100	100	100	100	100
20	100	100	100	100	100
21	100	100	100	100	100
22	100	100	100	100	100
23	100	100	100	100	100
24	100	100	100	100	100
25	100	100	100	100	100
26	100	100	100	100	100
27	100	100	100	100	100
28	100	100	100	100	100
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77	100	100	100	100	100
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81	100	100	100	100	100
82	100	100	100	100	100
83	100	100	100	100	100
84	100	100	100	100	100
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94	100	100	100	100	100
95	100	100	100	100	100
96	100	100	100	100	100
97	100	100	100	100	100
98	100	100	100	100	100
99	100	100	100	100	100
100	100	100	100	100	100

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**REVISIONS**

NO.	DATE	DESCRIPTION

**CITY OF SURPRISE  
COMMUNITY DEVELOPMENT DEPARTMENT**

**SP08-040**

**Site Plan**

for:

**Jack-In-The-Box at Marley Park**

**PLANNING AND ZONING COMMISSION**

Hearing Date: **May 20, 2008**

**STAFF:**

Adam Copeland, 623.222.3137

**LOCATION:**

Generally on the SEC of Reems Road and Waddell Road.

**DESCRIPTION OF  
THE REQUEST:**

Approval of a Site Plan.

**SUMMARY ANALYSIS:**

The applicant is requesting Site Plan approval.

**SUGGESTED MOTION:**

**I move to approve SP08-040, a Site Plan for Jack-In-The-Box at Marley Park, and to adopt staff's findings and stipulations 'a' and 'b.'**

City of Surprise  
Planning and Zoning Division

**EXECUTIVE SUMMARY****SP08-040  
Jack-In-The-Box at Marley Park**

<b>APPLICANT:</b>	Kofi Addo Leads & CEI 2400 N. Central Ave Phoenix, AZ 85004 P: 602.254.2600 F: 602.254.1700 <a href="mailto:kaddo@ceileng.com">kaddo@ceileng.com</a>
<b>OWNER:</b>	Scott Lawrence 1730 E. Northern Avenue Phoenix, AZ 85020 P: 714.966.6449 F: 714.966.6549
<b>HEARING DATE:</b>	May 20, 2008
<b>STAFF:</b>	Adam Copeland
<b>LOCATION:</b>	Generally on the SEC of Reems Road and Waddell Road.
<b>DESCRIPTION of the REQUEST:</b>	Approval of a Site Plan.
<b>STAFF RECOMMENDATION:</b>	Approval
<b>SUMMARY ANALYSIS:</b>	The applicant is requesting Site Plan approval.

**HISTORY**

1. On January 17, 2006 the Planning and Zoning Commission approved the Marley Park Plaza master site plan.

## STAFF ANALYSIS

**Proposal:**

The applicant is requesting approval of a 2,547 S.F. Jack-In-The-Box Restaurant at Marley Park located generally on the SEC of Waddell Road and Reems Road.

**Circulation:**

Access to the site will be primarily from Waddell Road to the north, Reems Road to the west and Founders Park Boulevard to the south. Parking will be available from the north, west, and south side of the parcel.

Pedestrian connections lead to the main sidewalk along Waddell Road and south to a main pedestrian path leading to the Marley Park neighborhood.

**Architecture:**

Marley Park Plaza's Jack-In-The-Box meets the requirements set forth in the Planning and Design Guidelines. Special attention was given to ensure that the eclectic architectural character of the surrounding neighborhood was reflected in the overall design. This was achieved through using building forms, color and details found in Craftsman and Spanish Colonial architecture.

The building's material is basically comprised of an exterior finish system that resembles stucco. Building accents include brick columns and stone pilasters. Metal shading structures introduce a contemporary look while still providing shade to the interior patrons. The roof profiles consist of a combination of stucco parapets, metal and slate tile roofing. Craftsman-styled details are clearly evident in the roof profile and through the use of exposed wood roof brackets. The building color reflects a diverse color palette which adds to the buildings unique character not usually found in a franchised-styled architecture.

**Landscape:** The landscape design is consistent with the landscaping approved on the master site plan.

**Location:** The building is located on the far eastern portion of the master site plan. A future commercial parcel separates the use from residential to the east. The building is set back approximately 400 ft. from any residential property.

**Departmental Review:**

All departments have recommended approval of the project subject to all stipulations.

**Traffic Division:** No Comments.

**Fire Department:** The Fire Department had comments on hydrant and Fire Department Connection locations.

**Planning Division:** The Planning Division had minor comments on the architecture and landscape plan. The project was found to be consistent with the approved Marley Park Plaza master site plan.

Building Safety Division: The Building Safety Division provided standard comments.

Water Services Department: The Water Services Department provided standard comments.

Engineering Department: The Engineering Department had comments on technical issues related to the drainage of the site.

### **FINDINGS**

1. Staff finds that the proposed Site Plan complies with Section 125-33 Procedures for site plan approval of the Surprise Municipal Code.

### **STIPULATIONS**

**REQUIRED ACTIONS.** The applicant and/or owner shall comply with the following stipulations of Case SP08-040, Jack-In-The-Box at Marley Park.

- a. All parcel numbers shall be active prior to submittal of any building permit and shall stay active throughout the construction process until a Letter of Compliance and/or Certificate of Occupancy is issued. Any subdivision or lot split shall be reviewed and approved by the City of Surprise prior to recordation with Maricopa County.
- b. A sidewalk will be added to the site plan along the west side of the curb cut north of the Jack-In-The-Box building. The sidewalk will lead to the building crossing the private drive aisle north of the Jack-In-The-Box building.

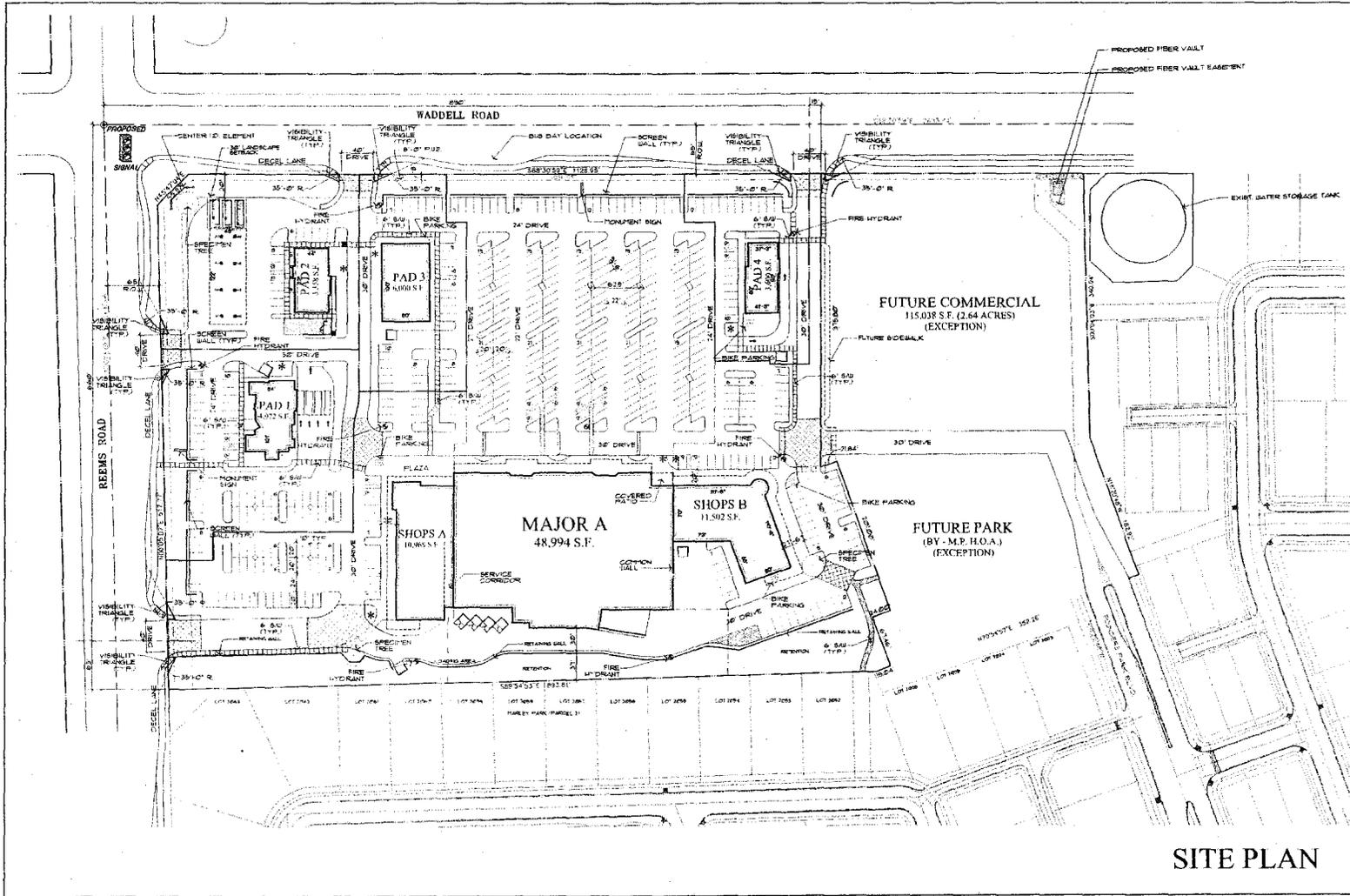
# Jack-In-The-Box at Marley Park



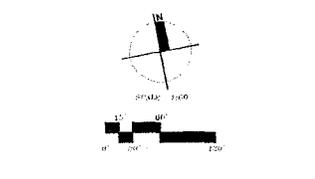
**SITE**

Alexandria Wy





**SITE PLAN**



**SITE DATA**

**RETAIL SITE DATA**

SITE AREA	: 553,382 S.F. (12.70 ACRES)
TOTAL BUILDING AREA	: 29,384 S.F.
% COVERAGE (EXCL. PARK)	: 16.2%
PARKING PROVIDED*	: 485 SPACES
PARKING RATIO	: 5:43 1:1000

\* ALL ANGLED SPACES SHOWN ARE 7'-6" WIDE. ALL 90° SPACES ARE 10' X 20' OR 18'-0" IN LENGTH WHERE THEY OBTAIN A CURB OR S.W.

**NOTE** - ALL PROPOSED DEVELOPMENT PHASES DEPICTED ON THIS SITE PLAN SHALL BE PROVIDED WITH A MINIMUM OF TWO (2) SEPARATE PORTS OF UNOBSTRUCTED ACCESS WITH A MINIMUM WIDTH OF TWENTY (20) FEET, INSTALLED AND MAINTAINED PURSUANT TO THE REQUIREMENTS OF THE CITY OF SURPRISE

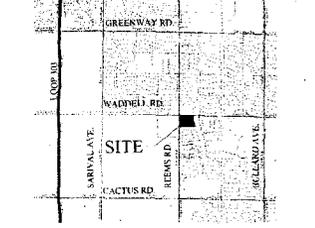
**OWNER/DEVELOPER**

DMB - CIRCLE ROAD EQUITIES  
 7600 E. DOWNEY FRIER RANCH ROAD  
 SUITE 210  
 SCOTTSDALE, AZ 85258  
 CONTACT: DAVID REINER (480) 407-7373

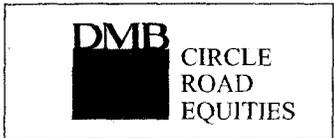
**LEGEND**

- FIRE LANE
- - - - - PROPERTY LINE
- - - - - LEASE LINES
- - - - - SETBACK LINE
- ▨ DECORATIVE PAVING
- ▤ SIDEWALK
- ▥ BUILDING CANOPY
- ▧ STREET CENTERLINE
- \* PROPOSED FDC

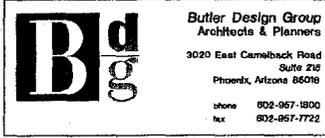
**VICINITY MAP**



DATE: 9/18/2006      ROW: 02/06      FILE: 03/05/0517



**MARLEY PARK PLAZA**  
 PROPOSED NEIGHBORHOOD RETAIL CENTER  
 SURPRISE, ARIZONA





DEPARTMENT OF THE AIR FORCE  
AIR EDUCATION AND TRAINING COMMAND

29 February 2008

Mr. James R. Mitchell  
Director, Community Initiatives Team  
56th Fighter Wing  
14185 West Falcon Street  
Luke AFB AZ 85309-1629

Ms. Carol Dager  
City of Surprise Planning Department  
12425 West Bell Road  
Surprise AZ 85374

Re: Case #SP08-040 Jack in the Box

Dear Ms. Dager

Thank you for the opportunity to comment on the Site Plan Application for the Jack in the Box Restaurant. The site is located on 0.72 gross acres in a commercial center at the southeast corner of Reems and Waddell Roads. The request is to build a plus or minus 2,500 square foot free standing, single story structure for fast food. The site is approximately 1 3/4 miles outside the 1988 JLUS 65 Ldn, "high noise or accident potential zone," as defined by A.R.S. § 28-8461 and is within the "territory in the vicinity of a military airport," also defined by A.R.S. § 28-8461.

As described, this Jack in the Box Restaurant will not negatively impact the flying operations at Luke AFB. Since it will be located within the "territory in the vicinity of a military airport," it will be subjected to approximately 165 over flights a day, with some as low as 1,500 feet above ground level. We recommend you review the sound attenuation requirements found in A.R.S. § 28-8482. In addition, a strong notification program on the part of the applicant is essential to inform the tenant about Luke AFB operations. We also recommend a review of the Luke AFB web site at <http://www.luke.af.mil>, Community Interests and Community Initiatives links, for further information.

If there are any questions, please contact my Community Planner, Mr. Bob Dubsky, at (623) 856-6195.

Sincerely

A handwritten signature in black ink, appearing to read "James R. Mitchell", with a horizontal line extending to the right.

JAMES R. MITCHELL

cc:  
Colonel Henry M. Reed III, Vice Commander, 56th Fighter Wing



**Arizona Department of Transportation**  
**Intermodal Transportation Division**

206 South Seventeenth Avenue Phoenix, Arizona 85007-3213

Janet Napolitano  
Governor

Victor M. Mendez  
Director

Sam Elters  
State Engineer

April 10, 2008

Ms. Carol Dager  
City of Surprise Planning Department  
12425 West Bell Road, Suite D-100  
Surprise, Arizona 85374

RE: **Jack in the Box** / SP08-040 / SWC of Waddell and Reems Rd.

Dear Ms. Dager:

Thank you for your notification regarding the Site Plan on the above referenced subject. After a complete review, we have concurred that at this time the proposed project will not have impact on our highway facilities in this area.

**ADOT does reserve the right to review and comment any further development plans, changes and or additions for this site, as to any impact they may have on the State Highway System.**

Should you have any questions, you may contact me at 602-712-8876, or in writing at 205 S. 17<sup>th</sup> Avenue, Right of Way Project Management Section, MD 612E, Phoenix, Arizona 85007. Thanking you in advance for your cooperation.

Sincerely,

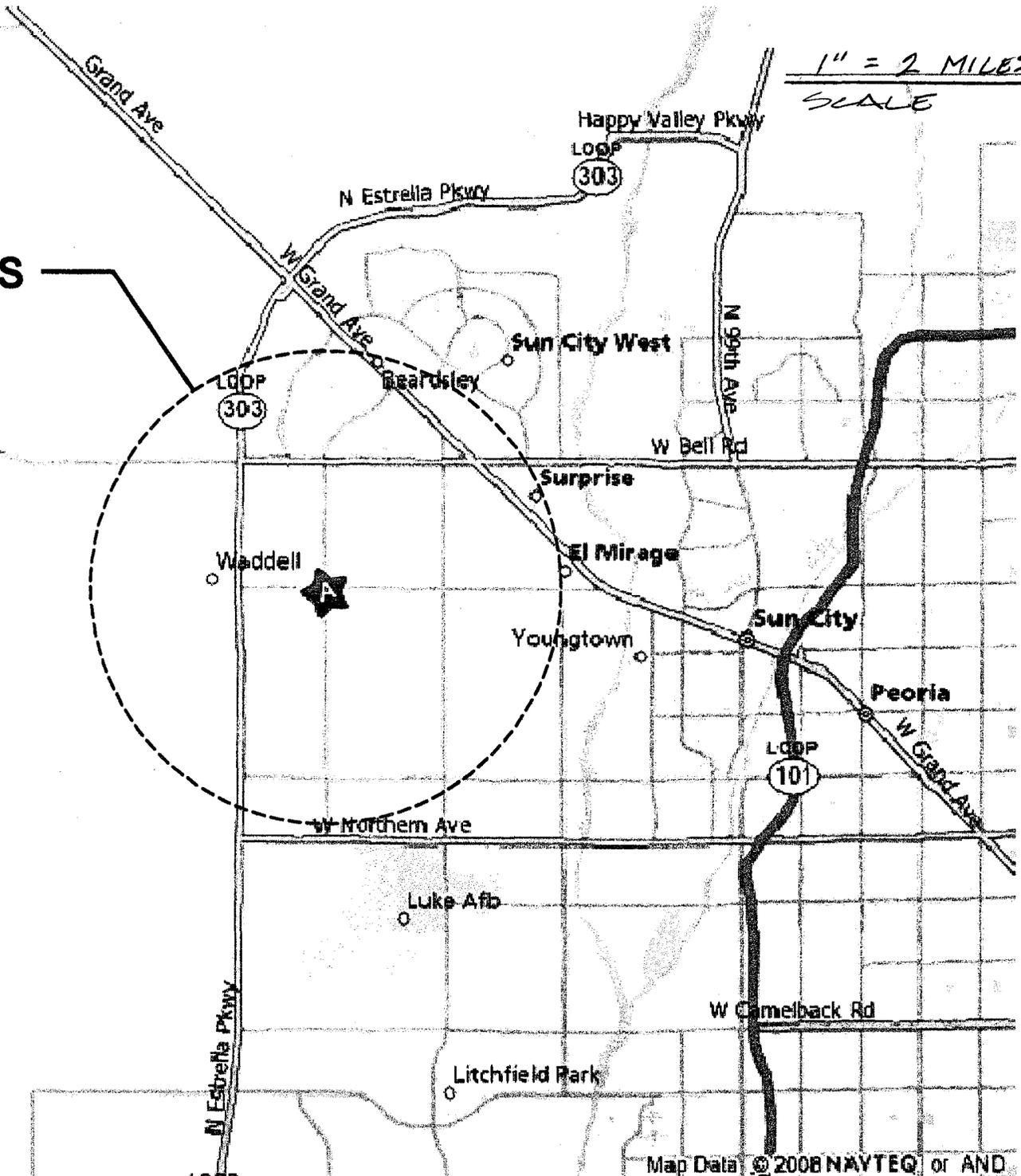
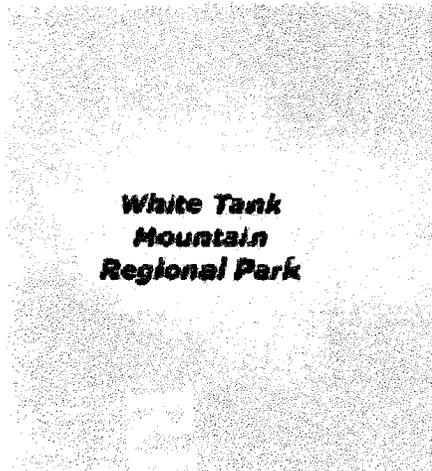
Annette Close  
Administrative Assistant III  
Right of Way Project Management  
[aclose@azdot.gov](mailto:aclose@azdot.gov)



MAPQUEST.

1" = 2 MILES  
SCALE

3 MILE RADIUS



**PROJECT NARRATIVE for SITE PLAN REVIEW**  
**Proposed Jack-In-The-Box Restaurant**  
**At Marley Park Plaza**  
**SEC Waddell and Reems Roads**

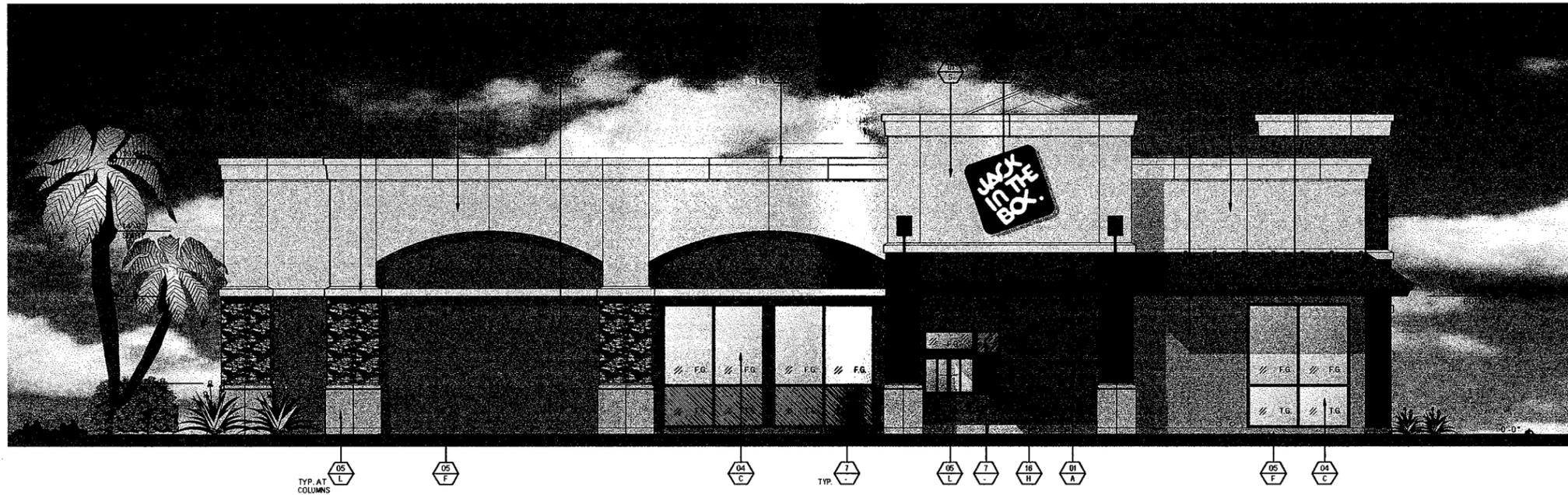
April 10, 2008

**Zoning: C-2 , Community Commercial within the Marley Park PADD, Planned Area Development District**

*Jack-In-The-Box* would like to introduce its newest project which will be located near the southeast corner of Waddell Road & Reems Road in Surprise, Arizona, within a larger retail center known as *Marley Park Plaza*. Existing buildings within the center such as the newly opened *Basha's* grocery store exhibit a Spanish Colonial / Craftsman architectural motif. The 31,465 square-foot pad site includes a prepared building area which is surrounded by completed improvements such as lighting, asphalt paving and landscaping. All utilities have been stubbed to the building area. The proposed 2,547 square-foot *Jack-In-The-Box* stand-alone restaurant will feature a solid-roof canopy over the drive-through window.

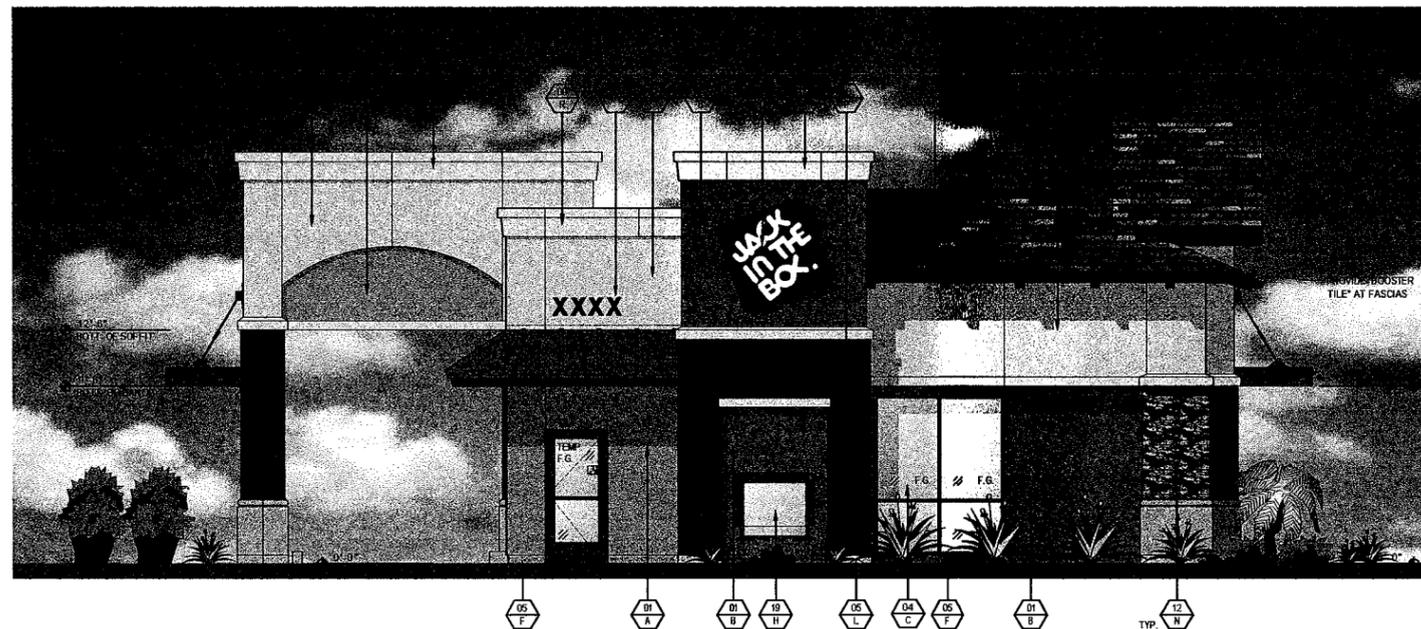
The architectural challenge of the proposed project is to create an attractive building exterior that blends into the surrounding environment both contextually and aesthetically. To this end *Jack-In-The-Box* has designed building elevations which utilize stucco, stone veneer, brick veneer and standing-seam metal roofing that continues to incorporate the style and materials represented in the surrounding commercial development. The exterior walls include recessed-arches and the tops of the parapets will receive cornice cap molding. Steel frame eyebrow awnings will be mounted above windows and doorways. In addition, the proposed restaurant will include a see-through fireplace on the north-facing exterior wall so that flames will be visible to passers-by. Through this, the proposed building will not only complement, but will enhance the overall experience of the *Marley Park Plaza* development.

The site can be primarily accessed from a driveway off of Waddell Road but will also have shared access with the surrounding development. All proposed parking and landscaping standards will match the existing *Marley Park* design criteria and therefore shall meet City of Surprise requirements. Existing setbacks, landscaping and site lighting will be maintained.



**EAST ELEVATION**

SCALE: 1/4" = 1'-0"



**NORTH ELEVATION**

SCALE: 1/4" = 1'-0"

**EXTERIOR FINISH SCHEDULE**

USE CHECKED BOX ONLY

MATERIAL/FINISH COLOR  ANTI-GRAFFITI COATING: DUMOND CPU647 GRAFFITI BARRIER COAT BY DUMOND CHEMICALS INC. (212) 869-6350 COLOR: CLEAR

**MATERIAL/FINISH:**

- 01 EXTERIOR CEMENT PLASTER- SAND FLOAT FINISH - INTEGRAL COLOR
- 02 STANDING SEAM METAL AWNING & SUPPORT (BY SIGN CONTRACTOR)
- 03 24" x 36" S.S. FLASHING AT GREASE RECOVERY TAP IN
- 04 ALUMINUM STOREFRONT SYSTEM (SEE SPECS FOR MORE INFORMATION)
- 1" CLEAR INSULATED GLASS  1/4" CLEAR GLASS
- 1" CLEAR INSULATED GLASS W/ SOLARBAN 60 COATING  ANTI-GRAFFITI FILM
- 05 EXTERIOR CEMENT PLASTER FINISH COAT OVER CONCRETE CURB
- 06 INTERNALLY ILLUMINATED SIGNAGE W/ CORRUGATED PANEL (O.F.O.I., NOT A PART OF THIS PERMIT)
- 07 DRIVE-THRU WINDOW TREATMENT AND DISPLAY PANEL
- 08 ROOF TILE
- 09 FOAM CORNICE/TRIM WITH PLASTER FINISH
- 10 12" HIGH BUILDING ADDRESS LETTERS (AS REQUIRED PER LOCAL JURISDICTION)
- 11 STANDING SEAM METAL ROOF
- 12 STONE VENNER
- 13 HOLLOW METAL DOORS AND FRAMES, MISCELLANEOUS TRIM
- 14 METAL TRELLIS
- 15 CO2 FILL BOX METAL COVER
- 16 FLAT HORIZONTAL CANOPY
- 17 EXPOSED WOOD
- 18 RED BRICK
- 19 METAL FIREPLACE GRILLE

**COLOR:**

- A COLOR TO MATCH: SW #6115 "TOTALLY TAN"
- B COLOR TO MATCH: DE #6137 "TAN PLAN"
- C STANDARD STOREFRONT: DEC #778 "BOXWOOD"
- D WHITE TEXT ON RED BACKGROUND
- E NOT USED
- F COLOR/FINISH TO MATCH ADJACENT SURFACE
- G STACO "NEWPORT BLEND"
- H COLOR TO MATCH: DEC #778 "BOXWOOD"
- I SHERWIN WILLIAMS A-100 EXTERIOR GLOSS LATEX: SW 7074 "SOFTWARE" (PAINT ALL SIDES OF DOOR)
- K ROLL FAB METAL PRODUCTS "DOVE METALLIC" BY MBCI
- L NATURAL CONCRETE, GRAY
- M STAINLESS STEEL
- N ELDORADO STONE - SHADOW ROCK "SHENANDOAH"
- P AZ BLOCK 2000 "BRICK RED" 8" x 16" FOUNDERS BLOCK
- Q COLOR TO MATCH: SW #3507 "REVERWOOD"
- R COLOR TO MATCH: BENJAMIN MOORE #10-84 "ELMIRA WHITE"
- S COLOR TO MATCH: DEC #745 "CHAPARRAL"

**RECEIVED**

APR 11 2008  
COMMUNITY DEVELOPMENT



9330 BALBOA AVENUE  
SAN DIEGO, CA 92123  
© 1999 Jack in the Box Inc.  
These designs, drawings and specifications are the property of Jack in the Box Inc. and shall not be copied or reproduced without its previous written consent.

**dates**  
RELEASE: OCT. 1, 2007  
P.M. (JIB ONLY):  
PERMIT:  
BID:  
CONSTRUCTION:

**revisions**  
△ 1/11/2007 Preparation Date  
△  
△  
△  
△  
△  
△

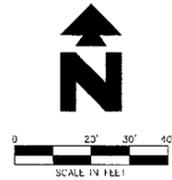


**LYONS WARREN**  
engineers + architects  
9455 Ridgehaven Court  
Suite 200  
San Diego, CA 92123-1649  
658.573.8999  
658.573.8258 fax  
lwa@lyonswarren.com

**site information**

MK TYPE: MKSA\_SM  
JIB #: 1579  
ADDRESS:  
WADDELL RD & REEMS RD  
SURPRISE, AZ 85379  
DRAWN BY: LW # JIB0729  
SCALE: AS NOTED

**EXTERIOR ELEVATIONS**  
**A2.0**



### PROJECT DATA

JACK IN THE BOX # 1579  
 LOCATION: WADELL & REEMS SURPRISE, AZ 85179  
 SQUARE FOOTAGE OF PROPERTY: 31,465 S.F. (0.72 ACRES) GROSS/NET  
 BUILDING SQUARE FOOTAGE: 42,500 S.F.  
 TYPE OF CONSTRUCTION: V-N  
 BUILDING HEIGHT: 24'-0" MAX  
 ASSESSOR'S PARCEL NO.: A PORTION OF 509-14-624A  
 EXISTING ZONING: PAD COMMERCIAL MARLEY PARK  
 LANDSCAPE SQ. FT. % OF PARCEL: 4305.03 S.F. (13.68%)  
 LANDSCAPE SQ. FT. % OF LIMIT OF WORK: 4305.03 S.F. (28.64%)  
 BUILDING AND PARKING % OF PARCEL: 4,737 S.F. (15.05%)

Two working days before you dig  
 CALL FOR THE BLUE STAKES  
**1-800-782-5348**  
 ARIZONA BLUE STAKE CENTER

### PARKING REQUIREMENTS

THE PARKING REQUIREMENTS FOR THIS PARCEL ARE AS FOLLOWS:

1 SPACE/50 S.F. DINING AREA (1221/50) = 24 SPACES  
 PARKING SPACES REQUIRED = 24 SPACES  
 PARKING SPACES PROVIDED = 29 SPACES

### PREPARED BY

TOM FITZPATRICK  
 CEI ENGINEERING  
 3030 LBJ FREEWAY, SUITE 1250  
 DALLAS, TX 75234  
 972-488-3737

### LANDSCAPE CALCULATIONS

6 of 11 48" BOX TREES = 55% OF TOTAL TREE QUANTITY.  
 3 of 11 36" BOX TREES = 27% OF TOTAL TREE QUANTITY.  
 2 of 11 24" BOX TREES = 18% OF TOTAL TREE QUANTITY.  
 100% OF PLANT MATERIAL USED ON THIS SITE IS ON ADRW LOW WATER LIST FOR THE PAVED/ACTIVE MANICURED AREA.

### UTILITY PROVIDERS

SEWER & WATER  
 CITY OF SURPRISE  
 PH. 623-594-5850  
 JOE GARZA

ELECTRICITY  
 APS  
 PH. 623-975-5760  
 JOHN CROTEAU

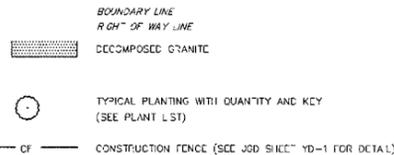
GAS  
 SOUTHWEST GAS CO.  
 PH. 602-525-6824  
 JM CUNDAY

TELEPHONE  
 QWEST  
 PH. 602-630-3462  
 MANUEL HERNANDEZ

### MARLEY PARK, CITY OF SURPRISE, AZ LANDSCAPE REQUIREMENTS

AREA	CITY REQUIREMENT	REQUIRED	PROVIDED
SITE STREETS/SCAFFOLDING AND CORNERS	TREES WITH A MINIMUM SIZE AS SPECIFIED SHALL BE PLANTED AT A RATE OF ONE TREE PER TWENTY LINEAR FEET OF STREET FRONTAGE. SHRUBBERY WITH A MINIMUM SIZE OF FIVE GALLONS SHALL BE PLANTED AT A RATE OF TWO SHRUBS PER TWENTY LINEAR FEET OF STREET FRONTAGE.	INTERNAL PAD SITE N/A	INTERNAL PAD SITE N/A
SITE ENTRANCES	ENTRY STATEMENTS SHALL BE DESIGNED TO BE COMPATIBLE WITH THE PROJECT'S ARCHITECTURE AS WELL AS PROVIDE IDENTIFICATION FOR THE SITE. ACCENT TREES, COLORFUL SHRUBBERY, GROUND COVER AND ADJACENT LIGHTS ARE TO BE INCORPORATED IN THE ENTRY STATEMENT DESIGN.	INTERNAL PAD SITE N/A	INTERNAL PAD SITE N/A
BUILDING FRONTAGE	FIFTY (50) PERCENT OF TREES PLANTED AS PART OF THE INTERNAL PROPORTION OF A COMMERCIAL SITE SHALL BE COVERED BY 10'-11'-8" (18") BOX, NON FRUIT BEARING, CANOPY TYPE TREES AND EVERGREENS, HAVING A MINIMUM CALIPER OF THREE (3) INCHES.	PROVIDED	PROVIDED
PEDESTRIAN CIRCULATION AREAS	PEDESTRIAN CIRCULATION AREAS ARE TO BE A MINIMUM OF 9' WIDE.	PROVIDED	PROVIDED
LANDSCAPE PLANTERS	LANDSCAPE PLANTERS ARE TO BE A MINIMUM OF 5' WIDE.	PROVIDED	PROVIDED
SERVICE AREAS	SERVICE AREAS SUCH AS TRASH ENCLOSURES AND UTILITY ARE TO BE SUBSTANTIALLY SCREENED FROM ALL STREETS, ENTRY AREAS AND ADJACENT RESIDENTIAL AND COMMERCIAL PROPERTIES. A MINIMUM TWELVE (12) FOOT PLANTING AREA IS TO SEPARATE PROPERTIES FROM VEHICULAR ACCESS. SCREEN WALL OR BUILDINGS.	PROVIDED	PROVIDED
OUTLET AREAS ADJACENT TO RESIDENTIAL PROPERTIES	WHERE COMMERCIAL OR INDUSTRIAL USES ARE LOCATED ADJACENT TO ANY RESIDENTIAL USE OR DISTRICT, A TEN FOOT WIDE LANDSCAPE STRIP, PLANTED WITH ONE TREE EVERY FIFTEEN LINEAR FEET, SHALL BE REQUIRED ALONG COMMON PROPERTY LINES.	INTERNAL PAD SITE N/A	INTERNAL PAD SITE N/A
PARKING LOTS	A MINIMUM OF TWENTY PERCENT OF THE PARKING LOT AREA SHALL BE DEDICATED TO LANDSCAPING.  NO MORE THAN TEN (10) CONTIGUOUS PARKING SPACES SHALL BE PROVIDED WITHOUT BEING INTERRUPTED WITH A MINIMUM 5' WIDE CURBED PLANTING ISLAND CONTAINING AT LEAST ONE TREE, SHRUBS AND GROUND COVER.  ALL TREES ARE TO BE A MINIMUM 24" BOX.	PARKING LOT-1,500SF 1,500X205=300SF  PROVIDED	354 SF  PROVIDED

### PROPOSED



### GENERAL LANDSCAPE NOTES

- ALL WORK PERFORMED ON THE JACK IN THE BOX PARCEL SHALL BE COMPLETED TO JACK IN THE BOX & CEI SPECIFICATIONS.
- ALL DISTURBED AREAS AS DESIGNATED ON THE GRADING PLAN SHALL BE LANDSCAPED AND/OR MULCHED.
- FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH 13-13-13 TIME RELEASE FERTILIZER - FOLLOW MANUFACTURER'S RECOMMENDATION.
- SEE GRADING PLAN FOR APPLICATION OF TOPSOIL AND MAINTENANCE. TOPSOIL IN PLANTING AREAS SHALL BE AS FOLLOWS: LANDSCAPE BEDS=12" MIN.; CURB ISLANDS=18" MIN. PLANTING BEDS SHALL HAVE POSITIVE DRAINAGE WHEN FLOODED WITH WATER. THEY SHALL DRAIN WITHIN 1 HOUR OF FLOODING TO ASSURE POSITIVE PLANT DRAINAGE.
- DECOMPOSED SCREENED 3/4" GRANITE SHALL BE UTILIZED AS A 2" DEEP MULCH IN ALL LANDSCAPE PLANTING AREAS. FINISH GRADE SHALL PROVIDE FOR MULCH AND LAWN AT COMPLETION TO BE 1.0" BELOW CURBS AND OTHER CONCRETE OR PAVED SURFACES. USE AUTUMN GOLD COLOR. ALL LANDSCAPE AREA TO THE PROPERTY LINE OR CURB SHALL HAVE A 2" LAYER OF GRANITE MULCH. GRANITE COLOR TO BE MADISON GOLD.
- FOLLOW STANDARDS SET BY AMERICAN ASSOCIATION OF NURSERMAN. TREES SHALL MEET MINIMUM REQUIREMENTS OF "ARIZONA NURSERY ASSOCIATION RECOMMENDED TREE SPECIFICATION" MANUAL.
- PREPARE ALL PLANTING AREAS BY REMOVING CONSTRUCTION DEBRIS, TRASH, AND ROCK FROM THE SITE. RIP SUBGRADE FOR DRAINAGE. PLANTING AREAS WITH CLAY FARTHEN FILL FREE OF HEAVY CLAY AND ROCK OR SIMILAR TRASH MATERIAL OVER 1" DIAFTER, THE TOP SIX INCHES OF FILL MATERIAL SHALL BE SCREENED FINE TOPSOIL.
- TREAT ALL PLANTING BEDS WITH A PRE-EMERGENT. FOLLOW MANUFACTURER'S SPECIFICATIONS. SPREAD AFTER PLACING TOPSOIL AND BEFORE INSTALLING PLANT MATERIAL AND MULCH.
- ALL TREES IN PAVED AREAS SHOULD HAVE "DEEP ROOT" BARRIERS AND TREE WELLS WITH AUTOMATIC IRRIGATION AND METAL GRATES.
- ALL TREE PLANTING SHALL BE INSTALLED PER DETAIL 50A.
- ALL SHRUB PLANTING SHALL BE INSTALLED PER DETAIL 50B.
- ALL GROUND COVER PLANTING SHALL BE INSTALLED PER DETAIL 50F.
- THE LANDSCAPE ARCHITECT OR THE CITY OF SURPRISE, AZ IS TO APPROVE ANY AND ALL SUBSTITUTIONS.
- SPRINKLER CONTRACTOR IS TO GUARANTEE 100% COVERAGE OF ALL LANDSCAPE MATERIAL.
- GROUND COVER OR DECOMPOSED GRANITE SHALL EXTEND UNDER PLANT MATERIAL UNLESS NOTED.
- DOUBLE STAKE ALL BOX TREES.
- FINISH GRADE SHALL BE 1" BELOW ADJACENT PAVING.
- FOR CLARIFICATION OF DISCREPANCIES BETWEEN PLAN AND SITE, CONTACT LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
- ALL MATERIAL AND WORKMANSHIP SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF ACCEPTANCE.

### LANDSCAPE DETAILS

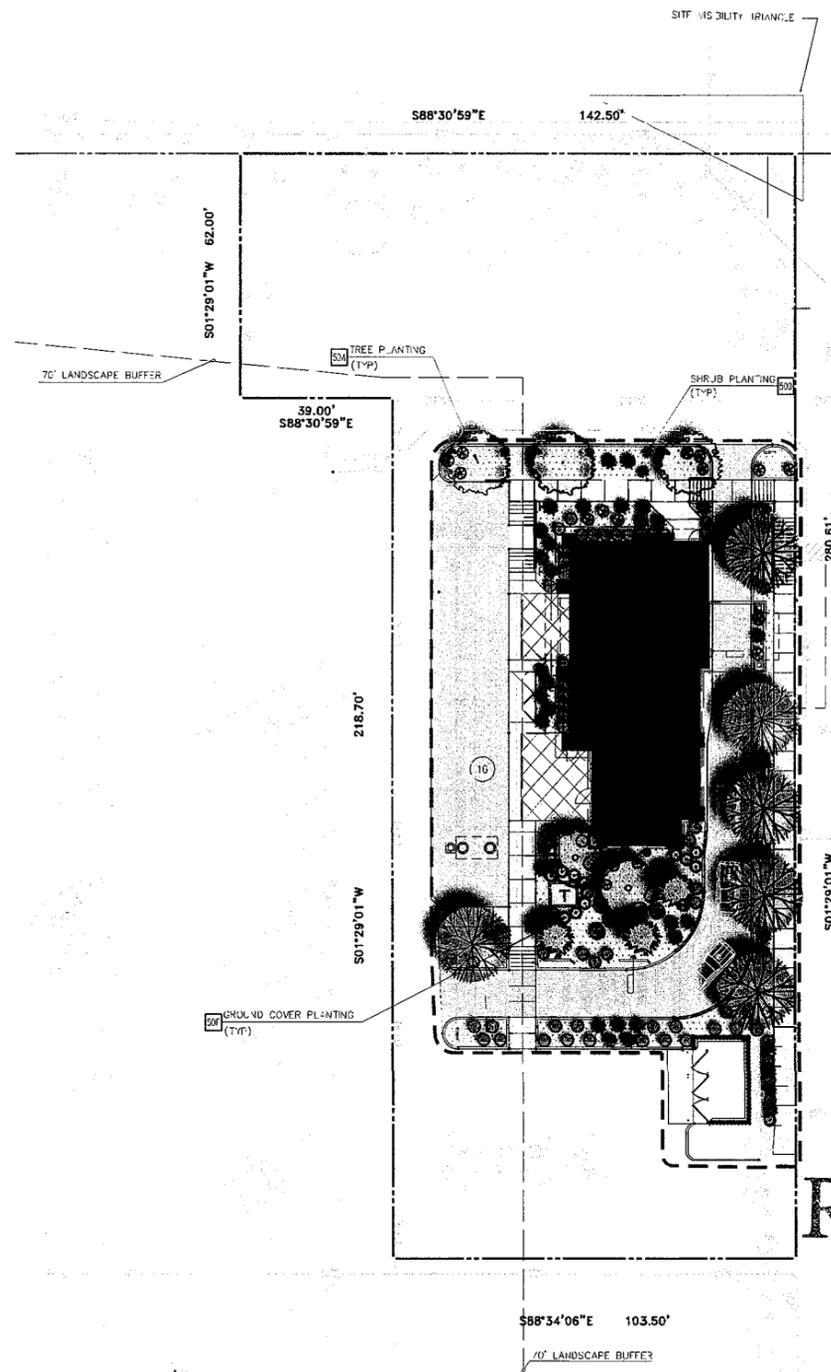
- 50A TREE PLANTING (TYP.)
- 50B SHRUB PLANTING (TYP.)
- 50F GROUND COVER PLANTING (TYP.)

### PLANT LIST

SYMBOL	QTY	COMMON NAME/ BOTANICAL NAME	ROOT	SIZE	REMARKS
TREES					
	8	CHINESE EVERGREEN ELM <i>Ilms parviflora 'Sempervirens'</i>	BOX	48" BOX	8'-10" HT. 3" CA.
	3	LIVE OAK <i>Quercus virginiana</i>	BOX	35" BOX	8' 10" HT. 3" CA.
	2	DESERT MUSEUM <i>Cercidium hybrid 'Desert Museum'</i>	BOX	24" BOX	8'-10" HT.
SHRUBS					
	35	BAJA FAIRY DUSTER <i>Callitriche californica</i>	CONT	5 GAL	24" HT MIN. spaced as shown
	3	DESERT CASSIA <i>Cassia phyllodemia</i>	CONT	15 GAL	18" HT MIN. spaced as shown
	15	RUELLIA <i>Ruellia brittoniana</i>	CONT	5 GAL	18" HT MIN. spaced as shown
	7	RIO BRAVO <i>Leucosyrium longiorata</i>	CONT	10 gal.	18" HT MIN. spaced as shown
	10	MU HUSH <i>Fremontia monilata</i>	CONT	5 GAL	24" HT MIN. SPACED 36" O.C.
	13	RED YUCCA <i>Hesperaloe parviflora</i>	CONT	5 GAL	12" HT MIN. spaced as shown
	48	PETITE PINK OLEANDER <i>Nerium oleander</i>	CONT	5 GAL	12" HT MIN. spaced as shown
GROUND COVER					
	12	GOLD ROUNDO <i>Lantana montevidensis</i>	CONT	5 GAL	SPACED 12" O.C. staggered spacing
	3	LITTLE KATIE RUELLIA <i>Ruellia brittoniana 'Katie'</i>	CONT	5 GAL	SPACED 12" O.C. staggered spacing
	3	GROUND MORNING GLORY <i>Convolvulus mauritanicus</i>	CONT	5 GAL	SPACED 12" O.C. staggered spacing
	2	BOUGAINVILLEA <i>Bougainvillea speciosa</i>	CONT	5 GAL	SPACED 5' O.C. STAKE TO TRELLIS
		GRANITE "MADISON GOLD"		3/4"	2" DEPTH DECOMPOSED GRANITE

### CITY OF SURPRISE, AZ NOTES

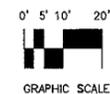
- ALL CHANGES TO BE APPROVED BY THE CITY OF SURPRISE COMMUNITY DEVELOPMENT DEPARTMENT.
- SIGNS REQUIRE A SEPARATE PERMIT.
- ALL UTILITY BOXES AND STRUCTURES ARE TO BE SCREENED FROM VIEW.
- PLANT MATERIAL IS NOT TO BE LOCATED WITHIN 3 FEET OF ANY FIRE HYDRANT OR FIRE DEPARTMENT CONNECTION.
- TREES IN PAVED AREAS ARE TO HAVE DEEP ROOT BARRIERS.
- ALL PLANT MATERIAL SIZES ARE TO BE GUARANTEED WITH ANA 5 BANDAYS.
- ALL PLANT MATERIAL LOCATED WITHIN VISIBILITY TRIANGLES ARE TO BE MAINTAINED NO HIGHER THAN 2 FEET HIGH, AND FINISH NO LOWER THAN 7 FEET FROM GROUND ELEVATION.



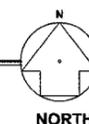
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COMMUNITY DEVELOPMENT



LANDSCAPE PLAN  
 SCALE: 1" = 20'



CITY OF SURPRISE, AZ CASE NUMBER SP08-040



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 SAN DIEGO, CA 92123

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### dates

RELEASE: 10-12-07  
 P.M. (JOB ONLY):  
 PERMIT:  
 BID:  
 CONSTRUCTION:

### revisions

- ▲ CITY COMMENTS 2-20-08
- ▲
- ▲
- ▲
- ▲
- ▲

LEADS  
 Land Entitlement And Development Services, Inc.  
 2400 N. Central Avenue, Suite 203  
 Phoenix, Arizona 85004  
 602.254.2600 Phone 602.254.1700 Fax  
 E-mail: Leads-az@LEADSinc.com

JACK IN THE BOX  
 WADELL ROAD  
 & REEMS ROAD  
 SURPRISE, AZ

### site information

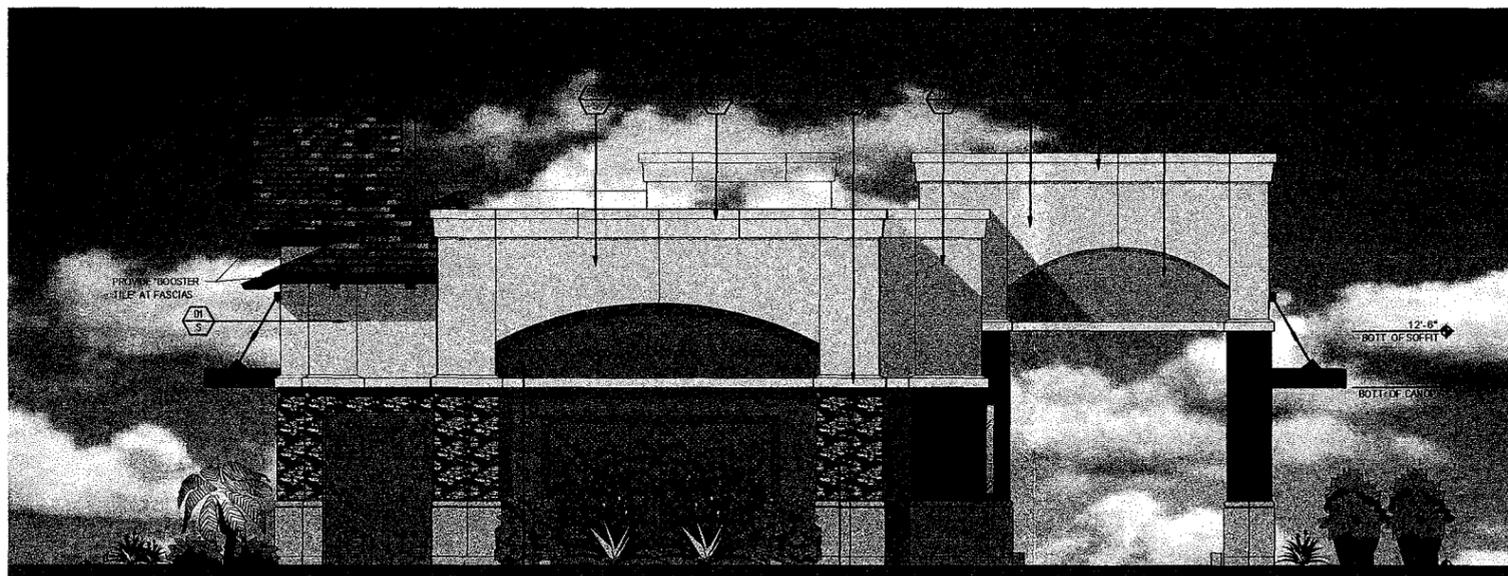
MK TYPE: MK3A SM2  
 JOB #: 1579  
 ADDRESS:  
 WADELL RD. & REEMS RD.  
 SURPRISE, ARIZONA  
 DRAWN BY: RJB  
 SCALE: 1" = 20'

LANDSCAPE PLAN  
**L1.0**



WEST ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

**EXTERIOR FINISH SCHEDULE**

USE CHECKED BOX ONLY

- MATERIAL/FINISH COLOR
- ANTI-GRAFFITI COATING: DUMOND CPU647 GRAFFITI BARRIER COAT BY DUMOND CHEMICALS INC. (212) 869-6350 COLOR: CLEAR

**MATERIAL/FINISH:**

- 01 EXTERIOR CEMENT PLASTER- SAND FLOAT FINISH - INTEGRAL COLOR
- 02 STANDING SEAM METAL AWNING & SUPPORT (BY SIGN CONTRACTOR)
- 03 24" x 36" S.S. FLASHING AT GREASE RECOVERY TAP IN
- 04 ALUMINUM STOREFRONT SYSTEM (SEE SPECS FOR MORE INFORMATION)
- 1" CLEAR INSULATED GLASS
- 1/4" CLEAR GLASS
- 1" CLEAR INSULATED GLASS W/ SOLARBAN 60 COATING
- ANTI-GRAFFITI FILM
- 05 EXTERIOR CEMENT PLASTER FINISH COAT OVER CONCRETE CURB
- 06 INTERNALLY ILLUMINATED SIGNAGE W/ CORRUGATED PANEL (O.F.O.I., NOT A PART OF THIS PERMIT)
- 07 DRIVE-THRU WINDOW TREATMENT AND DISPLAY PANEL
- 08 ROOF TILE
- 09 FOAM CORNICE/TRIM WITH PLASTER FINISH
- 10 12" HIGH BUILDING ADDRESS LETTERS (AS REQUIRED PER LOCAL JURISDICTION)
- 11 STANDING SEAM METAL ROOF
- 12 STONE VENER
- 13 HOLLOW METAL DOORS AND FRAMES, MISCELLANEOUS TRIM
- 14 METAL TRELIS
- 15 CO2 FILL BOX METAL COVER
- 16 FLAT HORIZONTAL CANOPY
- 17 EXPOSED WOOD
- 18 RED BRICK
- 19 METAL FIREPLACE GRILLE

**COLOR:**

- A COLOR TO MATCH: SW #6115 "TOTALLY TAN"
- B COLOR TO MATCH: DE #6137 "TAN PLAN"
- C STANDARD STOREFRONT; DEC #778 "BOXWOOD"
- D WHITE TEXT ON RED BACKGROUND
- E NOT USED
- F COLOR/FINISH TO MATCH ADJACENT SURFACE
- G STACO "NEWPORT BLEND"
- H COLOR TO MATCH: DEC #778 "BOXWOOD"
- J SHERWIN WILLIAMS A-100 EXTERIOR GLOSS LATEX: SW 7074 "SOFTWARE" (PAINT ALL SIDES OF DOOR)
- K ROLL FAB METAL PRODUCTS "DOVE METALLIC" BY MCCI
- L NATURAL CONCRETE, GRAY
- M STAINLESS STEEL
- N ELDORADO STONE - SHADOW ROCK "SHENANDOAH"
- P AZ BLOCK 2000 "BRICK RED" 8x4x16 FOUNDERS BLOCK
- Q COLOR TO MATCH: SW #3507 "RIVERWOOD"
- R COLOR TO MATCH: BENJAMIN MOORE #HC-84 "ELMIRA WHITE"
- S COLOR TO MATCH: DEC #745 "CHAPARRAL"



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CONSTRUCTION:

revisions  
△ 1/12/07 Preparation Date  
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LYONS WARREN  
engineers + architects  
3455 Rognon Court  
Suite 200  
San Diego, CA 92123-1649  
858.573.8999  
858.573.8998 fax  
lwa@lyonswarren.com

site information  
MK TYPE: MK9A\_SM  
JOB #: 1579  
ADDRESS:  
WADELLE RD & REEMS RD  
SURPRISE, AZ 85379  
DRAWN BY: LW # JIB0729  
SCALE: AS NOTED

EXTERIOR ELEVATIONS  
**A2.1**

# PROJECT DATA

JACK IN THE BOX # 1579  
 LOCATION: WADDELL & REEMS  
 SURPRISE, AZ 85379  
 SQUARE FOOTAGE OF PROPERTY: 31,465.6 S.F. (0.72 ACRES) GROSS/NET  
 BUILDING SQUARE FOOTAGE: ±2,500 S.F.  
 IBC OCCUPANCY: A-2  
 TYPE OF CONSTRUCTION: V-B  
 BUILDING HEIGHT: 24'-0" MAX  
 ASSESSOR'S PARCEL NO.# A PORTION OF 509-14-624A  
 EXISTING ZONING: PAD COMMERCIAL MARLEY PARK

LANDSCAPE SQ. FT. % OF LIMIT OF WORK: 4261.86 S.F. (13.54%)  
 BUILDING AND PARKING % OF PARCEL: 4,742.84 S.F. (15.07%)  
 CITY OF SURPRISE CASE# SP08-040

# PARKING REQUIREMENTS

THE PARKING REQUIREMENTS FOR THIS PARCEL ARE AS FOLLOWS:  
 1 SPACE/50 S.F. DINING AREA (1221/50) = 24 SPACES  
 PARKING SPACES REQUIRED = 24 SPACES  
 PARKING SPACES PROVIDED = 28 SPACES

# PREPARED BY



**LYONS WARREN**  
 engineers + architects  
 9455 Ridgehaven Court  
 Suite 200  
 San Diego, CA 92123-1649  
 858.573.8999  
 858.573.8998 fax

ATTN: STEVE SCHNEIDER

# UTILITY PROVIDERS

**SEWER & WATER**  
 CITY OF SURPRISE  
 PH. 623-594-5850  
 JOE GARZA

**ELECTRICITY**  
 APS  
 PH. 623-975-5760  
 JOHN CROTEAU

**GAS**  
 SOUTHWEST GAS CO.  
 PH. 602-525-6824  
 JIM CUNDAY

**TELEPHONE**  
 QWEST  
 PH. 602-630-3462  
 MANUEL HERNANDEZ

# LEGEND

- INDICATES LANDSCAPE AREAS
- INDICATES CONCRETE AREAS

# OWNER CONTACT INFORMATION

DONAHUE SCHRIBER REALTY GROUP, L.P.  
 200 e. BAKER ST., SUITE 100  
 COSTA MESA, CA 92626

# DEVELOPER CONTACT INFORMATION

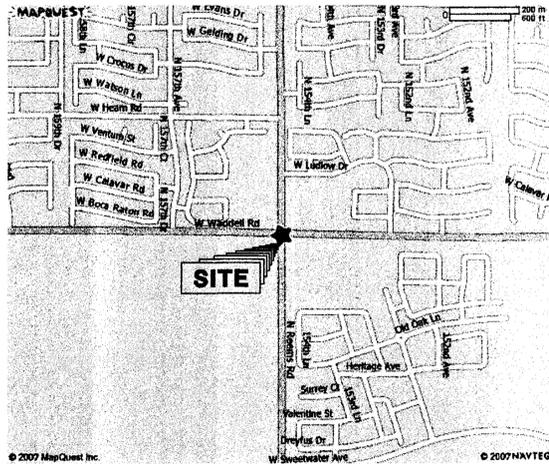
JACK IN THE BOX, INC.  
 4129 W. VAN BUREN ST. SUITE B200  
 PHOENIX, AZ. 85008

# LEGAL DESCRIPTION

LOT "B" OF COMMERCIAL SUBDIVISION FOR MARLEY PARK PLAZA, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED AS BOOK 956 OF MAPS, PAGE 48.

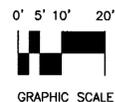
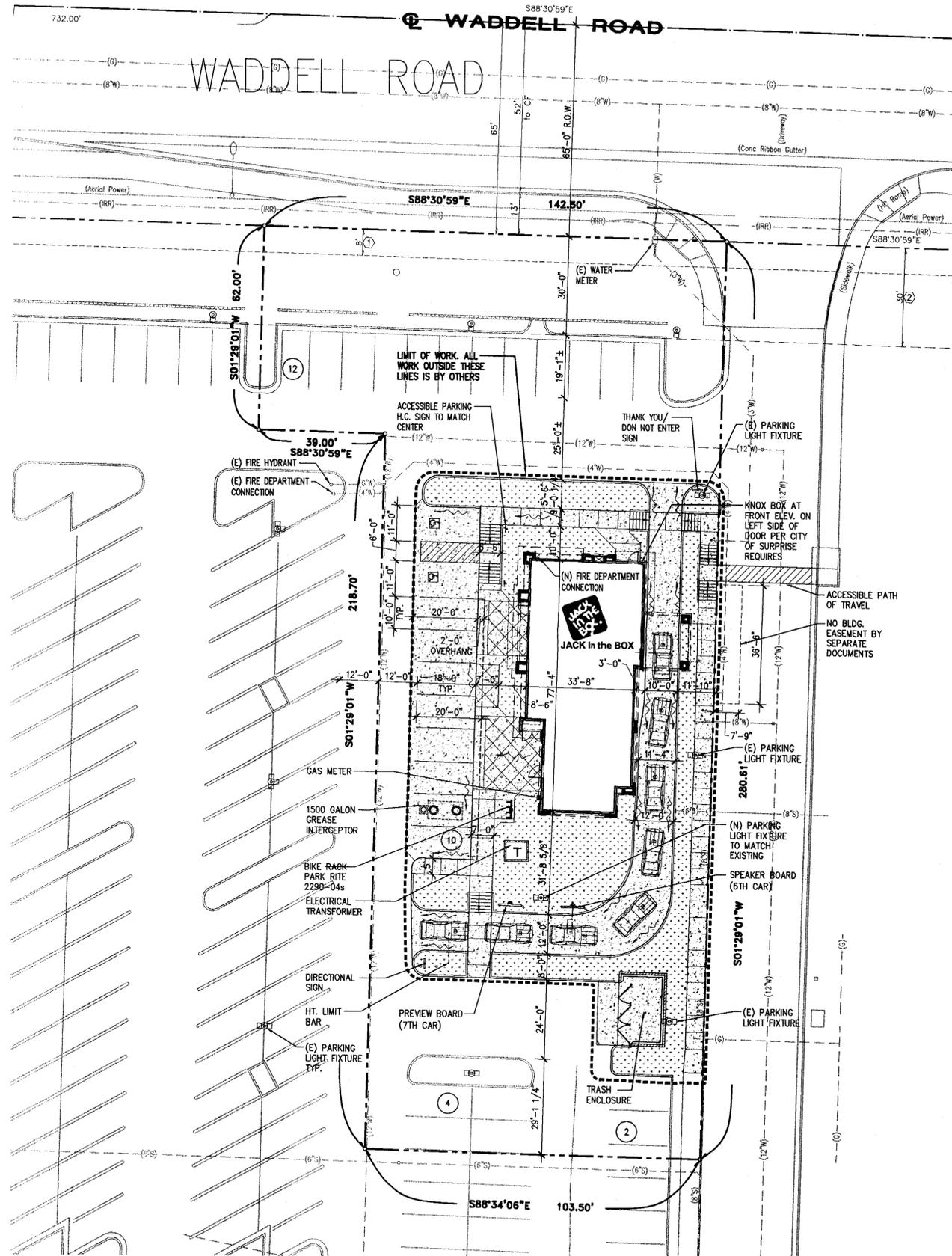
# CITY OF SURPRISE

CITY OF SURPRISE - SEE CURRENT CODES AND AMENDMENTS BELOW.  
 INTERNATIONAL BUILDING CODE 2006  
 INTERNATIONAL FIRE CODE 2006  
 INTERNATIONAL RESIDENTIAL CODE 2006  
 INTERNATIONAL MECHANICAL CODE 2006  
 INTERNATIONAL PLUMBING CODE 2006  
 INTERNATIONAL ENERGY CONSERVATION CODE 2006  
 INTERNATIONAL FUEL GAS CODE 2006  
 INTERNATIONAL ELECTRICAL CODE 2006  
 NATIONAL ELECTRICAL CODE 2005  
 ORDINANCE #07-08 + LOCAL AMENDMENTS

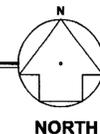


VICINITY MAP

"ALL PROPOSED DEVELOPMENT PHASES DEPICTED ON THIS PLAN SHALL BE PROVIDED A MINIMUM OF TWO (2) SEPARATE POINTS OF UNOBSTRUCTED ACCESS WITH A MINIMUM WIDTH OF TWENTY FEET, INSTALLED AND MAINTAINED PURSUANT TO THE REQUIREMENTS OF THE CITY OF SURPRISE"



**PLOT PLAN**  
 SCALE: 1" = 20'



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 COMMUNITY DEVELOPMENT



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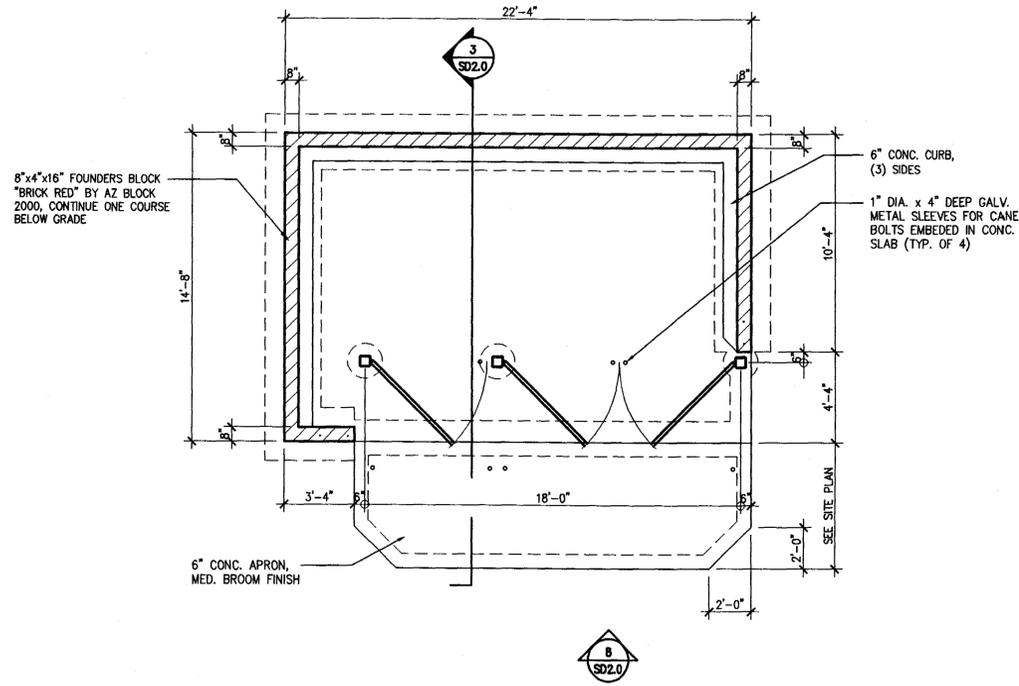
**revisions**  
 △ 11/12/07 Preparation Date  
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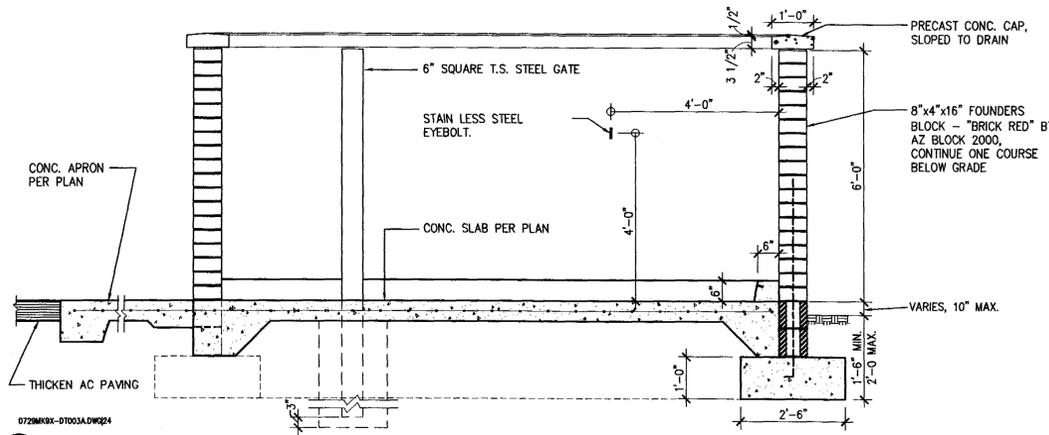
**LYONS WARREN**  
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 Suite 200  
 San Diego, CA 92123-1649  
 858.573.8999  
 858.573.8998 fax  
 www.lyonswarren.com

**site information**  
 MK TYPE: MK9A\_SM  
 JOB #: 1579  
 ADDRESS:  
 WADDELL RD & REEMS RD  
 SURPRISE, AZ 85379  
 DRAWN BY: LW # JB0729  
 SCALE: AS NOTED

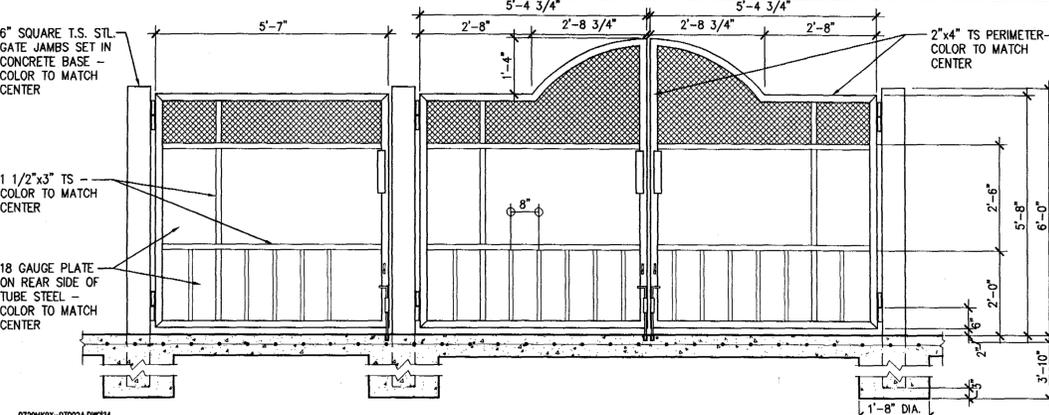
**PLOT PLAN**  
**SD1.0**



0720MK9X-07001A.DWG24  
**6 TRASH ENCLOSURE PLAN**  
 1/4" = 1'-0"



0720MK9X-07003A.DWG24  
**3 TRASH ENCLOSURE SECTION**  
 1/2" = 1'-0"



0720MK9X-07002A.DWG24  
**8 TRASH ENCLOSURE ELEVATION**  
 1/2" = 1'-0"



**14 ACCESSIBLE PARKING H.C. SIGN** N.T.S.



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**site information**  
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 JIB #: 1579  
 ADDRESS:  
 WADDELL RD & REEMS RD  
 SURPRISE, AZ 85379  
 DRAWN BY: LW # JIB0729  
 SCALE: AS NOTED

**SITE DETAILS**  
**SD2.0**

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 CIVIL ENGINEERING  
 DEVELOPMENT

**CITY OF SURPRISE  
COMMUNITY DEVELOPMENT DEPARTMENT**

**SP08-062**

**SITE PLAN**

for:

**CRESCENT CROWN DISTRIBUTING**

**PLANNING AND ZONING COMMISSION**

Hearing Date: **May 20, 2008**

**STAFF:**

Hobart Wingard, 623.222.3156

**LOCATION:**

On the NWC of Sweetwater Avenue and Dysart Road.

**DESCRIPTION OF  
THE REQUEST:**

Approval of a Site Plan.

**SUMMARY ANALYSIS:**

The applicant is requesting a site plan approval for a commercial development.

**SUGGESTED MOTION:**

**I move to approve SP08-062, a Site Plan for Crescent Crown Distributing and to adopt staff's findings and stipulations 'a' through 'c.'**

City of Surprise  
Planning and Zoning Division

## EXECUTIVE SUMMARY

SP08-062  
Crescent Crown Distributing

<b>APPLICANT:</b>	Sam Stahnke Arco National Construction Company 1750 South Brentwood St. Louis, MO 63144 Phone: 314.963.0715 Fax: 314.963.7114 <a href="mailto:ssahnke@arco1.com">ssahnke@arco1.com</a>
<b>OWNER:</b>	Rich Marchant Crescent Crown Distributing, LLC 402 South 54 <sup>th</sup> Place Phoenix, AZ 85034 Phone: 602.346.5547 Fax: 602.346.5600 <a href="mailto:rmarchant@ccdaz.com">rmarchant@ccdaz.com</a>
<b>HEARING DATE:</b>	May 20, 2008
<b>STAFF:</b>	Hobart Wingard
<b>LOCATION:</b>	Generally on the NWC of Sweetwater Avenue and Dysart Road.
<b>DESCRIPTION of the REQUEST:</b>	Approval of a Site Plan
<b>STAFF RECOMMENDATION:</b>	Approval
<b>SUMMARY ANALYSIS:</b>	The applicant is requesting a Site Plan approval for Crescent Crown, an industrial rail served distribution facility on approximately 35 acres. The property is zoned PAD (Planned Area Development).

**HISTORY**

1. On September 29, 2005, the City of Surprise approved an Annexation of the Bendalin Farms project, case ANX04-416.
2. On February 23, 2006, the City of Surprise approved a Planned Area Development for Bendalin Farms Industrial Commerce Park, AKA Surprise Pointe, case PAD05-282.
3. On November 7, 2006, the City of Surprise approved a Master Site Plan for Surprise Pointe, case SP06-299.
4. On May 12, 2007, the City of Surprise approved a Preliminary Plat for Surprise Pointe, case PP06-327.
5. On June 28, 2007, the City of Surprise approved a Final Plat for Surprise Pointe, case FP07-062.
6. On March 11, 2008, Arco National Construction Company applied for a site plan for Crescent Crown Distributing, case SP08-062.
7. On April 24, 2008, the City of Surprise approved a Final Plat Amendment for Surprise Pointe, case FPA07-429.

**STAFF ANALYSIS**

The Crescent Crown Distribution project is located on approximately 35 acres west of the intersection of Dysart Road and Sweetwater Avenue. The distribution center is located within the Surprise Pointe Planned Area Development (PAD).

Primarily, the site will include the construction of a 253,384-square-foot, temperature-controlled, beverage distribution facility with associated office space. Parking will be provided for 347 automobile spaces and 72 larger truck spaces.

The site is rail served by Burlington Northern Santa Fe Railroad's Ennis Spur on the western edge of the project site.

**Circulation:**

Access to the site is provided from Sweetwater Avenue to the south. The applicant will extend Sweetwater Avenue as a private drive along the southern frontage of the property line for additional access. An additional private drive will travel along the eastern boundary. Both access points will provide access to future development occurring to the south and east. Pedestrian access will be provided to the site and from all parking areas.

Truck traffic will be able to access Dysart Road, a City of Surprise designated truck route, from Sweetwater Avenue.

**Landscaping:**

The landscaping for the Crescent Crown site will utilize drought resistant plant material and provide adequate buffering for surrounding uses. An ornamental iron fence will border the site on the southern and eastern edges while a chain link fence continues around the northern and western sides. Trees that will provide shade will be located along all walkways to enhance the pedestrian experience. The irrigation system is designed to incorporate the city's effluent water system.

**Architecture:**

The design of the Crescent Crown Distribution Warehouse meets the basic requirements set forth in the design guidelines. Although the building is located along the Ennis Spur and Sweetwater Avenue, a contemporary design approach was used to blend the warehousing and office uses.

Building materials for the warehousing portion of the building is comprised of insulated metal wall panels with overhead doors modularly placed along the rail and the south elevation. Due to the buildings use, lighter building colors were chosen to minimize energy use. Roofing consists of parapet roofs with reflective roof panels. The reflective material is similar to the metal insulated panels in that it helps to reduce energy use as well. In contrast, the materials for the office portion of the building utilizes an exterior finish system that resembles stucco. Stone veneer is used on the tower entrance, which provides an attractive focal point for those entering the site.

**Departmental Review:** All departments are recommending approval of the site subject to all stipulations and findings.

**Traffic Division:** Traffic had no concerns regarding this project.

**Fire Department:** Fire had concerns regarding fire hydrant locations, spacing, and FDC locations. Applicant revised plan to address all comments.

**Planning Division:** Planning had concerns with architecture, landscape, pedestrian circulation, parking and overall design. The applicant worked with staff and revised the site plan to address all issues.

**Building Safety Division:** Building safety had concerns with building area designations. The applicant worked closely with staff and resolved all issues.

**Water Services Department:** Water services had concerns regarding technical issues such as easements and reclaimed water. The applicant worked closely with staff and resolved all issues.

**Engineering Department:** The engineering department had concerns regarding existing conditions at the site and small technical items in the drainage report. The applicant was able to address all comments.

**FINDINGS**

Staff finds that the proposed use of the property for a commercial development is in general conformance with the City of Surprise Municipal Code Section 125-33(a), as well as the Surprise General Plan 2020. If approved, the project will:

1. not adversely affect the public health, safety, or welfare;
2. protect public investments in roads, drainage and sewage facilities;
3. conserve the value of buildings; and
4. ensure that the regulations of the city are upheld.

**STIPULATIONS**

**REQUIRED ACTIONS:** The applicant and/or owner shall comply with the following list of stipulations for Case SP08-062, Crescent Crown Distribution.

- a) All parcel numbers shall be active prior to submittal of any building permit and shall stay active throughout the construction process until a Letter of Compliance and/or Certificate of Occupancy is issued. Any subdivision or lot split shall be reviewed and approved by the City of Surprise prior to recordation with Maricopa County.
- b) The applicant shall include all approved stipulations related to the project on the title sheet of construction plans prior to plan check submittal.
- c) All mechanical equipment, transformers, and gas lines shall be completely screened from public view prior to letter of compliance and/or Certificate of occupancy. Any changes to the landscape plan shall be submitted to the Community Development Department for review and approval.





---

## Crescent Crown Distributing Surprise, AZ

### Project Narrative

ARCO Job No. N-371

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#### I. Project Location

The Crescent Crown Distributing site is located on approximately 35 acres at the northwest corner of Sweetwater Avenue and Dysart Road in Surprise, AZ. The project is located within the Surprise Pointe master planned development. The Surprise Point development is a ½ square mile mixed-use master planned development located at the southwest corner of Waddell Road and Dysart Road in Surprise, AZ. Crescent Crown Distributing will have be extending Sweetwater Ave. as a private drive along the south frontage of the property for access to the facility. An additional private drive will border the eastern property line for truck access.

The Burlington Northern Santa Fe Railroad's Ennis Spur services the project site on its western boundary.

#### II. Historical Data

A. The site, a portion of the Surprise Pointe master planned development, has formally been used as agricultural land. Irrigation trenches run north/south and east/west through the Crescent Crown Distributing site. Historically, no structures were located on the project site, only agricultural crops.

#### III. Summary of Work

The work shall include the design and construction of a 253,384 SF office/beer distribution facility with an additional 17,050 SF Rail Dock Canopy and 7,490 SF Loading Dock Canopy for Crescent Crown Distributing, LLC. The project specifically includes the following:

A. The project includes the construction of:

Battery Charging	2,584 SF
Draught Cooler	15,692 SF
Controlled Temperature Warehouse (CTW)	192,717 SF
POS	12,908 SF
Repack Room	2,400 SF
First Floor Office	13,639 SF
Second Floor Future Office	13,471 SF
Dock Office	410 SF
<i>Total Building Area</i>	<u>253,821 SF</u>

Rail Dock Canopy	19,750 SF
Loading Dock Canopy	<u>6,075 SF</u>
<i>Total Area</i>	<i>279,646SF</i>

- B. Minimum Clear Heights:
  - Draught Cooler 18 Feet
  - Receiving Docks 30 Feet
  - CTW 30 Feet
  - First and Second Floor Offices 9 Feet
- C. The structural system shall consist of steel columns supporting joist girders and joists which will in turn provide bearing for the metal roof deck.
- D. The columns will be supported by reinforced concrete spread footings.
- E. The roof system shall consist of a 60 mil white mechanically fastened TPO roof system over R-19 insulation.
- F. The warehouse area concrete floors shall be 6" Kalman SC® Monorock®, 4,000-PSI reinforced concrete with a vapor barrier on compacted stone base. The rail dock concrete floors shall be 6", 4,000 PSI reinforced concrete on compacted stone base. The office area slab on grade shall be 5" reinforced concrete with a vapor barrier over compacted stone base. The mezzanine slab shall be 4" reinforced concrete.
- G. A complete hydraulically calculated ESFR sprinkler system shall be provided throughout the warehouse.
- H. The warehouse area will be illuminated by T-5 HO fluorescent light fixtures to an average lighting level of 25 foot candles at three feet (3') above finished floor.
- I. The parking lot and truck docks will be illuminated to an average of 2 FC.
- J. Landscaping and irrigation shall be provided to match (as closely as possible) the Surprise Pointe design criteria and meet the City of Surprise guidelines.

IV. Applicable Codes

- A. The work shall be completed in accordance with the working drawings, and all applicable 2006 local codes (except 2005 NEC).
- B. All work shall be completed in accordance with the requirements of the State of Arizona and the City of Surprise.

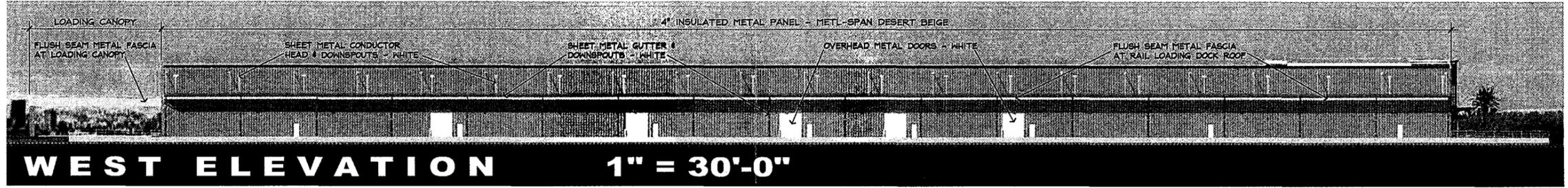
V. Infrastructure

Off site infrastructure has been completed by the developers of Surprise Pointe. All other building infrastructure shall be on the Crescent Crown Distributing project site.

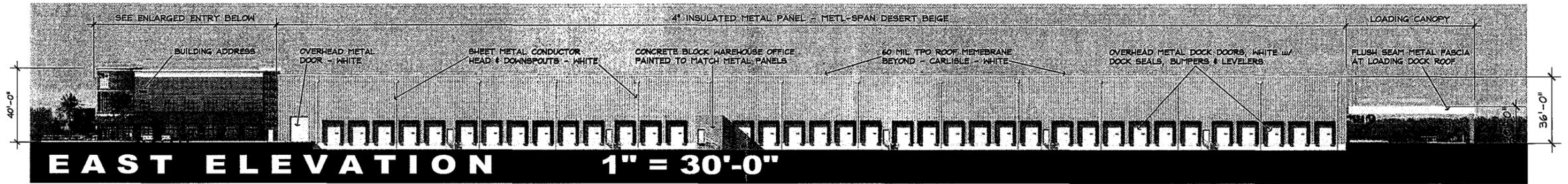
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VI. Phasing

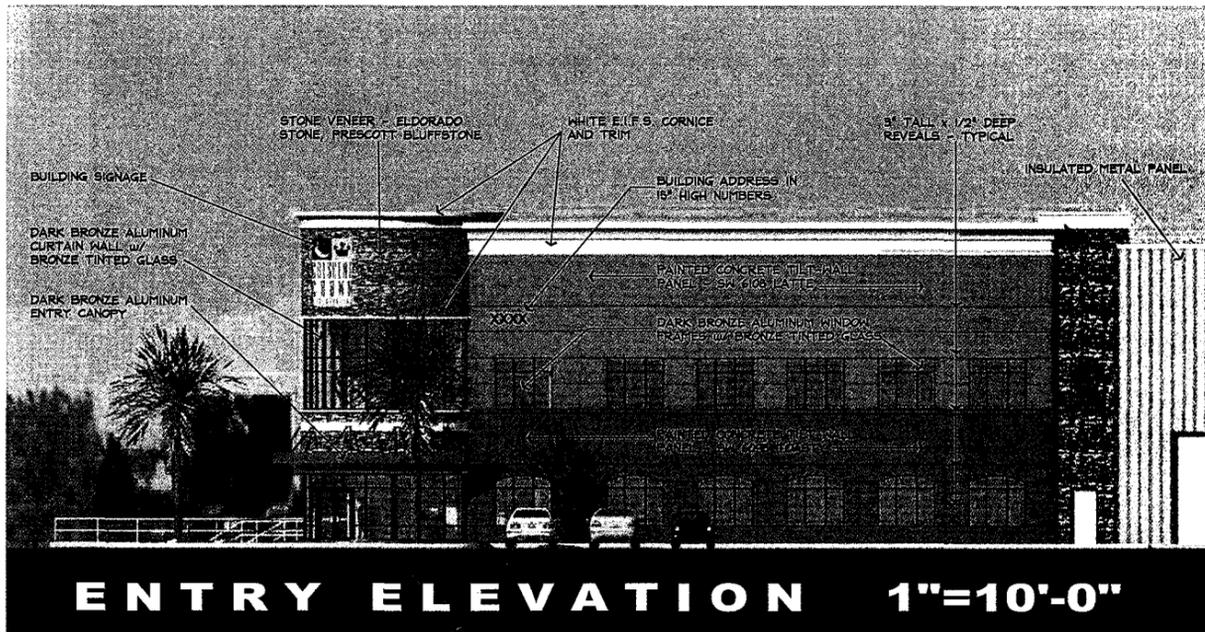
- A. The Crescent Crown Distributing project will be completed in one single phase. This project is for a single end user, Crescent Crown Distributing, LLC., and will not involve any suite layouts or multiple tenant uses.



**WEST ELEVATION** 1" = 30'-0"



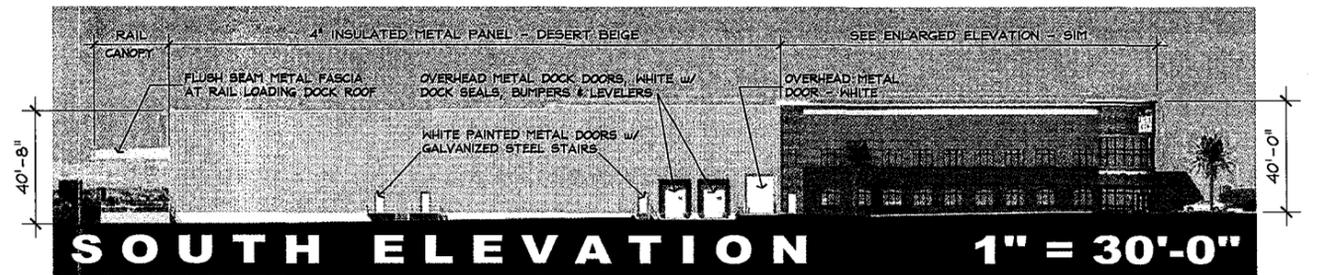
**EAST ELEVATION** 1" = 30'-0"



**ENTRY ELEVATION** 1"=10'-0"



**NORTH ELEVATION** 1" = 30'-0"



**SOUTH ELEVATION** 1" = 30'-0"

**CONSULTING ENGINEERS**

**ELECTRICAL:**  
 WING ELECTRIC  
 1717 W. CENTRAL AVENUE  
 PHOENIX, AZ 85004  
 P: (602) 775-4996  
 F: (602) 775-4996

**PLUMBING:**  
 WING ELECTRIC  
 1717 W. CENTRAL AVENUE  
 PHOENIX, AZ 85004  
 P: (602) 775-4996  
 F: (602) 775-4996

**FIRE PROTECTION:**  
 WING ELECTRIC  
 1717 W. CENTRAL AVENUE  
 PHOENIX, AZ 85004  
 P: (602) 775-4996  
 F: (602) 775-4996

**CONTRACTOR:**  
**ARCO National Construction Co., Inc.**  
 1000 W. CENTRAL AVENUE, SUITE 200  
 ST. LOUIS, MISSOURI 63104  
 (314) 448-0715

**ARCHITECT:** GMA DESIGN GROUP INC.  
 ARCHITECTURAL DESIGN SERVICES  
 A DIVISION OF ARCO NATIONAL CONSTRUCTION  
 1000 W. CENTRAL AVENUE, SUITE 200  
 ST. LOUIS, MISSOURI 63104  
 (314) 448-0715

**NEW DISTRIBUTION FACILITY FOR:**  
**CRESCENT CROWN**  
**DISTRIBUTING**  
 DYSART ROAD & SWEETWATER AVE  
 SURPRISE, ARIZONA

I CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE DRAWINGS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES.

**JOB NO:** SJ-0801  
**DRAWN BY:** FCW  
**ISSUE DATE:** 4-3-08

REVISIONS	DATE
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3	
4	
5	

**SHEET NUMBER**  
**ELEV**

**CITY OF SURPRISE PLANTING DATA**

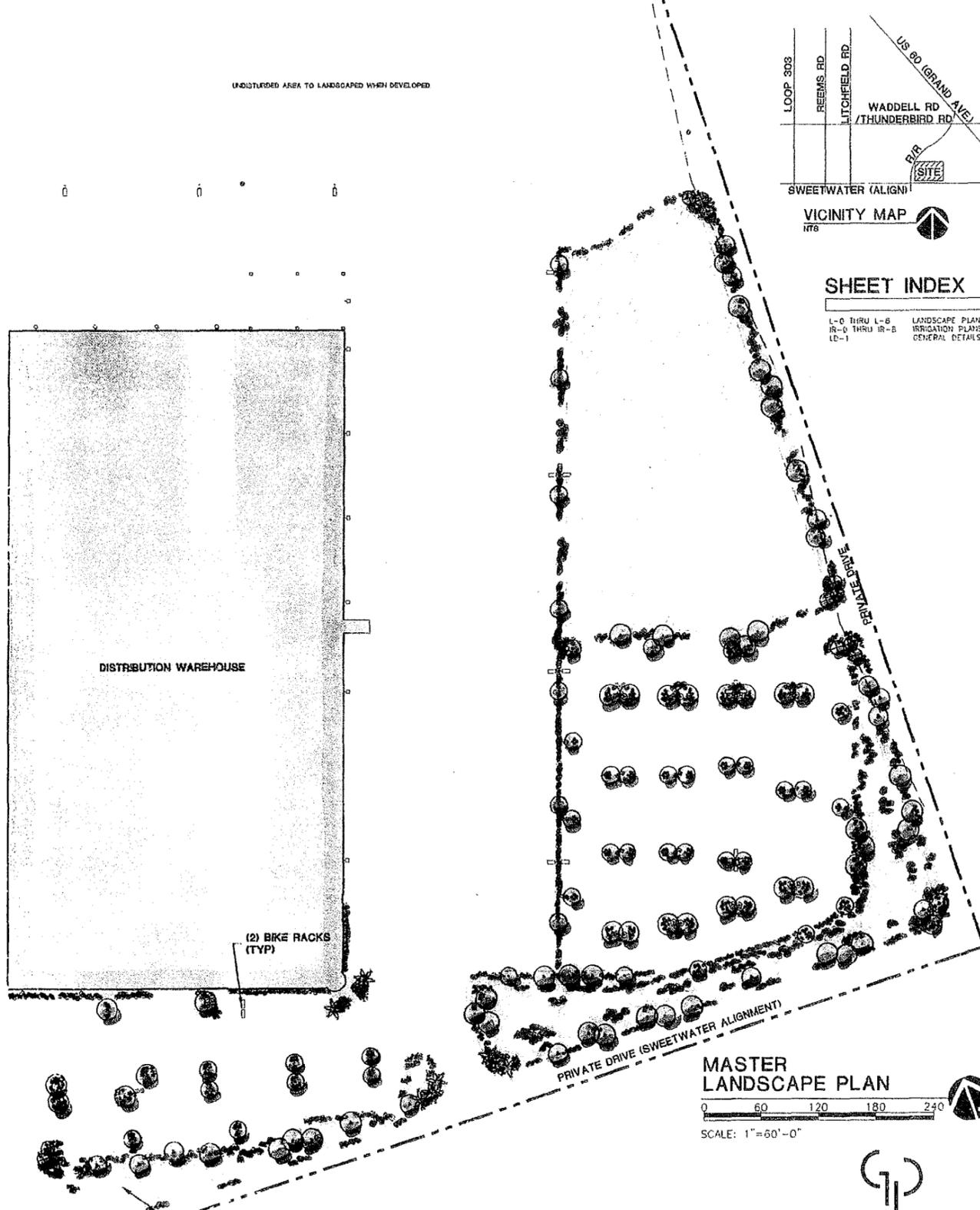
LANDSCAPE AREAS COMMERCIAL ONLY	REQUIRED	PROVIDED
A. ON-SITE LANDSCAPE AREA		
COMMERCIAL 15% OF NET SITE AREA		
INDUSTRIAL 15% OF NET SITE AREA (NET SITE AREA= 25.1 ACRES)	54,675 SQ. FT.	189,633 SQ. FT.
B. RESIDENTIAL BUFFER LANDSCAPE AREA 10' FT. FROM ALL RESIDENTIAL BOUNDARIES	N/A	N/A
C. PARKING LANDSCAPE AREA MINIMUM 5%	5%	10%
D. PARKING ISLANDS 1 PER 10 CONSECUTIVE PARKING SPACES MINIMUM 5 FT. WIDE MINIMUM 50 SQ. FT.	1,750 SQ. FT.	8,600 SQ. FT.
E. FOUNDATION PLANTING 33% OF BUILDING FOOTAGE FOR BUILDINGS FRONTING ON PUBLIC STREETS	N/A	N/A
LANDSCAPE PLANTINGS	REQUIRED	PROVIDED
F. TREES 1 PER 20 FT. OF STREET FRONTAGE (PRIVATE DRIVE)	N/A	N/A
G. SHRUBS 2 PER 20 FT. OF STREET FRONTAGE (PRIVATE DRIVE)	N/A	N/A
H. SHRUB A-D GROUND COVER AREA 15%	38,051 SQ. FT.	51,415 SQ. FT.
PARKING SPACE PLANTING		
I. TREES 1 PER 8 PARKING SPACES	43 TREES	49 TREES
LANDSCAPE TREES	REQUIRED	PROVIDED
1" DX = 24" BOX	64 TREES	52 TREES
2" DX = 36" BOX	32 TREES	22 TREES
2 1/2" DX = 48" BOX	32 TREES	34 TREES
SHRUBS 10N 5 GALLON		

**PLANT SCHEDULE**

SYMBOL	SCIENTIFIC/COMMON NAME	SIZE/CLIP	QTY
<b>TREES</b>			
1	ACACIA SALICINA MEXICANA	150" CAL / 24" BOX	12
2	ACACIA SALICINA WILLOWALF MEXICANA	210" CAL / 36" BOX	42
3	CYRILLIA PALMCOY FLD BRFA	150" CAL / 24" BOX	17
4	PROSEKUS DISCHLIFERA DATE PALM	25" CLEAR TRUNK	8
5	FRIGIDUS CALIFENSIS THORNLESS	150" CAL / 24" BOX	23
6	MOONLESS CHILEAN MESQUITE		
7	QUERCUS VIRGINIANA SCOURGEON LIVE OAK	350" CAL / 48" BOX	34
<b>SHRUBS</b>			
8	CAESALPINA MEXICANA MEXICAN BIRD OF PARADISE	6-6/ 5 GAL	161
9	CALLIMERA CALIFORNICA RED FAIRY LUSTER	5-5/ 5 GAL	148
10	BLELLIA PONTICULANS BAJA REGULIA	4-4/ 5 GAL	207
11	TECOMA SP. 'PARADISE JUBILEE'	6-6/ 5 GAL	45
<b>SCENTED</b>			
12	AGAVE DESMETRIANA 'MARGATEE'	3-3/ 5 GAL	36
13	SMOOTH AGAVE	3-3/ 5 GAL	31
14	ASPLETHUS SUBULFIA DESERT WILLOW	3-3/ 5 GAL	69
15	HESPERALOE PARVIFLORA RED YUCCA	3-3/ 5 GAL	2
16	LOPHOCEREUS SCHOTTII VAR. MONSTROSIUS TOTIP. POLE CALIUS MONSTROSIUS	4-4/ 5 GAL	77
17	MULLEBERGIA CAPILLARIS 'REGAL MIST' REGAL MIST BEER GRASS		
<b>GROUND COVER</b>			
18	CONVOLVULUS CHEIRAN BUSH MORNING GLORY	5-2/ 1 GAL	128
19	LANTANA SP. 'NEW GOLD' LANTANA	5-1/ 1 GAL	373
20	LANTANA MONTEVIDENSIS PURPLE TRAILING LANTANA	5-1/ 1 GAL	363
<b>MATERIAL</b>			
21	DECOMPOSED GRANITE 'EXPRESS GOLD' BY GRANITE EXPRESS	3/4" MINUS	
22	DECOMPOSED GRANITE 'EXPRESS GOLD' BY GRANITE EXPRESS	1/4" MINUS	
23	WEATHERED GRANITE BOULDER SURFACE SELECT	1/2" - 2" THK	18

**CITY OF SURPRISE NOTES**

- TREE CUTTERS SHALL COMPLY WITH ARIZONA NURSERY ASSOCIATION SPECIFICATIONS FOR THAT TREE TYPE AND SIZE OF TREE.
- LANDSCAPE TO BE MAINTAINED IN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.
- 3/4" DECOMPOSED GRANITE TO BE USED FOR ALL HIGH-TURN LANDSCAPE AREAS.
- A MIXTURE OF 24", 36" AND 48" BOX TREES AS WELL AS 1, 5 AND 15 GALLON SHRUBS TO BE USED IN LANDSCAPE DESIGN OF DEVELOPMENT.
- EDGE TREES TO BE 24" BOX FOR INTERNAL PORTION OF DEVELOPMENT.
- NO THORN BEARING TREES TO BE USED ADJACENT TO PEDESTRIAN USE AREAS.
- 34% PLANT SPECIES ON PLANT SCHEDULE FROM AGRICULTURE LOW WATER USE LIST.
- ALL CHANGES TO BE APPROVED BY THE CITY OF SURPRISE COMMUNITY DEVELOPMENT DEPT.
- ALL TREES REQUIRE A SEPARATE PERMIT.
- ALL UTILITY BOXES AND STRUCTURES ARE TO BE SCREENED FROM VIEW.
- PLANT MATERIAL IS NOT TO BE LOCATED WITHIN 3 FEET OF ANY FIRE HYDRANT OR FIRE DEPARTMENT CONNECTION.
- TREES IN PAVED AREAS ARE TO HAVE DEEP ROOT BARRIERS.
- ALL PLANTING MATERIALS ARE TO BE CONSISTENT WITH ANA STANDARDS.
- ALL PLANTING MATERIALS LOCATED WITHIN VISION TRIANGLES ARE TO BE MAINTAINED NO LOWER THAN 2 FEET HIGH AND HANG NO LOWER THAN 7 FEET FROM GROUND ELEVATION.



**MASTER LANDSCAPE PLAN**  
 SCALE: 1"=60'-0"

CALL OUR WORKING DAYS BEFORE YOU DIG  
**602-263-1100**  
**1-800-STAKE-IT**  
 (OUTSIDE MARICOPA COUNTY)

**GILMORE PARSONS**  
 LAND DESIGN GROUP  
 2211 N. 7th Street, Phoenix, AZ 85006  
 T 602.266.5622 F 602.266.5707  
 www.getgilmore.com

**CONSULTING ENGINEERS:**  
 ELECTRICAL: [blank]  
 MECHANICAL: [blank]  
 PLUMBING: [blank]  
 CIVIL: [blank]  
 GEOTECHNICAL: [blank]  
 ENVIRONMENTAL: [blank]  
 ARCHITECTURAL: [blank]  
 LANDSCAPE ARCHITECTURE: [blank]

**CONTRACTOR:**  
 ARCO National Construction Co., Inc.  
 2200 N. 7th Street, Suite 200  
 Phoenix, AZ 85006  
 PH: 602-266-6022

**LANDSCAPE ARCHITECT:**  
 GILMORE PARSONS LAND DESIGN GROUP  
 2211 N. 7th Street, Phoenix, AZ 85006  
 PH: 602-266-6022

**REGISTERED LANDSCAPE ARCHITECT:**  
 3418B  
 STEPHEN C. [blank]  
 PHOENIX, AZ

**NEW DISTRIBUTION FACILITY FOR:**  
**CRESCENT CROWN DISTRIBUTING**  
 2211 N. 7th Street & Sweetwater Ave  
 Surprise, Arizona

**JOB NO:** DE022  
**DRAWN BY:** T.E.  
**ISSUE DATE:** 03/05/08

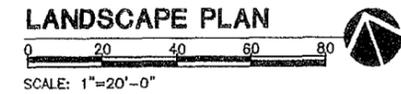
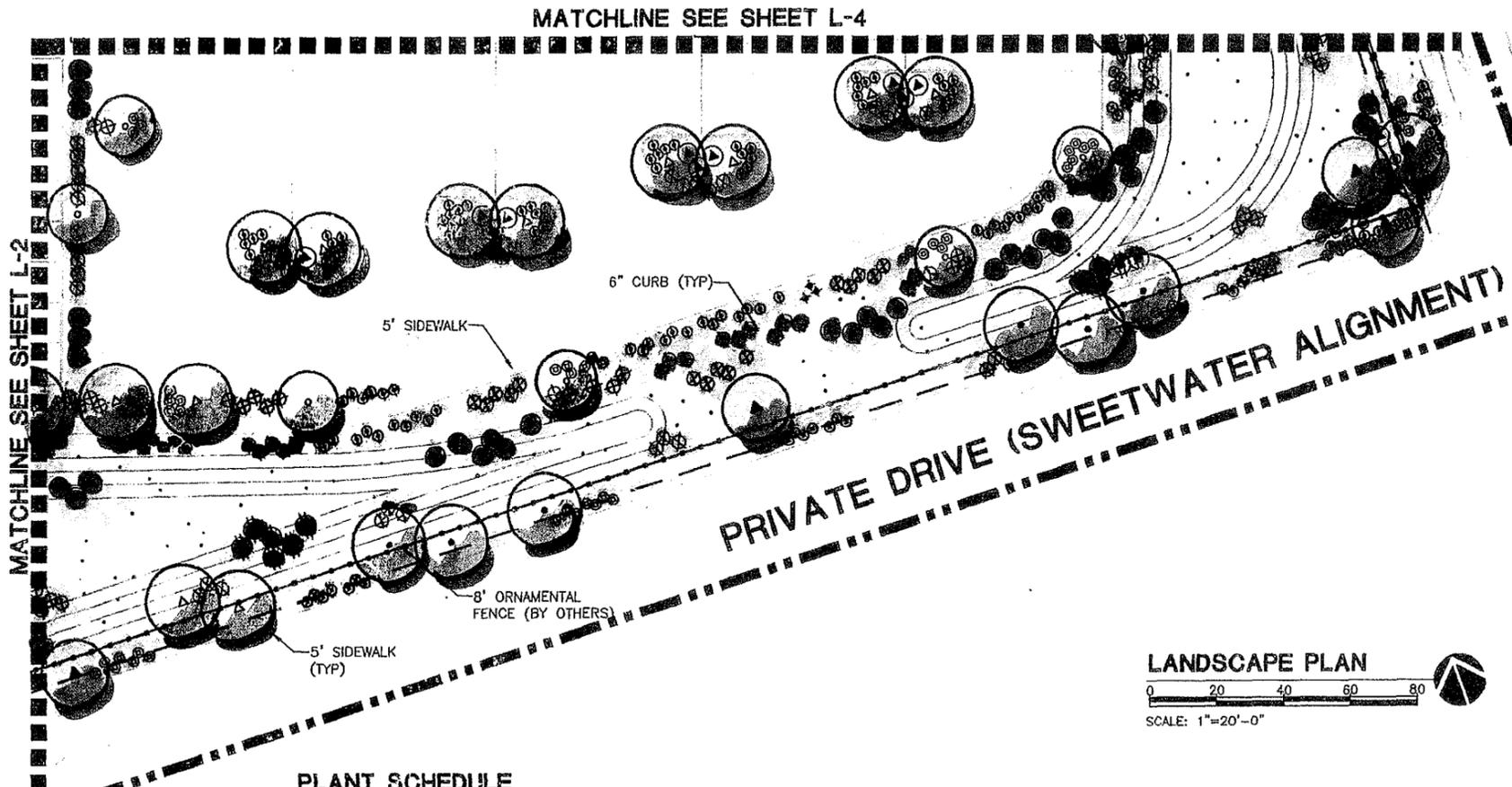
**REVISIONS**

**SHEET NUMBER**  
**L-0**

CASE # SP08-062

# LANDSCAPE NOTES

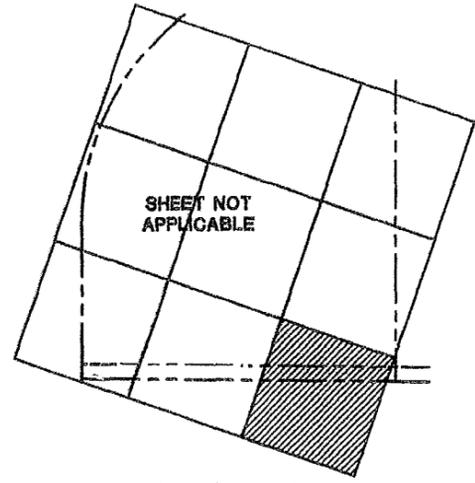
- CONTRACTOR TO OBTAIN PERMITS FROM LOCAL AGENCIES AND UTILITY COMPANIES HAVING JURISDICTION OVER THIS SITE.
- CONTRACTOR TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO ANY INSTALLATION.
- CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO INSTALL THE WORK SHOWN ON THE LANDSCAPE DOCUMENTS. HE SHALL BE RESPONSIBLE FOR CAREFUL SITE INSPECTION, DETAILED REVIEW OF THE PLANS, AND COORDINATION WITH OTHER CONTRACTORS ON-SITE PRIOR TO ANY INSTALLATION. ANY DISCREPANCIES SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER'S AGENT.
- PRIOR TO INITIATING THESE LANDSCAPE IMPROVEMENTS, THE LANDSCAPE CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION MEETING ON-SITE WITH THE APPROVAL OF THE OWNER AND THE GENERAL CONTRACTOR. THE OWNER'S REPRESENTATIVE AND/OR THE PROJECT LANDSCAPE ARCHITECT MUST BE PRESENT. THE PURPOSE OF THIS MEETING IS TO RESOLVE ANY EXISTING SITE CONDITIONS THAT MAY BE IN CONFLICT WITH THESE LANDSCAPE CONSTRUCTION REQUIREMENTS AND THEREFORE IMPACT THE INSTALLATION OF ANY OF THESE PROPOSED IMPROVEMENTS. THIS MEETING SHOULD BE SCHEDULED TO OCCUR AFTER THE COMPLETION OF ON-SITE AND OFF-SITE IMPROVEMENTS INCLUDING: ALL UNDERGROUND UTILITIES, MASS GRADING, AND STREET IMPROVEMENTS.
- DAMAGE TO EXISTING LANDSCAPING, UNDERGROUND UTILITIES, IRRIGATION LINES, ELECTRICAL LINES, ETC. SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.
- ANY DISCREPANCIES FOUND BETWEEN THE PLANS AND THE SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- ALL QUANTITIES PROVIDED ARE FOR BIDDING PURPOSES ONLY. LANDSCAPE CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FINISH GRADES IN LANDSCAPED AREAS. HE SHALL DETERMINE, WITH THE GENERAL CONTRACTOR, THE EXTENT OF ROUGH GRADING AND/OR FINE GRADING TO BE ESTABLISHED BY OTHERS.
- ALL GRADING AND DRAINAGE SHALL BE IN ACCORDANCE WITH THE PLANS PREPARED BY THE PROJECT CIVIL ENGINEER, OR AS DIRECTED BY THE OWNER'S AGENT. PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING(S) IN ALL CONDITIONS. CONTRACTOR TO MEET ALL EXISTING GRADES AT PROJECT BOUNDARIES. FINISH GRADE SHALL BE 3" BELOW THE TOP OF ADJACENT BALKS TO PREVENT WATER TO RECEIVING NEIGHBORING DRIVE.
- ALL AREAS DISTURBED DURING CONSTRUCTION TO BE FINE GRADED. ADJACENT UNDISTURBED AREAS DAMAGED OR DISTURBED TO BE RESTORED TO ITS ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL FINE GRADE ENTIRE LANDSCAPED AREA AS REQUIRED FOR INSTALLATION OF PLANTING. ALL GRADES SHALL BE NEAT, RAVED SMOOTH AND BE FREE OF DEBRIS PRIOR TO SUBSTANTIAL COMPLETION.
- PRIOR TO SPREADING MATERIAL GROUNDCOVERS, ADJUST AND COMPACT FINISH GRADES, APPLY WEED PRE-EMERGENT SURFLAN AS PER MANUFACTURER'S INSTRUCTIONS. THEN SPREAD DECOMPOSED GRANITE, RIVER RUN, OR MULCH AS INDICATED ON PLANS. DECOMPOSED GRANITE SHALL BE WATERED, THEN COMPACTED WITH A SOIL ROLLER TO A MINIMUM DEPTH OF 2" AFTER COMPACTION. PROVIDE A SECOND APPLICATION OF THE PRE-EMERGENT SURFLAN AT THE END OF THE MAINTENANCE PERIOD.
- ALL LANDSCAPED AREAS SHALL RECEIVE A 2" TOP DRESSING OF DECOMPOSED GRANITE AS SPECIFIED IN THE LANDSCAPE PLANT SCHEDULE. PROVIDE SAMPLE OF SIZE AND COLOR FOR APPROVAL BY OWNER'S AGENT PRIOR TO DELIVERY.
- STAKE LOCATIONS OF ALL TREES FOR APPROVAL PRIOR TO INSTALLATION OF ANY PLANT MATERIAL.
- ALL PLANT MATERIAL SHALL BE HEALTHY, WOODRUS, WELL BRANCHED AND DENSELY FOLIATED (WHEN IN-LEAF) AS IS TYPICAL FOR THE SPECIES. THEY SHALL HAVE HEALTHY, WELL DEVELOPED ROOT SYSTEMS (NOT POT BOUND), A NORMAL HURST OF GROWTH CONSISTENT WITH INDUSTRY STANDARDS, AND FREE OF ANY BRUISES, CUTS, OR OTHER ABNORMALITIES. PLANT MATERIAL SHALL BE SIZED IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, AND THE ARIZONA NURSERYMAN ASSOCIATION STANDARDS.
- ALL RIGHT-OF-WAY PLANT MATERIAL MUST BE IN COMPLIANCE WITH THE DEPARTMENT OF WATER RESOURCES LOW WATER USE PLANT LIST. NO PLANT SUBSTITUTIONS, TYPE, OR QUANTITY DEVIATIONS FROM THE APPROVED LANDSCAPE PLANS WITHOUT PRIOR APPROVAL FROM THE CITY OF SURPRISE.
- BACKFILL ALL HOLES, EXCEPT AS NOTED, TO BE COMPRISED OF 75% NATIVE SOIL AND 25% DECOMPOSED GRANULAR BARK MULCH, AND 2 LBS. DISPERSAL PER CUBIC YARD OF BACKFILL.
- ADD AGRI-FORM FERTILIZER TABLETS AT THE FOLLOWING RATES:  
1 GALLON PLANT - 1 TABLET  
15 GALLON PLANT - 4 TABLETS  
5 GALLON PLANT - 2 TABLET  
BONED TREE - 5 TABLETS (MIN.)  
TABLETS TO BE PLACED NO DEEPER THAN 6" BELOW SOIL SURFACE.
- THE OWNER'S AGENT RESERVES THE RIGHT TO REJECT ANY SELECTION OF PLANT MATERIAL THAT DOES NOT SATISFY THE INTENT OF THE LANDSCAPE DESIGN BASED ON: SIZE, SHAPE, EVIDENCE OF STRESS OR IMPROPER CARE.
- PRIOR TO INITIATING THE 90-DAY MAINTENANCE PERIOD, COMPLETE ANY INITIAL PUNCH LIST ITEMS, THEN OBTAIN APPROVAL FROM OWNER'S AGENT OF SUBSTANTIAL COMPLETION. DETERMINE WITH OWNER'S AGENT THE START DATE FOR THE 90-DAY MAINTENANCE PERIOD. CONTRACTOR TO THEN MAINTAIN LANDSCAPE WHICH MAY INCLUDE WATERING, WEEDING, PRUNING, AND REPLACEMENT OF ANY MATERIAL THAT HAS DIED OR IS SHOWING EVIDENCE OF STRESS. SUBMIT WRITTEN REQUEST FOR FINAL PUNCH LIST ONE WEEK PRIOR TO END OF MAINTENANCE PERIOD.
- PROVIDE OWNER WITH A WRITTEN GUARANTEE OF SIX (6) MONTHS FOR ALL PLANT MATERIAL DATED FROM START OF MAINTENANCE PERIOD AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH. PROVIDE OWNER WITH WRITTEN INSTRUCTIONS OUTLINING MAINTENANCE PROCEDURES TO BE ADOPTED IN ORDER TO PROTECT GUARANTEE. INCLUDE WATERING SCHEDULE AND FERTILIZER PROGRAM. ONE (1) YEAR GUARANTEE FOR ALL TREES AND PALMS.
- TREAT ALL DATE PALM TREES FOR CROWN ROT AT LEAST ONCE PRIOR TO END OF THE GUARANTEE PERIOD. CONTRACTOR SHALL ARRANGE FOR A SUBCONTRACTOR SPECIALIZING IN PALM TREE MAINTENANCE TO SERVICE ALL PALMS AND PROVIDE BRIEF STATEMENT FOR EACH PALM.
- INSTALL ALL SIDEWALKS PER A.D.A. REQUIREMENTS.



## PLANT SCHEDULE

BOTANICAL/COMMON NAME	SIZE/CLPR	QTY
<b>TREES</b>		
ACACIA ANEURA	1.50" CAL / 24" BOX	12
MULGA		
ACACIA SALICINA	2.50" CAL / 36" BOX	42
WILLOWLEAF ACACIA		
CERODIUM PRAEDOX	1.50" CAL / 24" BOX	17
PILO BREA		
PHOENIX DACTYLIFERA	25" CLEAR TRUNK	8
DATE PALM		
PROSOPIS CHILENSIS 'THORNLESS'	1.50" CAL / 24" BOX	23
THORNLESS CHILEAN MESQUITE		
QUERCUS VIRGINIANA	3.50" CAL / 48" BOX	34
SOUTHERN LIVE OAK		
<b>SHRUBS</b>		
CAESALPINA MEXICANA	6x6 / 5 GAL	181
MEXICAN BIRD OF PARADISE		
CALLANDRA CALIFORNICA	5x5 / 5 GAL	148
RED FAWN CREEPER		
RUELLIA PENINSULARIS	4x4 / 5 GAL	207
BAJA RUELLIA		
TECOMA SPP.	6x6 / 5 GAL	45
'ORANGE JUBILEE'		
<b>ACCENTS</b>		
AGAVE DESMETTIANA 'VARGATED'	3x3 / 5 GAL	30
SANDWICH AGAVE		
ASCLEPIAS SUBULATA	3x3 / 5 GAL	21
DESERT MILKWEEED		
HESPERALOE PARVIFLORA	3x3 / 5 GAL	69
RED YUCCA		
LOPHOCEREUS SCHOTTII VAR. MONSTROSUS	3x3 / 5 GAL	2
TOTEM POLE CACTUS 'MONSTROSUS'		
MUHLENBERGIA CAPILARIS 'REGAL MIST'	4x4 / 5 GAL	77
REGAL MIST DEER GRASS		
<b>GROUNDCOVER</b>		
CONVOLVULUS CHEORUM	3x2 / 1 GAL	128
BUSH MORNING GLORY		
LANTANA SPP.	5x1 / 1 GAL	373
'NEW GOLD' LANTANA		
LANTANA MONTEVIDENSIS	5x1 / 1 GAL	360
PURPLE TRAILING LANTANA		
<b>MATERIAL</b>		
DECOMPOSED GRANITE	3/4" MINUS	
'EXPRESS GOLD' BY GRANITE EXPRESS		
DECOMPOSED GRANITE	1/4" MINUS	
'EXPRESS GOLD' BY GRANITE EXPRESS		
WEATHERED GRANITE BOULDERS	1/2" - 2" DIA	18
SURFACE SELECT	1/2" DIA	

94% SPECIES FROM ADWR LOW WATER USE DROUGHT TOLERANT PLANT LIST  
 ALL LANDSCAPE AREAS WILL BE LANDSCAPED WHEN DEVELOPED



CALL TWO WORKING DAYS BEFORE YOU DIG  
 602-263-1100  
 1-800-STAKE-IT  
 (OUTSIDE MARICOPA COUNTY)

GILMORE PARSONS  
 LAND DESIGN GROUP  
 2211 N. 7th Street, Phoenix, AZ 85006  
 T 602.265.5622 F 602.265.5707  
 www.gilmore.com

CONSULTING ENGINEERS

ARCO National Construction Co., Inc.  
 1500 SOUTH BERNARDINO AVENUE, SUITE 100  
 PHOENIX, ARIZONA 85004  
 (602) 265-5622

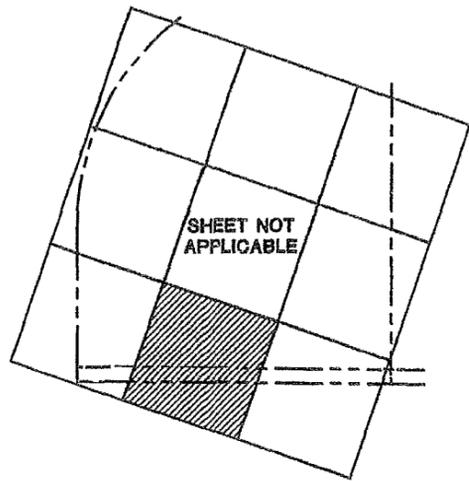
LANDSCAPE ARCHITECT:  
 GILMORE PARSONS LAND DESIGN GROUP  
 2211 N. 7TH STREET, PHOENIX, AZ 85006  
 PH. 602.265.5622

NEW DISTRIBUTION FACILITY FOR:  
 CRESCENT CROWN  
 DISTRIBUTING  
 34188 STEPHEN C. PHOENIX, AZ  
 (602) 265-5622

JOB NO: 06022  
 DRAWN BY: T.B.  
 ISSUE DATE: 08/08/06

REVISIONS

SHEET NUMBER L-1

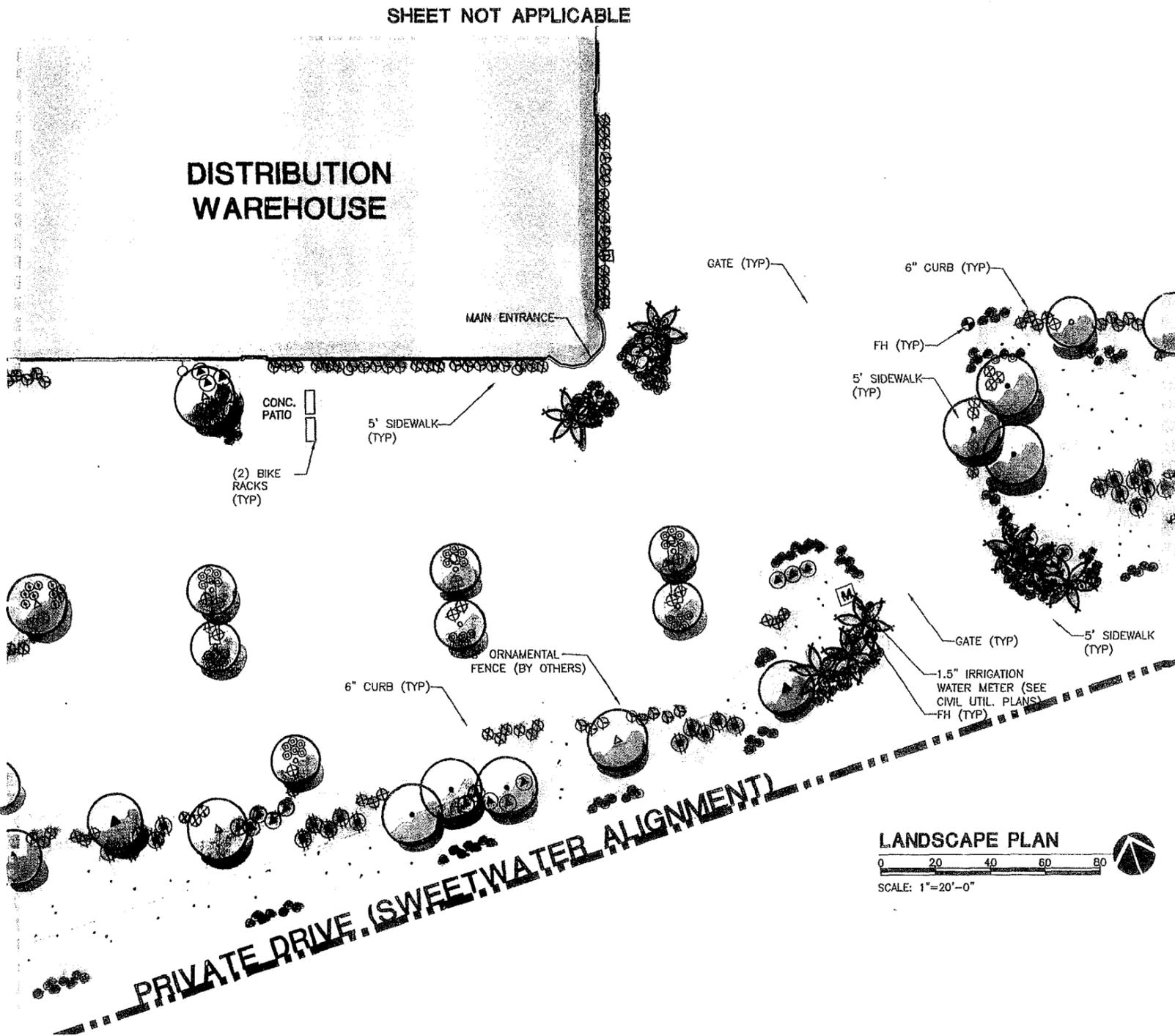


**PLANT SCHEDULE**

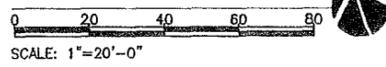
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QUERCUS VIRGINIANA SOUTHERN LIVE OAK	3.50" CAL/ 48" BOX	34
<b>SHRUBS</b>		
CAESALPINIA MEXICANA MEXICAN BIRD OF PARADISE	6x6/ 5 GAL.	181
CALLIANDRA CALIFORNICA RED FERRY DUSTER	5x5/ 5 GAL.	148
RUELLIA PENINSULARIS BAHIA REULLIA	4x4/ 5 GAL.	207
TECOMA SPP. 'GRANDE JUBILEE'	6x6/ 5 GAL.	45
<b>ACCENTS</b>		
AGAVE DESMETRIANA 'VARGATED' SMOOTH AGAVE	3x3/ 5 GAL.	35
ASCLEPHAS SUBULATA DESERT MILKWEEED	3x3/ 5 GAL.	21
HESPERALOE PARVIFLORA RED YUCCA	3x3/ 5 GAL.	69
LOPHOCEREUS SCHOTTII VAR. MONSTROSUS TOTEM POLE CACTUS 'MONSTROSUS'	3x3/ 5 GAL.	2
MUHLENBERGIA CAPILLARIS 'REGAL MIST' REGAL MIST DEER GRASS	4x4/ 5 GAL.	77
<b>GROUNDCOVER</b>		
CONVOLVULUS CHEORUM BUSH MORNING GLORY	3x2/ 1 GAL.	128
LANTANA SPP. 'NEW GOLD' LANTANA	5x1/ 1 GAL.	373
LANTANA MONTEVIDENSIS PURPLE TRAILING LANTANA	5x1/ 1 GAL.	360
<b>MATERIAL</b>		
DECOMPOSED GRANITE 'EXPRESS GOLD' BY GRANITE EXPRESS	3/4" MINUS	
DECOMPOSED GRANITE 'EXPRESS GOLD' BY GRANITE EXPRESS	1/4" MINUS	
WEATHERED GRANITE BOULDERS SURFACE SELECT	1/2" - 2 TON	18

\*84% SPECIES FROM ADWR LOW WATER USE DROUGHT TOLERANT PLANT LIST  
 \*ALL LANDSCAPE AREAS WILL BE LANDSCAPED WHEN DEVELOPED

MATCHLINE SEE SHEET L-3



**LANDSCAPE PLAN**



MATCHLINE SEE SHEET L-1

CASE # SP08-062

CALL TWO WORKING DAYS BEFORE YOU DIG  
**602-263-1100**  
**1-800-STAKE-IT**  
 (OUTSIDE MARICOPA COUNTY)

**GILMORE PARSONS**  
 LAND DESIGN GROUP  
 2211 N. 7th Street, Phoenix, AZ 85006  
 T 602.266.5621 F 602.266.5707  
 www.gilmore.com

**CONSULTING ENGINEERS**  
 CIVIL: ARCO National Construction Co., Inc. 3111 N. 7th Street, Suite 200, Phoenix, AZ 85006  
 ELECTRICAL: ARCO National Construction Co., Inc. 3111 N. 7th Street, Suite 200, Phoenix, AZ 85006  
 MECHANICAL: ARCO National Construction Co., Inc. 3111 N. 7th Street, Suite 200, Phoenix, AZ 85006

**CONTRACTOR:**  
 ARCO National Construction Co., Inc.  
 3111 N. 7th Street, Suite 200, Phoenix, AZ 85006  
 PH: 602-266-5621

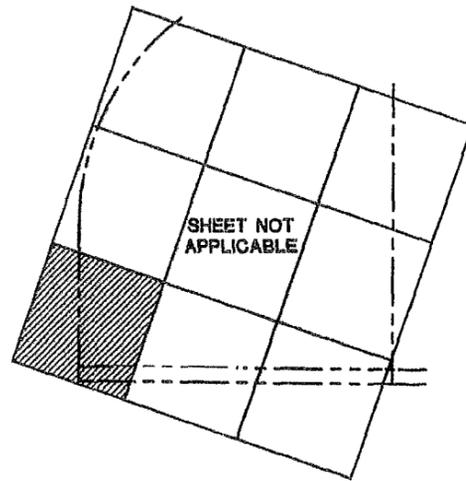
**LANDSCAPE ARCHITECT:**  
 GILMORE PARSONS LAND DESIGN GROUP  
 2211 N. 7th Street, Phoenix, AZ 85006  
 PH: 602-266-5622

**NEW DISTRIBUTION FACILITY FOR:**  
**CRESCENT CROWN DISTRIBUTING**  
 675 SART ROAD & SWEETWATER AVE  
 SURPRISE, ARIZONA

**JOB NO:** 08022  
**DRAWN BY:** TJB  
**ISSUE DATE:** 09/06/08

**REVISIONS**

**SHEET NUMBER**  
**L-2**



KEYMAP  
N18

**PLANT SCHEDULE**

BOTANICAL/COMMON NAME	SIZE/CLPR	QTY
<b>TREES</b>		
AGACIA ANEURA MULGA	1.50" CAL / 24" BOX	12
AGACIA SALICINA WILLOWLEAF ACACIA	2.50" CAL / 36" BOX	42
CERCIDRUM PRAECOX PALM BREA	1.50" CAL / 24" BOX	17
PHOENIX DACTYLIFERA DATE PALM	25' CLEAR TRUNK	0
PROSORPIS CHILENSIS "THORNLESS" THORNLESS CHILEAN MESQUITE	1.50" CAL / 24" BOX	23
QUERCUS VIRGINIANA SOUTHERN LIVE OAK	3.50" CAL / 48" BOX	34
<b>SHRUBS</b>		
CAESALPINA MEXICANA MEXICAN BIRD OF PARADISE	6x6 / 5 GAL.	101
CALLIANDRA CALIFORNICA RED FAIRY DUSTER	5x5 / 5 GAL.	148
RUPELLIA PENINSULARIS BALK RUPELLIA	4x4 / 5 GAL.	207
TECOMA SPP. "ORANGE JUBILEE"	6x6 / 5 GAL.	45
<b>ACCENTS</b>		
AGAVE DESMETRIANA "VARGATED" SAOOTH AGAVE	3x3 / 5 GAL.	30
ASCLEPIAS SUBULATA DESERT MILKWEED	3x3 / 5 GAL.	21
HESPERALOE PARVIFLORA RED YUCCA	3x3 / 5 GAL.	69
LOPHOCEREUS SCHOTTI VAR. MONSTROSUS TOTEM POLE CACTUS "MONSTROSUS"	3x3 / 5 GAL.	2
KUHLENBERGIA CAPULARIS "REGAL MIST" REGAL MIST DEER GRASS	4x4 / 5 GAL.	77
<b>GROUNDCOVER</b>		
CORNICALLIS CHEERUM BUSH MORNING GLORY	3x2 / 1 GAL.	128
LANTANA SPP. "NEW GOLD" LANTANA	5x1 / 1 GAL.	373
LANTANA MONTEVIDENSIS PURPLE TRAILING LANTANA	5x1 / 1 GAL.	360

**MATERIAL**

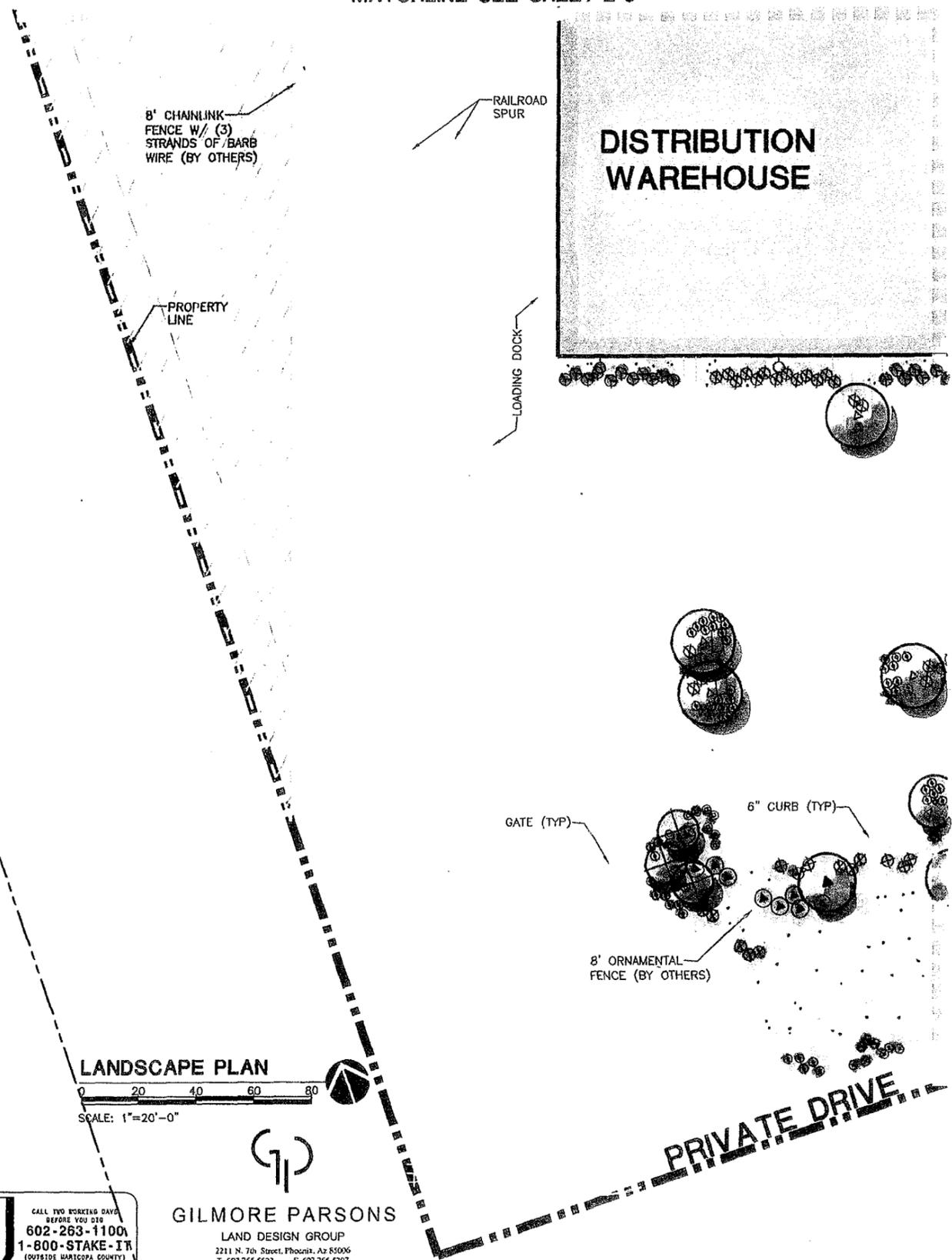
DECOMPOSED GRANITE "EXPRESS GOLD" BY GRANITE EXPRESS 3/4" MINUS

DECOMPOSED GRANITE "EXPRESS GOLD" BY GRANITE EXPRESS 1/4" MINUS

WEATHERED GRANITE BOULDERS SURFACE SELECT 1/2" - 2 TON 18

-94% OFFEGES FROM ADWR LOW WATER USE DROUGHT TOLERANT PLANT LIST

-ALL LANDSCAPE AREAS WILL BE LANDSCAPED WHEN DEVELOPED



LANDSCAPE PLAN  
SCALE: 1"=20'-0"

CALL THE WORKING DAVE BEFORE YOU DIG  
602-263-1100  
1-800-STAKE-IT  
(OUTSIDE MARICOPA COUNTY)

GILMORE PARSONS  
LAND DESIGN GROUP  
2211 N. 7th Street, Phoenix, AZ 85006  
T 602.265.5622 F 602.265.5707  
www.getgilmore.com

CASE # SPO8-062

MATCHLINE SEE SHEET L-5

MATCHLINE SEE SHEET L-2

**CONSULTING ENGINEERS**

PROJECT FIELDING  
ELECTRICAL  
MECHANICAL  
PLUMBING  
STRUCTURAL  
ARCHITECTURAL  
LANDSCAPE ARCHITECTURE  
CIVIL  
ENVIRONMENTAL  
GEOLOGICAL  
GEOGRAPHIC INFORMATION SYSTEMS  
HYDROLOGICAL  
METEOROLOGICAL  
POLLUTION CONTROL  
SOILS  
SURVEYING  
TRAFFIC ENGINEERING  
WATER RESOURCES  
WASTEWATER TREATMENT  
WEATHERING  
WOOD PRESERVATION

**CONTRACTOR:**  
ARCO National Construction Co., Inc.  
1708 SOUTH BENTLEY AVENUE, SUITE 102  
PHOENIX, ARIZONA 85024  
PH 602.962.5422

**LANDSCAPE ARCHITECT:**  
GILMORE PARSONS LANDSCAPE ARCHITECTS GROUP  
2211 N. 7TH STREET, PHOENIX, AZ 85006  
PH 602.265.5622

**NEW DISTRIBUTION FACILITY FOR:**  
CRESCENT CROWN DISTRIBUTING  
DYSART ROAD & SWEETWATER AVE  
SURPRISE, ARIZONA

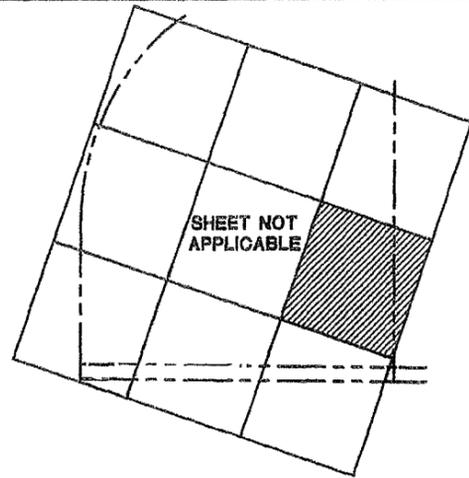


JOB NO : 06022  
DRAWN BY : T.B.  
ISSUE DATE : 08/08/08

**REVISIONS**

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SHEET NUMBER  
L-3



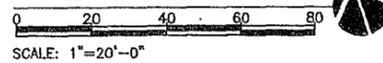
KEYMAP  
RTS

PLANT SCHEDULE

BOTANICAL/COMMON NAME	SIZE/CL/PT	QTY
<b>TREES</b>		
ADACIA ANEURA MULGA	1.50" CAL/ 24" BOX	12
ADACIA SALICINA WILLOWLEAF ACACIA	2.50" CAL/ 36" BOX	42
CERCIDIBUM FRAECOX PALM BREA	1.50" CAL/ 24" BOX	17
PHOENIX DACTYLIFERA DATE PALM	25' CLEAR TRUNK	6
PROSOPIS CHILENSIS "THORNLESS" THORNLESS CHILEAN MESQUITE	1.50" CAL/ 24" BOX	23
QUERCUS VIRGINIANA SOUTHERN LIVE OAK	3.50" CAL/ 48" BOX	34
<b>SHRUBS</b>		
CAESALPINIA MEGOCOMA MEGOCAN BIRD OF PARADISE	6x8/ 5 GAL	161
CALLIANDRA CALIFORNICA RED FAIRY DUSTER	5x5/ 5 GAL	148
RUELLIA PENINSULARIS BAJA REULLIA	4x4/ 5 GAL	207
TECOMA SPP. "ORANGE JUBILEE"	6x8/ 5 GAL	45
<b>ACCENTS</b>		
AGAVE DESMETIANA "VARIGATED" SMOOTH AGAVE	3x3/ 5 GAL	36
ASOLEPIUS SUBULATA DESERT MILKWEED	3x3/ 5 GAL	21
HESSPERALOE PARVIFLORA RED YUCCA	3x3/ 5 GAL	69
LOPHOCEREUS SCHOTTII VAR. MONSTROSUS TOTEM POLE CACTUS "MONSTROSUS"	3x3/ 5 GAL	2
MUHLENBERGIA CAPILLARIS "REGAL MIST" REGAL MIST DEER GRASS	4x4/ 5 GAL	77
<b>GROUNDCOVER</b>		
CONVOLVULUS CHEORUM BUSH MORNING GLORY	3x2/ 1 GAL	128
LANTANA SPP. "NEW GOLD" LANTANA	5x1/ 1 GAL	373
LANTANA MONTEVIDEOSIS PURPLE TRAILING LANTANA	5x1/ 1 GAL	360
<b>MATERIAL</b>		
DECOMPOSED GRANITE "EXPRESS GOLD" BY GRANITE EXPRESS	3/4" MINUS	
DECOMPOSED GRANITE "EXPRESS GOLD" BY GRANITE EXPRESS	1/4" MINUS	
WEATHERED GRANITE BOULDERS SURFACE SELECT	1/2 - 2 TON	18

84% SPECIES FROM ADWR LOW WATER USE DROUGHT TOLERANT PLANT LIST  
-ALL LANDSCAPE AREAS WILL BE LANDSCAPED WHEN DEVELOPED

LANDSCAPE PLAN

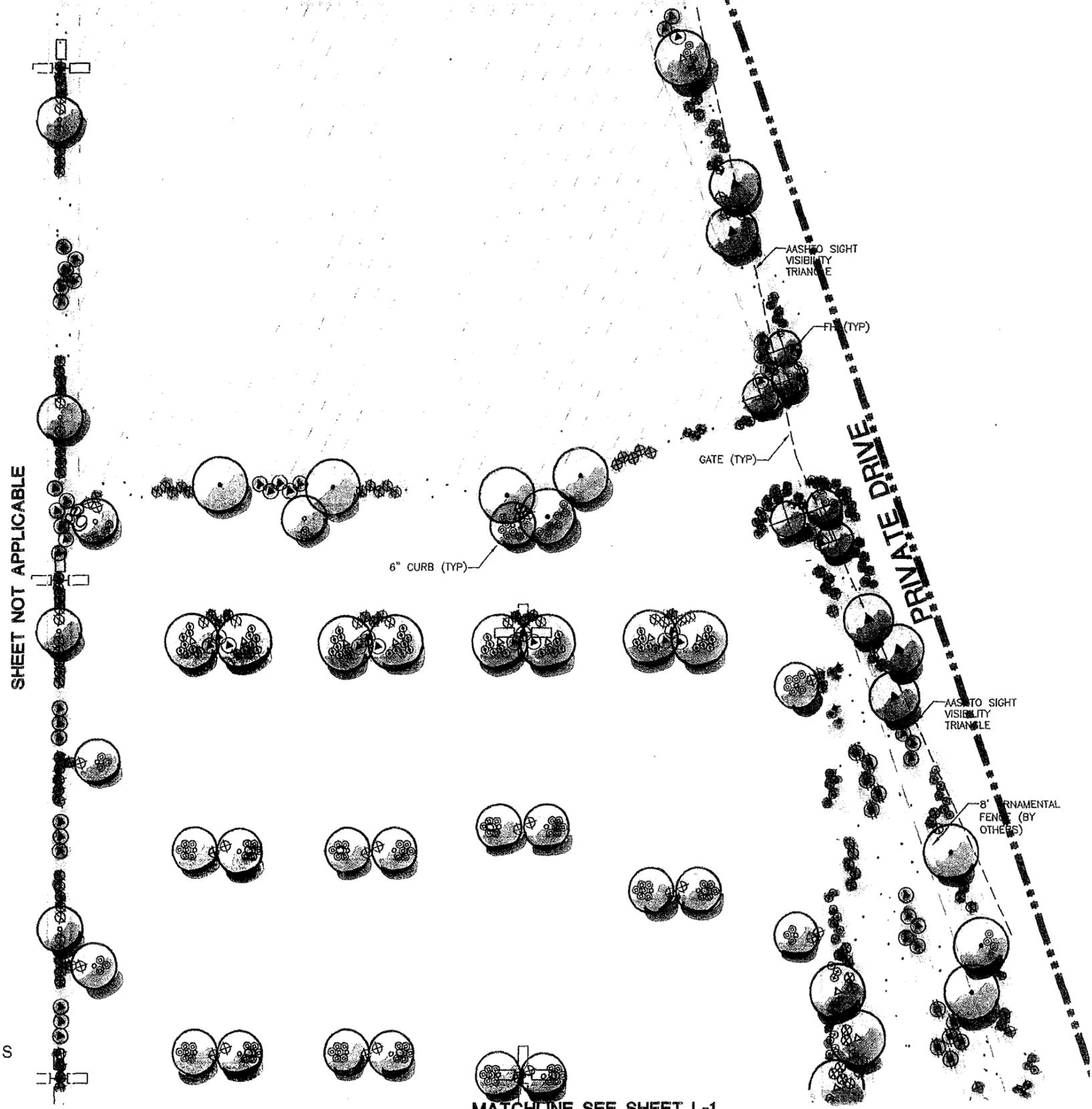


CASE # SP08-062



GILMORE PARSONS  
LAND DESIGN GROUP  
2211 N. 7th Street, Phoenix, AZ 85006  
T 602.266.5222 F 602.266.5707  
www.gilmore.com

MATCHLINE SEE SHEET L-6



MATCHLINE SEE SHEET L-1

**CONSULTING ENGINEERS**  
ELECTRICAL  
ARCHITECTURAL  
MECHANICAL  
PLUMBING  
PILING  
STRUCTURAL  
SURVEYING  
WATER RESOURCES

**CONTRACTOR:**  
ARCO National Construction Co., Inc.  
7500 SOUTH LEBANON AVENUE  
MESA, ARIZONA 85209  
PH: 602.326.5222

**LANDSCAPE ARCHITECT:**  
GILMORE PARSONS LAND DESIGN GROUP  
2211 N. 7th Street, Phoenix, AZ 85006  
PH: 602.266.5222

**NEW DISTRIBUTION FACILITY FOR:**  
CRESCENT CROWN DISTRIBUTING  
SWEETWATER AVENUE  
SURPRISE, ARIZONA

**REGISTERED LANDSCAPE ARCHITECT**  
STEPHEN C. PARSONS  
No. 10000  
Arizona, U.S.A.

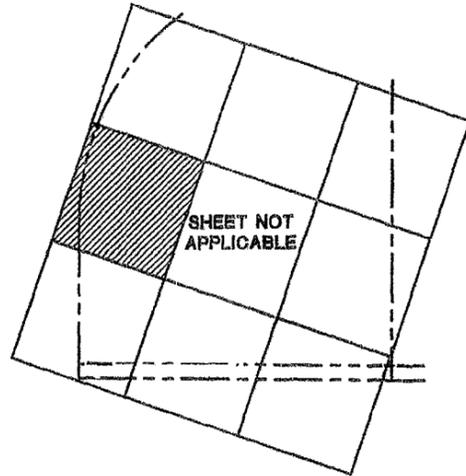
IN REVIEW TO THE BEST OF MY KNOWLEDGE THAT THE DRAWINGS & SPECIFICATIONS COMPLY WITH THE APPLICABLE AND MANDATORY CODES.

JOB NO : 08022  
DRAWN BY : T.B  
ISSUE DATE : 08/08/08

REVISIONS  
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SHEET NUMBER  
L-4

MATCHLINE SEE SHEET L-8



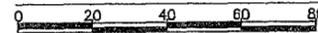
KEYMAP  
NTS

PLANT SCHEDULE

BOTANICAL/Common Name	SIZE/OLPR	QTY
<b>TREES</b>		
ACACIA ANEURA MULGA	1.50" CAL/ 24" BOX	12
ACACIA SALICINA WILLOWLEAF ACACIA	2.50" CAL/ 36" BOX	42
CERCIDILUM PRAECOX PALM BREA	1.50" CAL/ 24" BOX	17
PHOENIX DACTYLIFERA DATE PALM	25" CLEAR TRUNK	8
PROSOPIS CHILENSIS 'THORNLESS' THORNLESS CHILEAN MESQUITE	1.50" CAL/ 24" BOX	23
QUERCUS VIRGINIANA SOUTHERN LIVE OAK	3.50" CAL/ 48" BOX	34
<b>SHRUBS</b>		
CAESALPINIA MEXICANA MEXICAN BIRD OF PARADISE	6x6/ 5 GAL	161
CALLIANDRA CALIFORNICA RED FAIRY DUSTER	5x5/ 5 GAL	148
RUELLIA PENINSULARIS BAJA REULLIA	4x4/ 5 GAL	207
TECOMA SPP. 'ORANGE JUBILEE'	6x6/ 5 GAL	45
<b>ACCENTS</b>		
AGAVE DESMETIANA 'VARIGATED' SMOOTH AGAVE	3x3/ 5 GAL	36
ASCLEPIAS SUBULATA DESERT MILKWEED	3x3/ 5 GAL	21
HESPERALOE PARVIFLORA RED YUCCA	3x3/ 5 GAL	69
LOPHOCEREUS SCHOTTII VAR. MONSTROSUS TOTEM POLE CACTUS 'MONSTROSUS'	3x3/ 5 GAL	2
MUHLENBERGIA CAPLARIIS 'REGAL MIST' REGAL MIST DEER GRASS	4x4/ 5 GAL	77
<b>GROUNDCOVER</b>		
CONYOLYLLIS CNEORUM BUSH MORNING GLORY	3x2/ 1 GAL	128
LANTANA SPP. 'NEW GOLD' LANTANA	5x1/ 1 GAL	373
LANTANA MONTEVIDENSIS PURPLE TRAILING LANTANA	5x1/ 1 GAL	360
<b>MATERIAL</b>		
DECOMPOSED GRANITE 'EXPRESS GOLD' BY GRANITE EXPRESS	3/4" MINUS	
DECOMPOSED GRANITE 'EXPRESS GOLD' BY GRANITE EXPRESS	1/4" MINUS	
WEATHERED GRANITE BOULDERS SURFACE SELECT	1/2" - 2 TON 10' Dia.	10

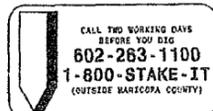
-84% SPECIES FROM ADWW LOW WATER USE DROUGHT TOLERANT PLANT LIST  
-ALL LANDSCAPE AREAS WILL BE LANDSCAPED WHEN DEVELOPED

LANDSCAPE PLAN



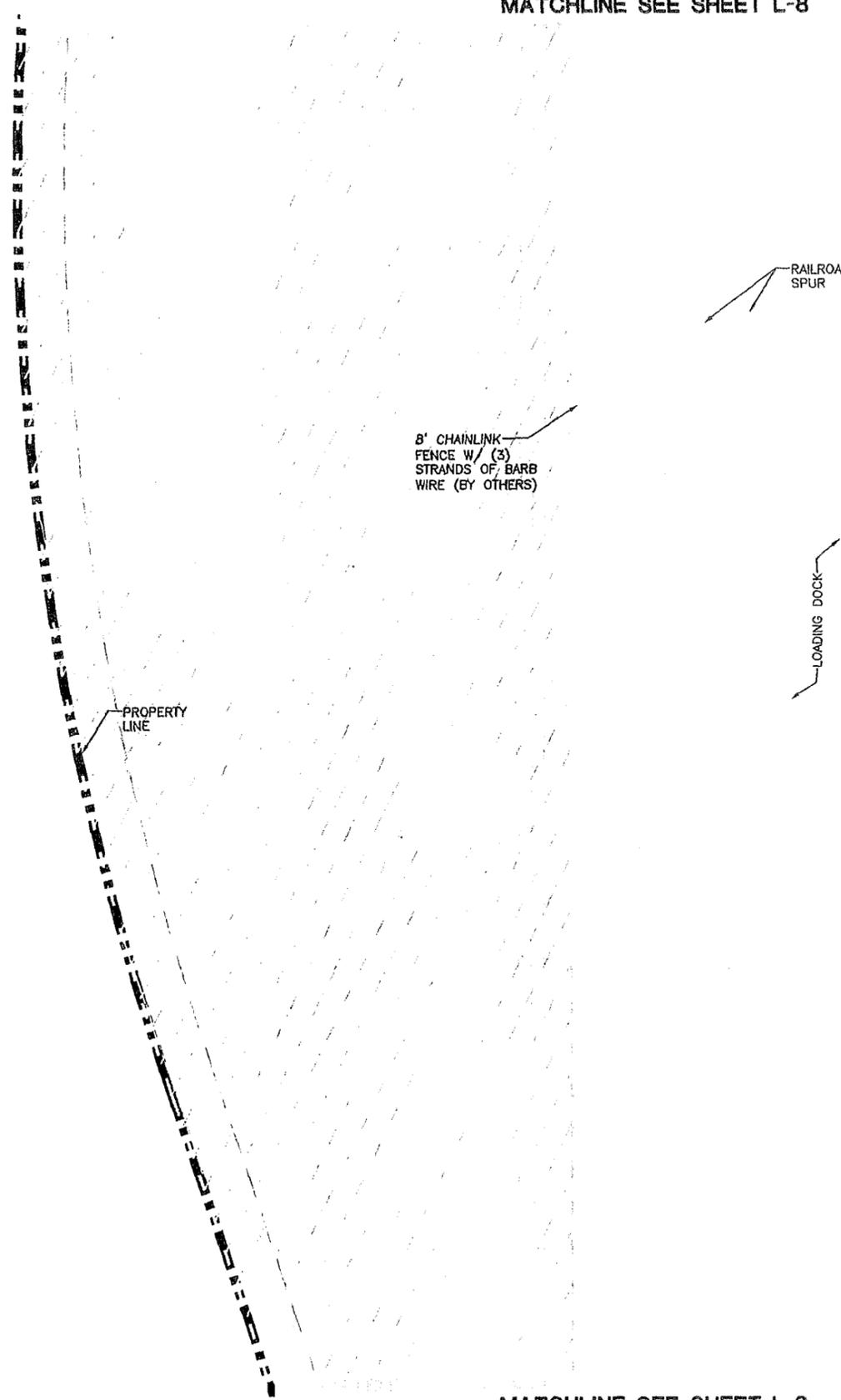
SCALE: 1"=20'-0"

CASE # SP08-062



GILMORE PARSONS

LAND DESIGN GROUP  
2211 N. 7th Street, Phoenix, AZ 85005  
T 602.266.5622 F 602.266.5707  
www.gilmore.com



8' CHAINLINK FENCE W/ (3) STRANDS OF BARB WIRE (BY OTHERS)

RAILROAD SPUR

LOADING DOCK

DISTRIBUTION WAREHOUSE

MATCHLINE SEE SHEET L-3

**CONSULTING ENGINEERS**  
ELECTRICAL  
SOUTH PHOENIX TRADING INC.  
2520 HIGHLAND AVENUE  
PHOENIX, AZ 85016  
TEL: 602-998-1111  
FAX: 602-998-1112

**CONTRACTOR:**  
ARCO National Construction Co., Inc.  
1742 SOUTH HIGHLAND AVENUE SUITE 202  
PHOENIX, AZ 85016  
TEL: 602-266-5622  
FAX: 602-266-5707

**LANDSCAPE ARCHITECT:**  
GILMORE PARSONS LAND DESIGN GROUP  
2211 N. 7TH STREET, PHOENIX, AZ 85005  
TEL: 602-266-5622  
FAX: 602-266-5707

**NEW DISTRIBUTION FACILITY FOR:**  
CRESCENT CROWN DISTRIBUTING  
15345 W. WILSON AVENUE  
SURPRISE, ARIZONA

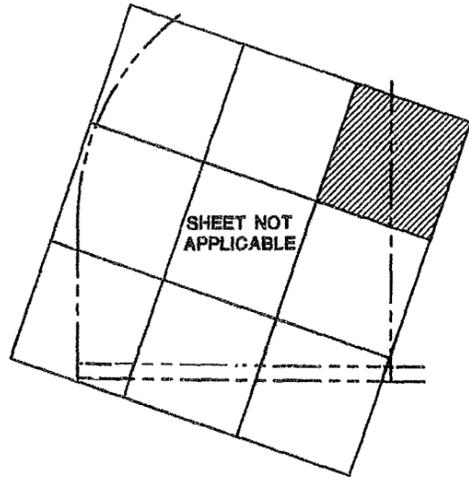
**REGISTERED LANDSCAPE ARCHITECT**  
STEPHEN G. PARSONS  
34188  
15345 W. WILSON AVENUE  
SURPRISE, ARIZONA 85087

DESIGNED BY THE CLIENT OR MY FIRM. I HEREBY CERTIFY THAT THE DRAWINGS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM STANDARD CODES.

JOB NO : 06022  
DRAWN BY : TJB  
ISSUE DATE : 08/08/06

REVISIONS  
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SHEET NUMBER  
L-5



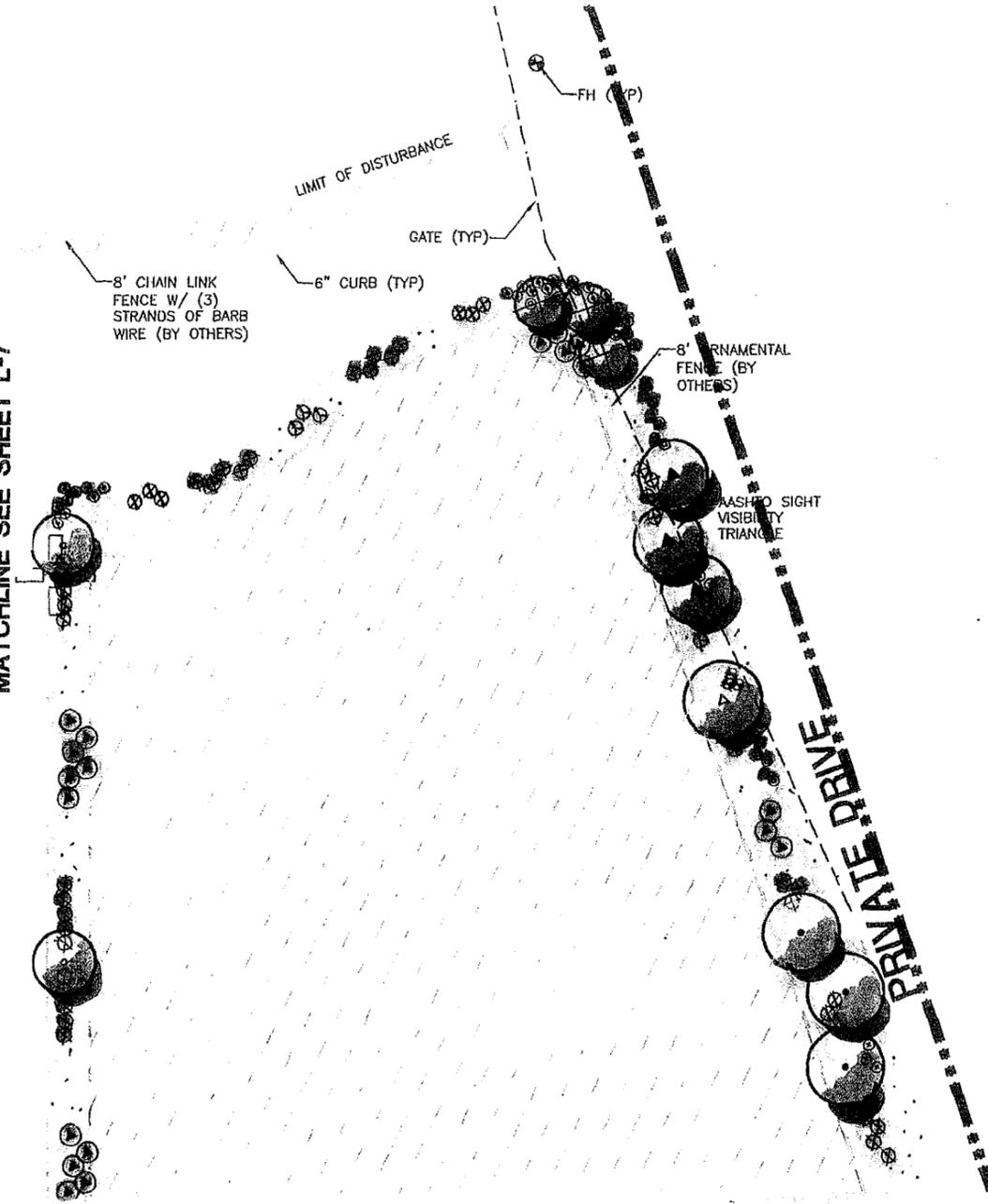
KEYMAP  
NFB

**PLANT SCHEDULE**

BOTANICAL/COMMON NAME	SIZE/CLPR	QTY
<b>TREES</b>		
ACACIA ANEURA MULGA	1.50" CAL/ 24" BOX	12
ACACIA SALICINA WILLOWLEAF ACACIA	2.50" CAL/ 36" BOX	42
CERCIDIUM PRAECOX PALO BREA	1.50" CAL/ 24" BOX	17
PHOENIX DACTYLIFERA DATE PALM	25" CLEAR TRUNK	8
PROSORPIS CHILENSIS 'THORNLESS' THORNLESS CHILEAN MESQUITE	1.50" CAL/ 24" BOX	23
QUERCUS VIRGINIANA SOUTHERN LIVE OAK	3.50" CAL/ 48" BOX	34
<b>SHRUBS</b>		
CAESALPINIA MEXICANA MEXICAN BIRD OF PARADISE	6x8/ 5 GAL	161
GALLIANDRA CALIFORNICA RED FAIRY DUSTER	6x5/ 5 GAL	148
RUPELLIA PENINSULARIS BAJA RUPELLIA	4x4/ 5 GAL	207
TECOMA SPP. 'ORANGE JUBILEE'	6x8/ 5 GAL	45
<b>ACCENTS</b>		
AGAVE DESMETRIANA 'VARIGATED' SMOOTH AGAVE	3x3/ 5 GAL	38
ASCLEPIAS SUBULATA DESERT MILKWEED	3x3/ 5 GAL	21
HESPERALOE PARVIFLORA RED YUCCA	3x3/ 5 GAL	69
LOPHOCEREUS SCHOTTII VAR. MONSTROSUS TOTEM POLE CACTUS 'MONSTROSUS'	3x3/ 5 GAL	2
MULHBERGIA CAPSAIRS 'REGAL MIST' REGAL MIST DEER GRASS	4x4/ 5 GAL	77
<b>GROUNDCOVER</b>		
CONVOLVULUS CHEORUM BUSH MORNING GLORY	3x2/ 1 GAL	128
LANTANA SPP. 'NEW GOLD' LANTANA	5x1/ 1 GAL	373
LANTANA MONTEVIDENSIS PURPLE TRILING LANTANA	5x1/ 1 GAL	360
<b>MATERIAL</b>		
DECOMPOSED GRANITE 'EXPRESS GOLD' BY GRANITE EXPRESS	3/4" MENUS	
DECOMPOSED GRANITE 'EXPRESS GOLD' BY GRANITE EXPRESS	1/4" MENUS	
WEATHERED GRANITE BOULDERS SURFACE SELECT	1/2" - 2 TON	18

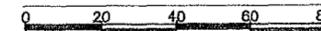
\*84% SPECIES FROM ADWR LOW WATER USE DROUGHT TOLERANT PLANT LIST  
-ALL LANDSCAPE AREAS WILL BE LANDSCAPED WHEN DEVELOPED

MATCHLINE SEE SHEET L-7



MATCHLINE SEE SHEET L-4

**LANDSCAPE PLAN**



SCALE: 1"=20'-0"



CALL TWO BUSINESS DAYS  
BEFORE YOU DIG  
**602-263-1100**  
**1-800-STAKE-IT**  
(OUTSIDE MARICOPA COUNTY)

**GILMORE PARSONS**

LAND DESIGN GROUP  
2211 N. 7th Street, Phoenix, AZ 85006  
T 602.266.5022 F 602.266.5707  
www.getgilmore.com

CASE # SP08-062

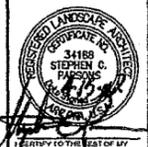
**CONSULTING ENGINEERS**

ARCHITECTURAL	2111 N. 7TH STREET, SUITE 200 PHOENIX, AZ 85006 PH: 602.266.5022
ELECTRICAL	2111 N. 7TH STREET, SUITE 200 PHOENIX, AZ 85006 PH: 602.266.5022
MECHANICAL	2111 N. 7TH STREET, SUITE 200 PHOENIX, AZ 85006 PH: 602.266.5022
PLUMBING	2111 N. 7TH STREET, SUITE 200 PHOENIX, AZ 85006 PH: 602.266.5022
STRUCTURAL	2111 N. 7TH STREET, SUITE 200 PHOENIX, AZ 85006 PH: 602.266.5022
TRUCKING	2111 N. 7TH STREET, SUITE 200 PHOENIX, AZ 85006 PH: 602.266.5022

**CONTRACTOR:**  
ARCO National Construction Co., Inc.  
1540 SOUTH WASHINGTON, SUITE 202  
PHOENIX, ARIZONA 85004  
PH: 602.266.5022

**LANDSCAPE ARCHITECT:**  
GILMORE PARSONS LAND DESIGN GROUP  
2211 N. 7TH STREET, PHOENIX, AZ 85006  
PH: 602.266.5022

**NEW DISTRIBUTION FACILITY FOR:**  
CRESCENT CROWN  
DISTRIBUTING  
DYSART ROAD & SWEETWATER AVE  
SURPRISE, ARIZONA



JERRY TO THE BEST OF MY  
KNOWLEDGE ONLY THE DESIGN OR  
SPECIFICATIONS COMPLY WITH THE  
APPLICABLE MINIMUM BUILDING CODES

JOB NO :  
08022

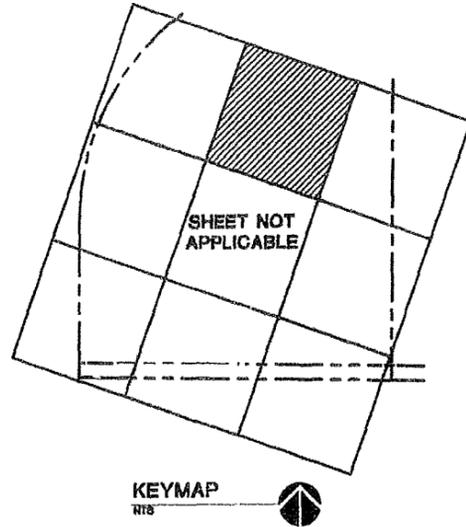
DRAWN BY :  
TJB

ISSUE DATE :  
08/06/08

**REVISIONS**

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**SHEET NUMBER**  
L-6

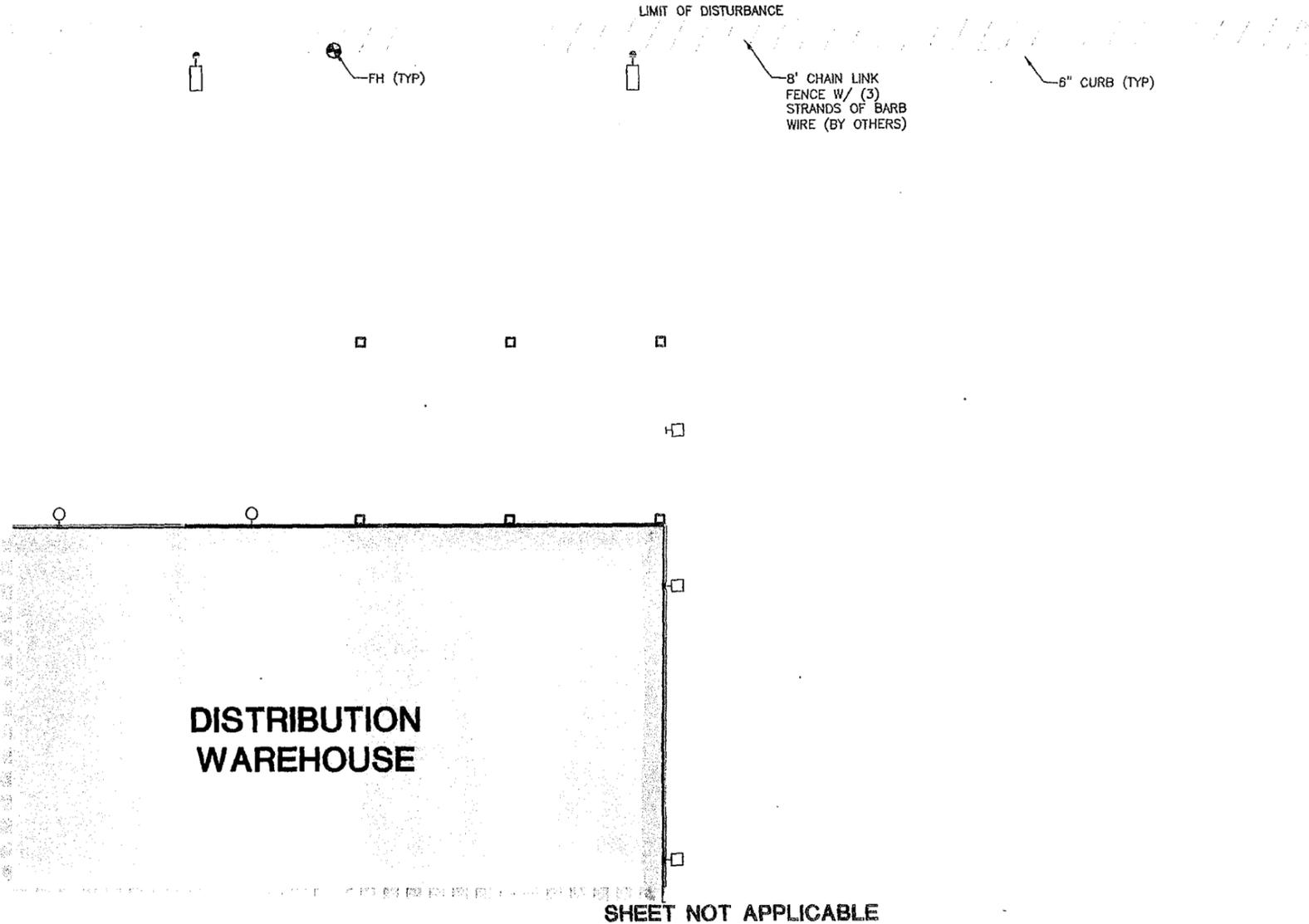


**PLANT SCHEDULE**

SYMBOL	BOTANICAL/COMMON NAME	SIZE/CLPR	QTY
<b>TREES</b>			
⊕	ACACIA ANEURA MULGA	1.50" CAL/ 24" BOX	12
⊕	ACACIA SALICINA YELLOWLEAF ACACIA	2.50" CAL/ 36" BOX	42
⊕	CERIODIUM PARVICOX PALM BREA	1.50" CAL/ 24" BOX	17
⊕	PHOENIX DACTYLIFERA DATE PALM	25' CLEAR TRUNK	8
⊕	PROSORIS CHILENSIS 'THORNLESS' THORNLESS CHILEAN MESQUITE	1.50" CAL/ 24" BOX	23
⊕	QUERCUS VIRGINIANA SOUTHERN LIVE OAK	3.50" CAL/ 48" BOX	34
<b>SHRUBS</b>			
⊕	CAESALPINIA MEXICANA MEXICAN BIRD OF PARADISE	6x8/ 5 GAL	161
⊕	CALLIANDRA CALIFORNICA RED FAIRY DUSTER	5x5/ 5 GAL	148
⊕	RUELLIA PENINSULARIS BIAIA RUELLIA	4x4/ 5 GAL	207
⊕	TECDMA SPP. 'ORANGE JUBILEE'	6x8/ 5 GAL	45
<b>ACCENTS</b>			
⊕	AGAVE DESMETRIANA 'VARGATED' SMOOTH AGAVE	3x3/ 5 GAL	38
⊕	ASCLEPIAS SUBULATA DESERT MILKWOOD	3x3/ 5 GAL	21
⊕	HESPERALOE PARVIFLORA RED YUCCA	3x3/ 5 GAL	69
⊕	LOPHOCEREUS SCHOTTII VAR. MONSTROSUS TOTEM POLE CACTUS 'MONSTROSUS'	3x3/ 5 GAL	2
⊕	MUHLENBERGIA CAPILLARIS 'REGAL MIST' REGAL MIST DEER GRASS	4x4/ 5 GAL	77
<b>GROUNDCOVER</b>			
⊕	CONYLISSIS CHEODRUM BUSH MORNING GLORY	3x2/ 1 GAL	128
⊕	LANTANA SPP. 'NEW GOLD' LANTANA	5x1/ 1 GAL	373
⊕	LANTANA MONTEVIDENSIS PURPLE TRAILING LANTANA	5x1/ 1 GAL	300
<b>MATERIAL</b>			
⊕	DECOMPOSED GRANITE 'EXPRESS GOLD' BY GRANITE EXPRESS	3/4" MINUS	
⊕	DECOMPOSED GRANITE 'EXPRESS GOLD' BY GRANITE EXPRESS	1/4" MINUS	
⊕	WEATHERED GRANITE BOULDERS SURFACE SELECT	1/2" - 2 TON AVG.	18

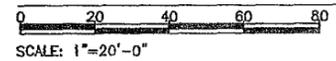
-84% SPECIES FROM ADWR LOW WATER USE DROUGHT TOLERANT PLANT LIST  
-ALL LANDSCAPE AREAS WILL BE LANDSCAPED WHEN DEVELOPED

MATCHLINE SEE SHEET L-8



MATCHLINE SEE SHEET L-6

**LANDSCAPE PLAN**



CALL TWO WEEKS IN ADVANCE  
602-263-1100  
1-800-STAKE-IT  
(OUTSIDE MARICOPA COUNTY)

**GILMORE PARSONS**  
LAND DESIGN GROUP  
2211 N. 7th Street, Phoenix, AZ 85006  
T 602.266.5622 F 602.266.5707  
www.getgilmore.com

CASE # SP08-062

**CONSULTING ENGINEERS**  
ELECTRICAL  
MECHANICAL  
CIVIL  
ARCHITECTURAL  
LANDSCAPE ARCHITECTURE

**CONTRACTOR:**  
ARCO National Construction Co., Inc.  
1749 SOUTH HENTZ ROAD, SUITE 600  
PHOENIX, ARIZONA 85024  
LANDSCAPE ARCHITECT:  
GILMORE PARSONS LAND DESIGN GROUP  
2211 N. 7TH STREET, PHOENIX, AZ 85006  
PH: 602.266.5622

**NEW DISTRIBUTION FACILITY FOR:**  
CRESCENT CROWN  
DISTRIBUTING  
25501 ROAD & SWEETWATER AVE  
SURPRISE, ARIZONA

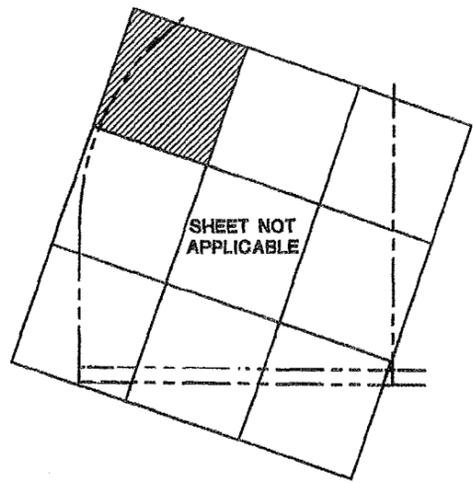
**LANDSCAPE ARCHITECT:**  
STEPHEN C. PARSONS  
34185  
PHOENIX, AZ

**JOB NO:**  
08022  
**DRAWN BY:**  
TJB  
**ISSUE DATE:**  
03/04/08

**REVISIONS**

1	
2	
3	
4	
5	

**SHEET NUMBER**  
L-7



**PLANT SCHEDULE**

BOTANICAL/COMMON NAME	SIZE/CLPR	QTY
<b>TREES</b>		
ACACIA ANEURA MULGA	1.50" CAL/ 24" BOX	12
ACACIA SALICINA WILLOWLEAF ACACIA	2.50" CAL/ 36" BOX	42
CERCIDIUM PRAECOX PALM BIRCH	1.50" CAL/ 24" BOX	17
PHOENIX DACTYLIFERA DATE PALM	25' CLEAR TRUNK	8
PROSOPIS CHILENSIS 'THORNLESS' THORNLESS CHILEAN MESQUITE	1.50" CAL/ 24" BOX	23
QUERCUS VIRGINIANA SOUTHERN LIVE OAK	3.50" CAL/ 48" BOX	34
<b>SHRUBS</b>		
CAESALPINIA MEXICANA MEXICAN BIRD OF PARADISE	6x8/ 5 GAL	101
GALLIANDRA CALIFORNICA RED FERRY DUSTER	5x5/ 5 GAL	148
RUELLIA PENINSULARIS BIA REJILLA	4x4/ 5 GAL	207
TECOMA SPP. ORANGE JUBILEE	6x6/ 5 GAL	45
<b>ACCENTS</b>		
AGAVE DESMETRIANA 'MARGATEE' SMOOTH AGAVE	3x3/ 5 GAL	36
ASCLEPIAS SUBULATA DESERT MILKWEED	3x3/ 5 GAL	21
HESPERALOE PARVIFLORA RED YUCCA	3x3/ 5 GAL	69
LOPHOCEREUS SCHOTTII VAR. MONSTROSUS TOTEM POLE CACTUS 'MONSTROSUS'	3x3/ 5 GAL	2
MUHLENBERGIA CAPILLARIS 'REGAL MIST' REGAL MIST OER GRASS	4x4/ 5 GAL	77
<b>GROUND COVER</b>		
CONVOLVULUS CHEORUM BUSH MORNING GLORY	3x2/ 1 GAL	128
LANTANA SPP. 'NEW GOLD' LANTANA	5x1/ 1 GAL	373
LANTANA MONTEVIDENSIS PURPLE TRAILING LANTANA	5x1/ 1 GAL	360
<b>MATERIAL</b>		
DECOMPOSED GRANITE 'EXPRESS GOLD' BY GRANITE EXPRESS	3/4" MINUS	
DECOMPOSED GRANITE 'EXPRESS GOLD' BY GRANITE EXPRESS	1/4" MINUS	
WEATHERED GRANITE Boulders SURFACE SELECT	1/2" - 2 TON AVE.	10

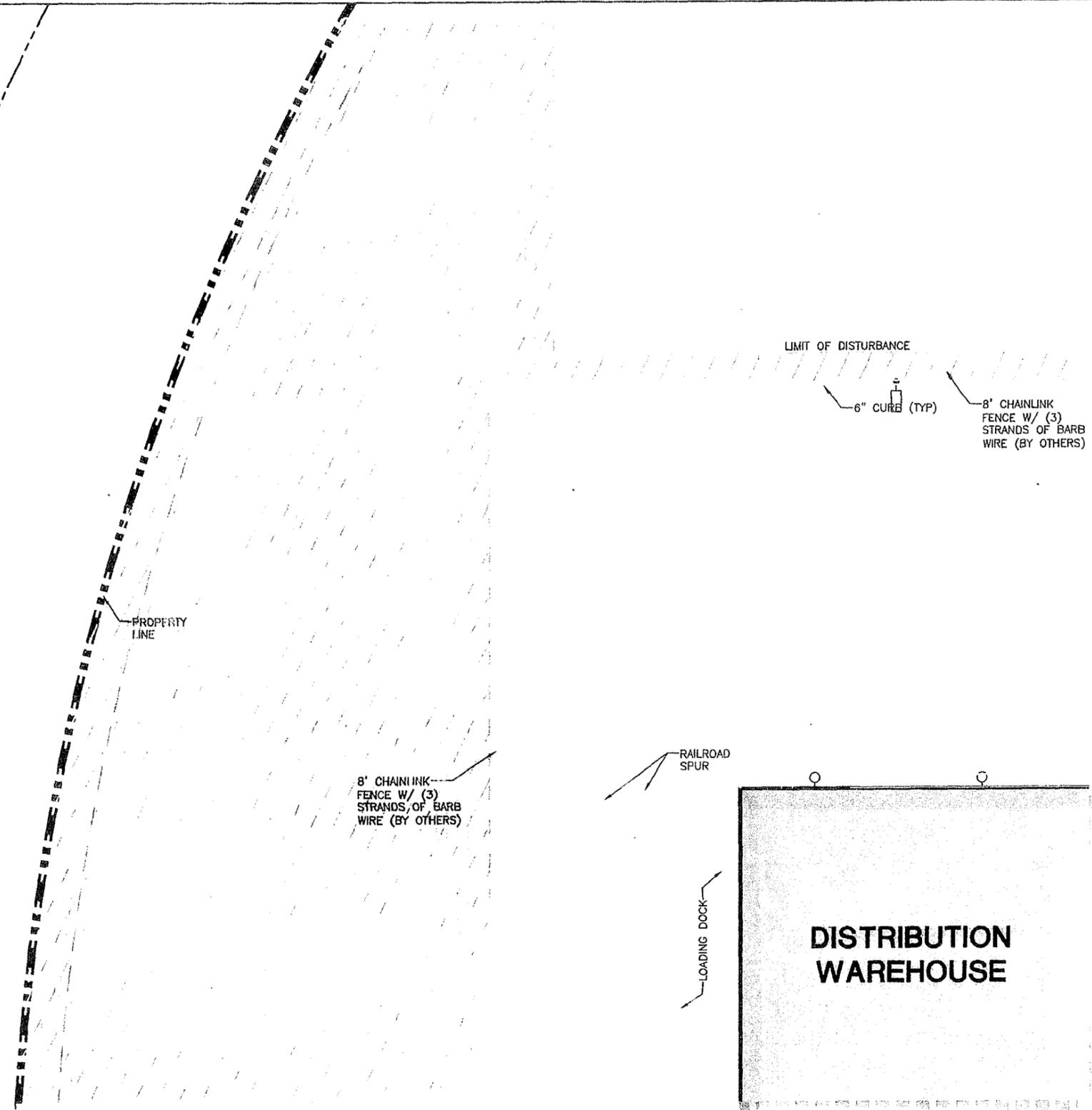
\*4% SPECIES FROM ADWR LOW WATER USE DROUGHT TOLERANT PLANT LIST  
-ALL LANDSCAPE AREAS WILL BE LANDSCAPED WHEN DEVELOPED

CASE # SPO8-062



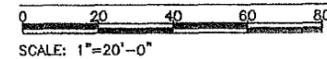
**GILMORE PARSONS**

LAND DESIGN GROUP  
2211 N. 7th Street, Phoenix, AZ 85006  
T 602.266.5022 F 602.266.5707  
www.gilmore.com



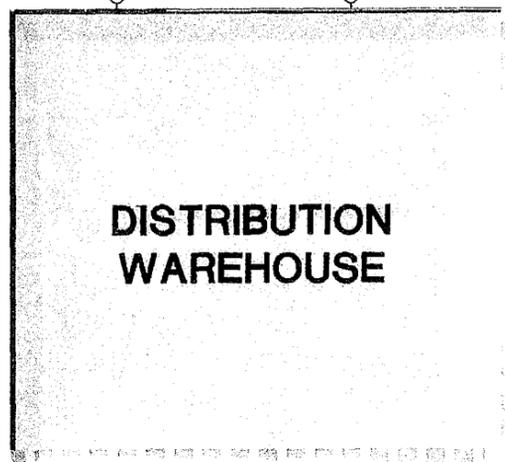
MATCHLINE SEE SHEET L-5

**LANDSCAPE PLAN**



SCALE: 1"=20'-0"

MATCHLINE SEE SHEET L-7



**CONSULTING ENGINEERS**  
ELECTRICAL: HUNTER ENGINEERING, INC. (PHOENIX, AZ) 602-998-1100  
SCOTT D. HUNTER, P.E. (PHOENIX, AZ) 602-998-1100  
MECHANICAL: TRACY ARCHITECTS, INC. (PHOENIX, AZ) 602-998-1100  
CIVIL: TRACY ARCHITECTS, INC. (PHOENIX, AZ) 602-998-1100

**CONTRACTOR:**  
ARCO National Construction Co., Inc.  
1750 SOUTH HIGHLAND AVENUE, SUITE 100  
PHOENIX, ARIZONA 85024  
PH: 602.266.5022

**LANDSCAPE ARCHITECT:**  
GILMORE PARSONS LAND DESIGN GROUP  
2211 N. 7th Street, Phoenix, AZ 85006  
PH: 602.266.5022

**NEW DISTRIBUTION FACILITY FOR:**  
CRESCENT CROWN DISTRIBUTING  
15000 W. BAYVIEW ROAD & SWEETWATER AVE  
SUPERIOR, ARIZONA

**PROFESSIONAL SEAL:**  
STEPHEN C. PARSONS  
LANDSCAPE ARCHITECT  
34188  
3188  
3188  
3188

**JOB NO:** 09022  
**DRAWN BY:** TAB  
**ISSUE DATE:** 02/08/06

**REVISIONS**

**SHEET NUMBER**  
L-8







THE HOTEL  
MADRID  
DESIGNED BY  
J. L. GONZALEZ  
1929



DEPARTMENT OF THE AIR FORCE  
AIR EDUCATION AND TRAINING COMMAND

28 March 2008

Mr. James R. Mitchell  
Director, Community Initiatives Team  
56th Fighter Wing  
14185 West Falcon Street  
Luke AFB AZ 85309-1629

Ms. Carol Dager  
City of Surprise Planning Department  
12425 West Bell Road  
Surprise AZ 85374

Re: Case #SP08-062 Crescent Crown Distributing

Dear Ms. Dager

Thank you for the opportunity to provide comments on the Site Plan Application for Crescent Crown Distributing. Crescent Crown is located on 35 gross acres west of the northwest corner of Dysart Road and the Sweetwater alignment, adjacent to the BNSF Railroad line. Plans call for the construction of a 240,517 square foot distribution warehouse with a 25,825 square foot covered area. The site is located inside the 1988 JLUS 65 Ldn, "high noise or accident potential zone," as defined by A.R.S. § 28-8461 and is within the "territory in the vicinity of a military airport," also defined by A.R.S. § 28-8461.

As described, this distribution warehouse will not negatively impact the flying operations at Luke AFB. Since the site is located within the "territory in the vicinity of a military airport," it will be subjected to noise from approximately 165 over flights a day, with some as low as 1,500 feet above ground level. We recommend you review the sound attenuation requirements found in A.R.S. § 28-8482. In addition, a strong notification program on the part of the applicant is essential to inform the tenants about Luke AFB operations. We also recommend a review of the Luke AFB web site at <http://www.luke.af.mil>, Community Interests and Community Initiatives links, for further information.

If there are any questions, please contact my Community Planner, Mr. Bob Dubsky, at (623) 856-6195.

Sincerely

A handwritten signature in black ink, appearing to read "J. Mitchell".

JAMES R. MITCHELL

cc:

Colonel Henry M. Reed III, Vice Commander, 56th Fighter Wing



**Arizona Department of Transportation**  
**Intermodal Transportation Division**

206 South Seventeenth Avenue Phoenix, Arizona 85007-3213

Janet Napolitano  
Governor

Victor M. Mendez  
Director

Sam Elters  
State Engineer

April 17, 2008

Ms. Carol Dager  
City of Surprise Planning Department  
12425 West Bell Road, Suite D-100  
Surprise, Arizona 85374

RE: **Crescent Crown Distribution** /SP08-062/ NWC of Sweetwater and Dysart

Dear Ms. Dager:

Thank you for your notification regarding the Site Plan on the above referenced subject. After a complete review, we have concurred that at this time the proposed project will not have an impact to our highway facilities in this area.

**ADOT does reserve the right to review and comment any further development plans, changes and or additions for this site, as to any impact they may have on the State Highway System.**

Should you have any questions, you may contact me at 602-712-8876, or in writing at 205 S. 17<sup>th</sup> Avenue, Right of Way Project Management Section, MD 612E, Phoenix, Arizona 85007. Thanking you in advance for your cooperation.

Sincerely,

A handwritten signature in cursive script that reads "Annette Close".

Annette Close  
Administrative Assistant III  
Right of Way Project Management  
[aclose@azdot.gov](mailto:aclose@azdot.gov)



**SITE INFORMATION**  
**SITE PLAN # SP08-062**

ZONING : I-1 LIGHT INDUSTRIAL  
 PARCEL ID (APN) : 501-36-897

**LOT REQUIREMENTS**

	REQUIRED	PROVIDED
LOT SIZE	TBD	1,524,591 SF (35.00 acres)
LOT WIDTH	100'-0"	1122'-0"

**SETBACKS**

STREET FRONT	35'-0"	170'-0"
CORNER SIDE	30'-0"	427'-0"
INTERIOR SIDE	15'-0"	250'-0"
REAR	15'-0"	140'-0"

**LOT COVERAGE**

STRUCTURES:	0 % (0 SF)	17.47 % (266,342 SF)
PERMEABLE:	0 % (0 SF)	52.07 % (793,807 SF)
NON-PERMEABLE:	0 % (0 SF)	30.46 % (464,442 SF)

**PARKING REQUIREMENTS**

STANDARD SPACE	9' x 18' min	9' x 18'
EXPANDED SPACE	10' x 20' min	10' x 20'
COMPACT SPACE	8' x 16' min	9' x 16'
HANDICAP SPACE	13' x 18' min	13' x 20'

**CALCULATION**

OFFICE = 3 spaces / 1000 SF  
 1st flr 13,639 / 1000 minus 10% = 37 spaces  
 2nd flr 13,304 / 1000 minus 10% = 36 spaces

WAREHOUSE = 1 space / 1000 SF storage plus 1 space / max shift employees plus 1 space per company truck  
 Storage 177,148 SF minus 10% = 160 spaces  
 120 employees per max shift = 120 spaces  
 50 company trucks = 50 spaces

TOTAL REQUIRED PARKING = 403 spaces

**TOTAL PARKING PROVIDED**

Compact Spaces	= 75
Standard Spaces	= 176
Extended Spaces	= 88
Accessible Spaces	= 8
Truck Spaces	= 72

TOTAL PARKING PROVIDED = 419 spaces

**ACCESSIBLE PARKING SPACES**

Required (IBC 2006 Table 1106.1) = 8 spaces  
 Provided (Including 2 van accessible) = 8 spaces

**USE GROUPS**

S-1 Storage (First Floor Only)	226,878 SF	
B-1 Business (First floor Only)	13,639 SF	
Enclosed Footprint		240,517 SF
B-1 Business (Mezzanine)	13,304 SF	
Canopy Area	25,825 SF	
<b>Total Building Area</b>	<b>279,646 SF</b>	

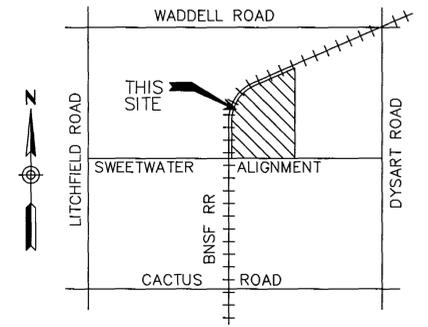
**CONSTRUCTION TYPE**

IBC Construction Type II B

**ALLOWABLE AREA & HEIGHT (per Chapter 5)**

Unlimited Area Building per Section 507  
 Maximum Height Four Stories  
 (3 stories base plus 1 story sprinkler increase)  
 Maximum Height Seventy-Five Feet (75'-0")  
 (55'-0" base plus 20'-0" sprinkler increase)

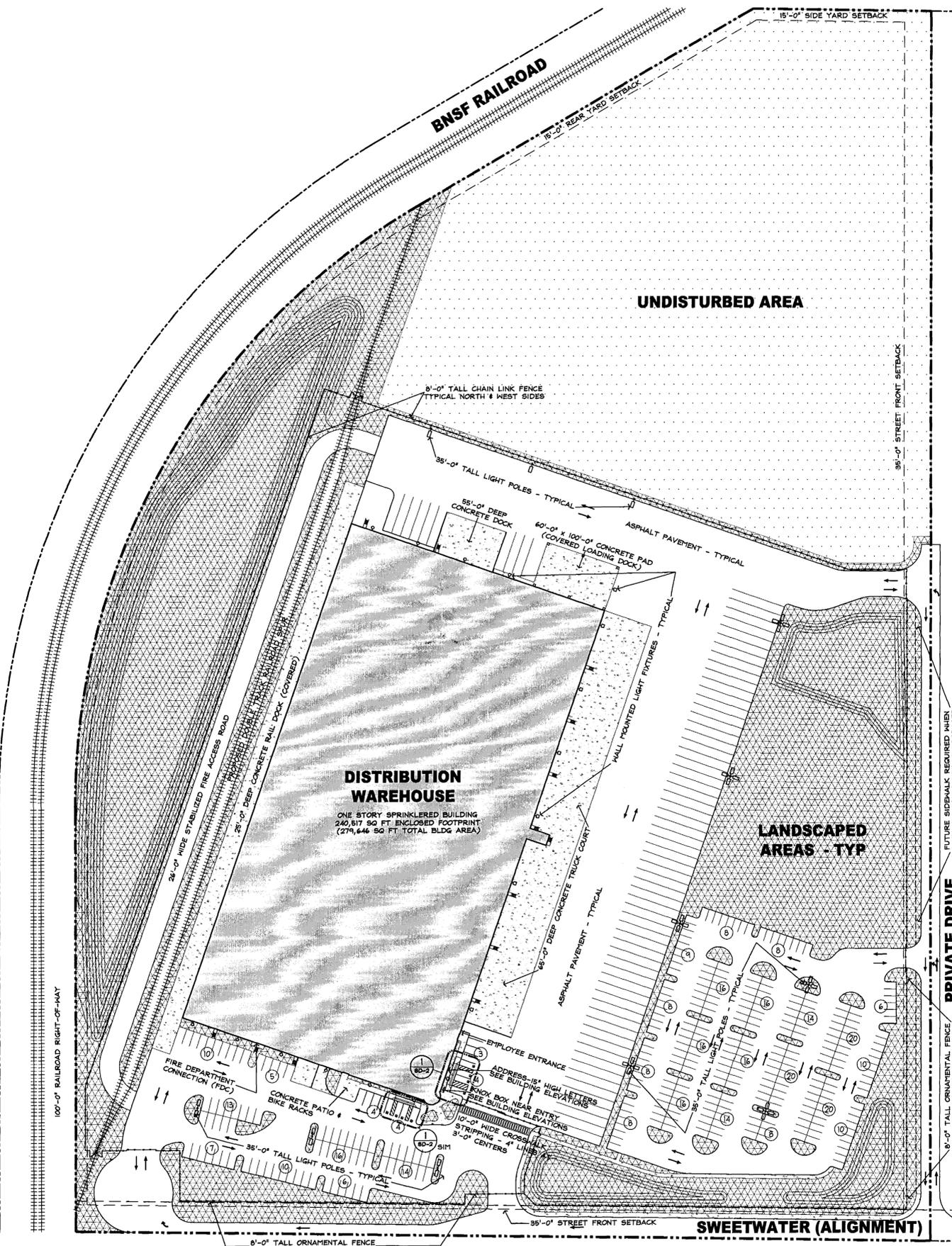
Actual Height One-Story - 44'-0" highest point



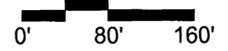
VICINITY MAP  
 NTS

**GENERAL NOTES :**

- ALL PROPOSED DEVELOPMENT PHASES DEPICTED ON THIS SITE PLAN SHALL BE PROVIDED A MINIMUM OF TWO (2) SEPARATE POINTS OF UNOBSTRUCTED ACCESS WITH A MINIMUM WIDTH OF TWENTY FEET (20'-0") INSTALLED AND MAINTAINED PURSUANT TO THE REQUIREMENTS OF THE CITY OF SURPRISE.
- ALL SIGNS, EXTERIOR AND WALL MOUNTED, SHALL BE APPROVED THROUGH SEPARATE REVIEW.



PROPOSED SITE PLAN  
 SCALE: 1" = 80'-0"



**CONSULTING ENGINEERS**  
 ELECTRICAL: VIKING ELECTRIC, INC. (P) 602-276-4888  
 CIVIL: HUNTER ENGINEERING, INC. (P) 602-276-4888  
 STRUCTURAL: HUNTER ENGINEERING, INC. (P) 602-276-4888  
 MECHANICAL: HUNTER ENGINEERING, INC. (P) 602-276-4888

**CONTRACTOR:** ARCO National Construction Co., Inc.  
 ARCHITECT: GMA ARCHITECTURAL DESIGN SERVICES  
 A DIVISION OF ARCO NATIONAL CONSTRUCTION

**RECEIVED**  
 APR 17 2008  
 COMMUNITY DEVELOPMENT

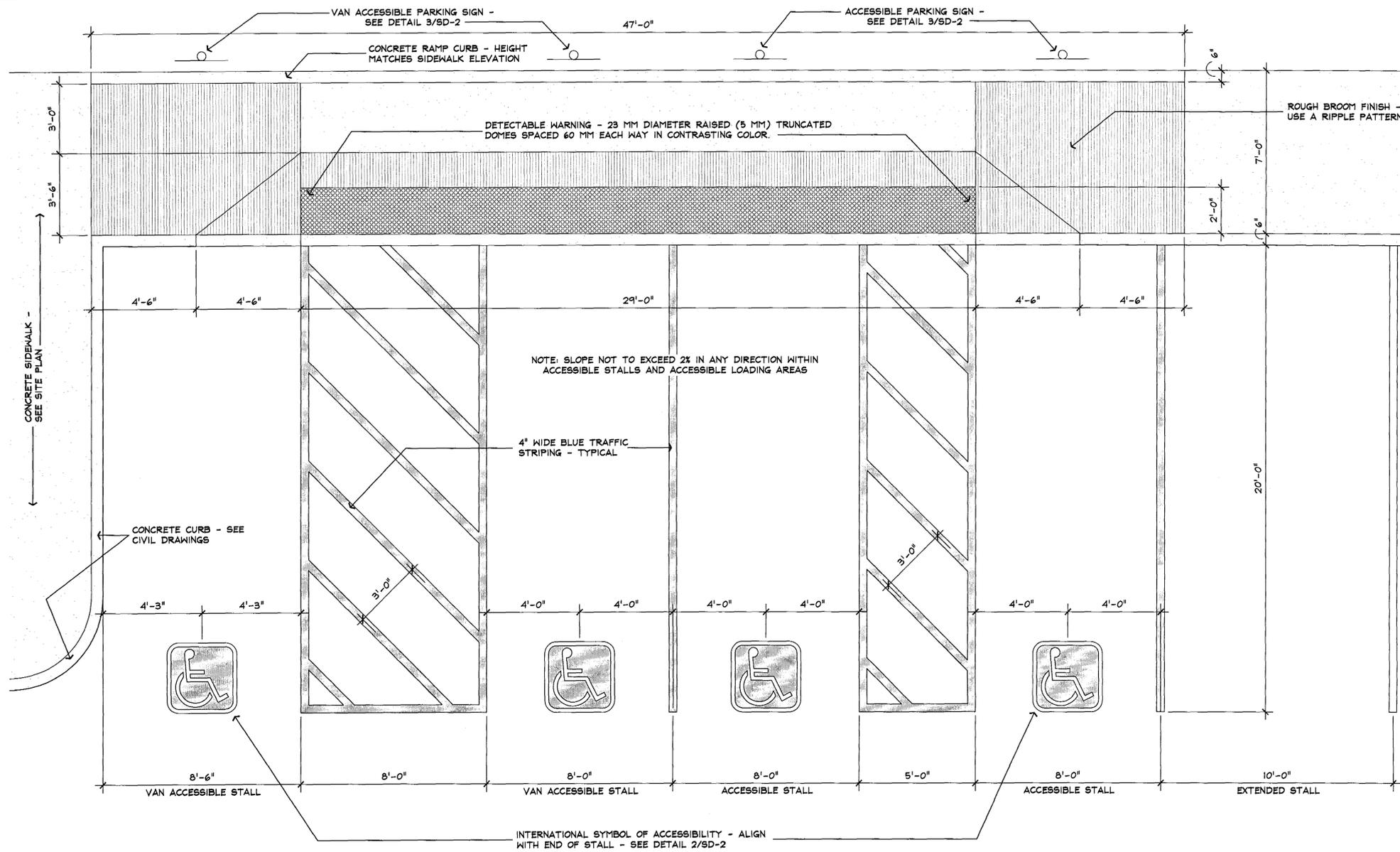
CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE DRAWINGS & SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES

JOB NO : SJ-0801  
 DRAWN BY : FCW  
 ISSUE DATE : 04-07-08

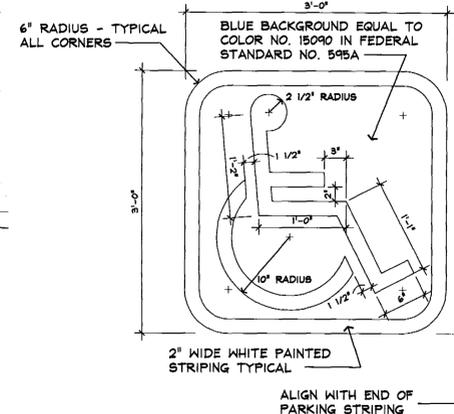
**REVISIONS**

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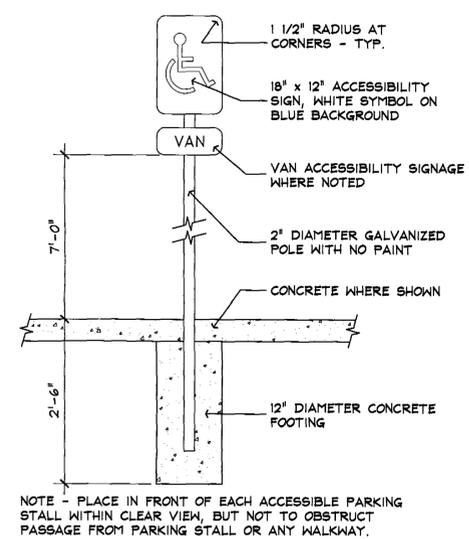
SHEET NUMBER  
**SD-1**



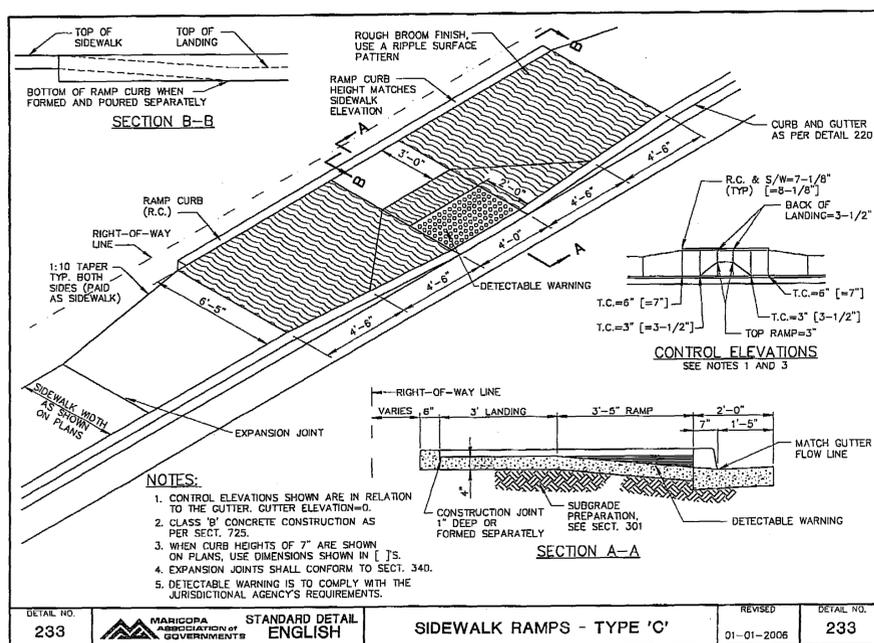
1 ACCESSIBLE PARKING STALL LAYOUT  
SD-2 SCALE: 3/8" = 1'-0"



2 ACCESSIBLE SYMBOL DETAIL  
SD-2 SCALE: 1" = 1'-0"



3 ACCESSIBLE SIGN DETAIL  
SD-2 SCALE: 3/4" = 1'-0"



CONSULTING ENGINEERS  
ELECTRICAL: HUNTER ENGINEERS, INC. 10450 N. 47TH STREET, SUITE 200 SCOTTSDALE, AZ 85258 (PH) 314-982-0715  
STRUCTURAL: TUNNILL & ASSOCIATES 177 CHESTERFIELD INDUSTRIAL BLVD. CHESTERFIELD, MO 63015 (PH) 636-533-3999  
MECHANICAL: WEGMANN & ASSOCIATES 27 CHERRY LANE, WILMINGTON, DE 19801 (PH) 302-438-1100  
FIRE PROTECTION: ALLIANCE FIRE PROTECTION 7114 E. CEDAR STREET, DENVER, CO 80231 (PH) 303-733-1055  
CIVIL: WEGMANN & ASSOCIATES 27 CHERRY LANE, WILMINGTON, DE 19801 (PH) 302-438-1100

CONTRACTOR: ARCO National Construction Co., Inc. 1750 SOUTH BRENTWOOD, SUITE 802 COVINGTON, MISSOURI 63044 (PH) 314-982-0715  
ARCHITECT: GMA DESIGN GROUP, INC. 1750 SOUTH BRENTWOOD, SUITE 801, COVINGTON, MISSOURI 63044 (PH) 314-982-0715  
ARCHITECT OF RECORD: GMA DESIGN GROUP, INC. 1750 SOUTH BRENTWOOD, SUITE 801, COVINGTON, MISSOURI 63044 (PH) 314-982-0715

NEW DISTRIBUTION FACILITY FOR: PRESCENT CROWN DISTRIBUTING  
DYSART ROAD & SWEETWATER AVE SURPRISE, ARIZONA

I CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE DRAWINGS & SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES

JOB NO.: SJ-0801  
DRAWN BY: FCW  
ISSUE DATE: 04-07-08

REVISIONS	
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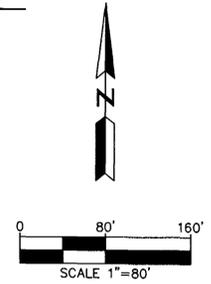
SHEET NUMBER SD-2

# CONCEPT DIMENSION PLAN CRESCENT CROWN

A PORTION OF THE NORTH HALF OF SECTION 15  
TOWNSHIP 3 NORTH, RANGE 1 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN,  
MARICOPA COUNTY, ARIZONA

WADDELL ROAD

APN#501-38-007E



LOT 11

### NOTE

ALL PROPOSED DEVELOPMENT PHASES DEPICTED ON THIS SITE PLAN SHALL BE PROVIDED A MINIMUM OF TWO (2) SEPARATE POINTS OF UNOBSTRUCTED ACCESS WITHIN A MINIMUM WIDTH OF TWENTY (20) FEET, INSTALLED AND MAINTAINED PURSUANT TO THE REQUIREMENTS OF THE CITY OF SURPRISE.

NO.	DATE	REVISION	BY

DESIGN BY: CRW  
DRAWN BY: LDE  
CHECKED BY: JDE

CIVIL AND SURVEY  
**HUNTER**  
ENGINEERING  
10450 N. 74TH ST. SUITE 200  
SCOTTSDALE, AZ 85258  
T 480 991 3966  
F 480 991 3966



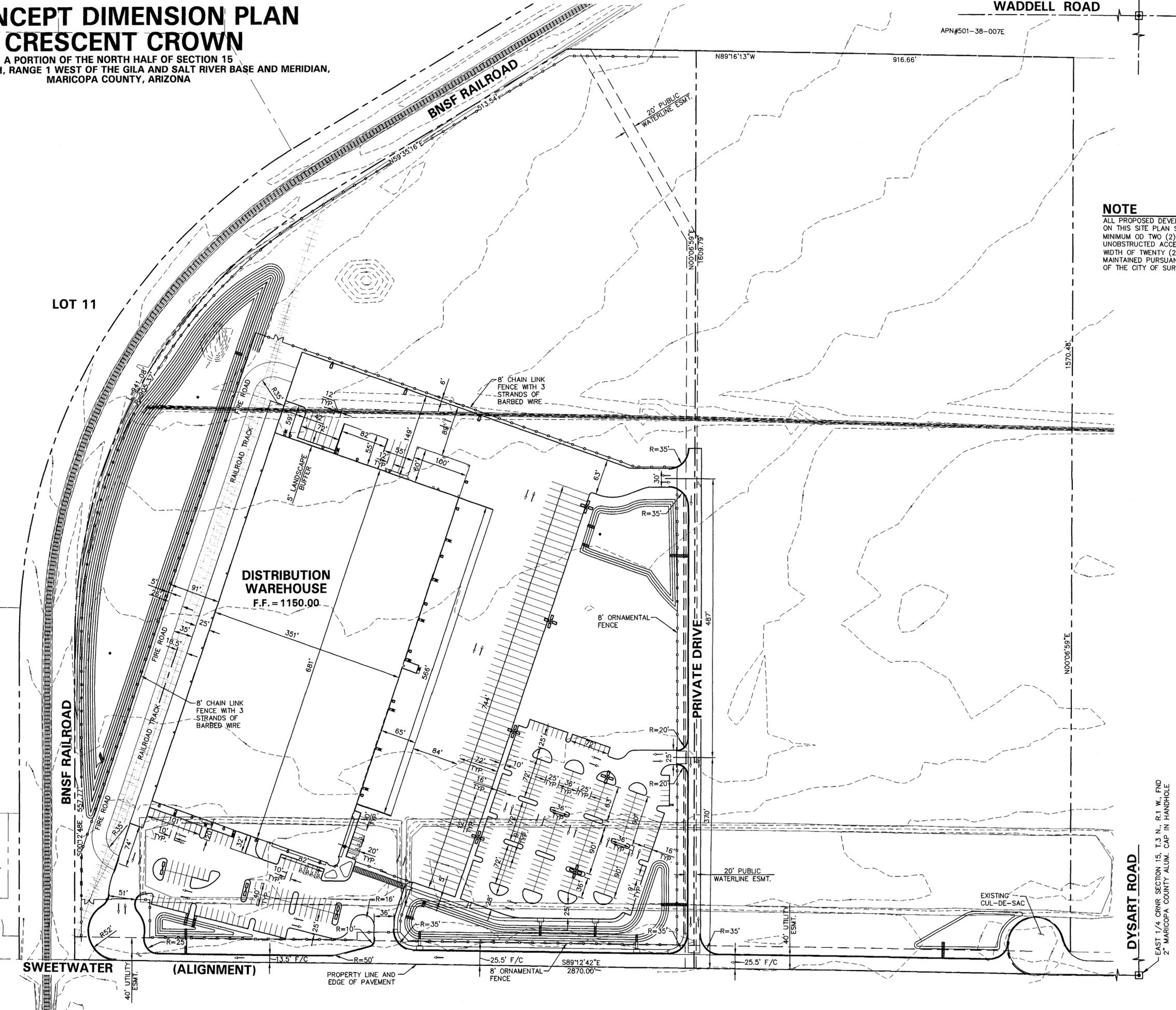
CONCEPT DIMENSION PLAN  
FOR  
**CRESCENT CROWN**  
**SWC DYSART & WADDELL ROADS**  
**SURPRISE, ARIZONA**

THESE PLANS ARE NOT APPROVED FOR CONSTRUCTION WITHOUT AN APPROVED SIGNATURE FROM THE GOVERNING MUNICIPALITY.

HE JOB NO.: CSNT001

SCALE 1"=80'

SHEET 1 OF 1



LOT 10

LITCHFIELD ROAD  
WEST 1/4 CRNR SECTION 15, T.3 N., R.1 W., FND  
2" MARICOPA COUNTY ALUM. CAP IN HANDHOLE

WELLSITE TRACT "A"

SWEETWATER (ALIGNMENT)

PROPERTY LINE AND EDGE OF PAVEMENT

8" ORNAMENTAL FENCE

8" CHAIN LINK FENCE WITH 3 STRANDS OF BARBED WIRE

8" CHAIN LINK FENCE WITH 3 STRANDS OF BARBED WIRE

8" ORNAMENTAL FENCE

EXISTING CUL-DE-SAC

DYSART ROAD

EAST 1/4 CRNR SECTION 15, T.3 N., R.1 W., FND  
2" MARICOPA COUNTY ALUM. CAP IN HANDHOLE

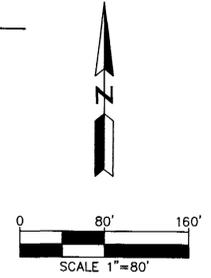


# CONCEPT UTILITY PLAN CRESCENT CROWN

A PORTION OF THE NORTH HALF OF SECTION 15  
TOWNSHIP 3 NORTH, RANGE 1 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN,  
MARICOPA COUNTY, ARIZONA

APN#501-38-007E

WADDELL ROAD



NO.	DATE	REVISION	BY

PURPOSE: **PROGRESS SET 3/21/08**

DESIGN BY: J.M.H.  
DRAWN BY: W.J.C.  
CHECKED BY: J.M.H.

**HUNTER**  
ENGINEERING  
10450 N. 74TH ST., SUITE 200  
SCOTTSDALE, AZ 85258  
T 480 991 3985  
F 480 991 3986

CIVIL AND SURVEY



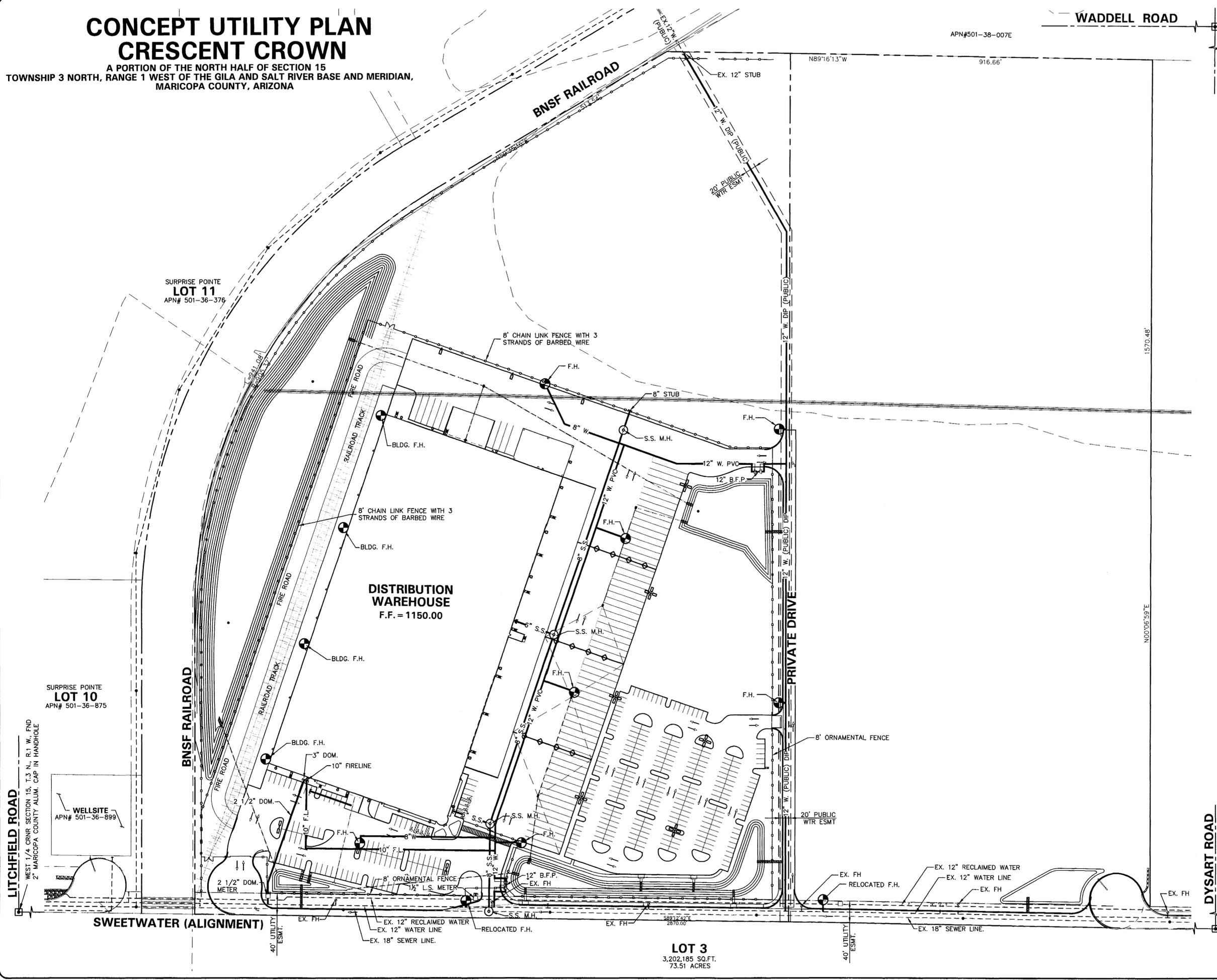
**CONCEPT UTILITY PLAN  
FOR  
CRESCENT CROWN  
SWC DYSART & WADDELL ROADS  
SURPRISE, ARIZONA**

THESE PLANS ARE NOT APPROVED FOR CONSTRUCTION WITHOUT AN APPROVED SIGNATURE FROM THE GOVERNING MUNICIPALITY.

HE JOB NO.: CSNT001

SCALE 1"=80'

SHEET 2 OF 2



**LOT 3**  
3,202,185 SQ.FT.  
73.51 ACRES

**CITY OF SURPRISE  
COMMUNITY DEVELOPMENT DEPARTMENT**

**SPA08-022**

**Site Plan Amendment**

for:

**Greenway Retail/Office Center**

**PLANNING AND ZONING COMMISSION**

Hearing Date: **May 20, 2008**

<b>STAFF:</b>	Adam Copeland, 623.222.3137
<b>LOCATION:</b>	Generally on the NWC of Greenway Road and Reems Road.
<b>DESCRIPTION OF THE REQUEST:</b>	Approval of a Site Plan Amendment.
<b>SUMMARY ANALYSIS:</b>	The applicant is requesting a Site Plan Amendment Approval.

<b>SUGGESTED MOTION:</b>	<b>I move to approve SPA08-022, a Site Plan Amendment for Greenway Retail/Office Center, and to adopt staff's findings and stipulations 'a' through 'd.'</b>
--------------------------	--------------------------------------------------------------------------------------------------------------------------------------------------------------

**City of Surprise  
Planning and Zoning Division**

**EXECUTIVE SUMMARY**

**SPA08-022  
Greenway and Reems Retail/Office**

<b>APPLICANT:</b>	Kurt Frimodig The Bosley Group 20624 N. Cave Creek Rd. #142 Phoenix, AZ 85024 P: 602.795.6718 F: 602.795.6908 <a href="mailto:kfrimodig@bosleygrp.com">kfrimodig@bosleygrp.com</a>
<b>OWNER:</b>	Philip Marvin P.O. Box 2055 Eugene, OR 97402 P: 541.302.1778 F: 541.345.1181 <a href="mailto:plm@m3cre.com">plm@m3cre.com</a>
<b>HEARING DATE:</b>	May 20, 2008
<b>STAFF:</b>	Adam Copeland
<b>LOCATION:</b>	Generally on the NWC of Greenway Road and Reems Road
<b>DESCRIPTION of the REQUEST:</b>	Approval of a Site Plan Amendment
<b>STAFF RECOMMENDATION:</b>	Approval
<b>SUMMARY ANALYSIS:</b>	The applicant is requesting a Site Plan Amendment approval.

**HISTORY**

1. On July 18, 2006 the Planning and Zoning Commission approved the Greenway and Reems Retail/Office Center master site plan.

**STAFF ANALYSIS****Proposal:**

The applicant is requesting approval of a 10,200 S.F. daycare building, which includes a 15,089 S.F. play yard. This proposition would change a portion of the originally approved master site plan from a mix of office buildings to a daycare building. The project is located within the Mountain Vista Ranch Planned Area Development.

**Circulation:**

Access to the site will be primarily from Reems Road to the east and Greenway Road to the south. Parking for the daycare is shown on the south and east sides of the building. During peak hours at drop-off and pick-up times, higher traffic counts are expected.

To accommodate people who walk to the daycare, a pedestrian network is strategically placed throughout the site, allowing for important connections between buildings and to perimeter sidewalks.

**Architecture:**

The design of the Greenway Retail Offices A, B and D are consistent with the goals and ideas set forth in the Planning and Design Guidelines. This project visually connects with the contemporary architectural elements of the previously approved design for Greenway Retail. Site orientation has been properly addressed, by locating the main entrance of the building along Reems Road.

Building materials consist primarily of split-face concrete block and a material that resembles stucco. Cultured stone accents are used at the base of the columns and pilasters. The roofing system is comprised of a parapet and concrete tile roof. An entrance tower element is the prominent feature that is repeatedly used throughout the Greenway Retail Project. This building, in particular, utilizes the clerestory windows to filter some daylight into the interior. Wrought Iron detailing and lattice screens are used to identify with the existing buildings. Similarly, metal shading devices are positioned over all windows. Although not needed on all sides, it does provide maximum shading and provides a unifying element, in terms of building design.

**Landscape:** The landscape design is consistent with the landscaping approved on the master site plan.

**Location:** The building is setback approximately 60 feet from any residential property line. The code allows a 45 ft. building setback to a residentially zoned area. To the north is open space and single-family residential housing.

**Departmental Review:**

All departments have recommended approval of the project subject to all stipulations.

**Traffic Division:** The Traffic Division requested that the Traffic Impact Analysis accurately match the use proposed. The applicant revised and addressed all concerns.

Fire Department: No Comments.

Planning Division: The Planning Division had concerns on pedestrian connectivity from the parking lot to the front entrance. The applicant revised the plan including a ramp along the loading area to allow for mothers with strollers and persons with disabilities to access the sidewalk around the building to the front entrance without walking in the street.

Building Safety Division: The Building Safety Division had standard comments.

Water Services Department: The Water Services Department provided standard comments.

Engineering Department: The Engineering Department had comments on technical issues related to the drainage of the site.

### **FINDINGS**

1. Staff finds that the proposed Site Plan Amendment complies with Section 125-33 Procedures for site plan approval of the Surprise Municipal Code.

### **STIPULATIONS**

**REQUIRED ACTIONS.** The applicant and/or owner shall comply with the following stipulations of Case SPA08-022, Greenway and Reems Retail/Office.

- a. The egress gate from the play area is to be located on the west or southwest portion of the play area away from the building.
- b. All hardware for the gate, access to the gate, and the gate itself shall comply with all applicable city codes at the time of building permit application.
- c. All parcel numbers shall be active prior to submittal of any building permit and shall stay active throughout the construction process until a Letter of Compliance and/or Certificate of Occupancy is issued. Any subdivision or lot split shall be reviewed and approved by the City of Surprise prior to recordation with Maricopa County.
- d. Per the code requirement the building shall be occupied by no more than 260 children.

# Office A, B, and C Site Plan amendment and Daycare Conditional Use Permit





DEPARTMENT OF THE AIR FORCE  
AIR EDUCATION AND TRAINING COMMAND

19 February 2008

Mr. James R. Mitchell  
Director, Community Initiatives Team  
56th Fighter Wing  
14185 West Falcon Street  
Luke AFB AZ 85309-1629

Ms. Carol Dager  
City of Surprise Planning Department  
12425 West Bell Road  
Surprise AZ 85374

Re: Case #SPA08-022 and CUP08-023 Greenway and Reems Offices A, B & D

Dear Ms. Dager

Thank you for the opportunity to comment on the Site Plan Amendment and Conditional Use Permit Application for the Greenway and Reems Offices A, B, and D. The site is located on 10.23 gross acres at the northwest corner of Reems and Greenway Roads. The amendment is to revise the development area to construct a 10,200 square foot daycare building and related 15,089 square foot play yard in lieu of the previously approved and permitted Office Condo's A, B, and D. The Office Condo C will remain as planned. The site is located approximately 2 miles outside the 1988 JLUS 65 Ldn, "high noise or accident potential zone," as defined by A.R.S. § 28-8461 and is within the "territory in the vicinity of a military airport," also defined by A.R.S. § 28-8461.

As described, the Amendment Application for the Daycare Center will not negatively impact flying operations at Luke AFB. Since the Center is located within the "territory in the vicinity of a military airport," it will be subjected to noise from approximately 165 over flights a day, with some as low as 1,500 feet above ground level. We recommend you review the sound attenuation requirements found in A.R.S. §28-8482. In addition, a strong notification program on the part of the applicant is essential to inform potential tenants about Luke AFB operations. We also recommend a review of the Luke AFB web site at <http://www.luke.af.mil>, Community Interests and Community Initiatives links, for further information.

If there are any questions, please contact my Community Planner, Mr. Bob Dubsy, at (623) 856-6195.

Sincerely

A handwritten signature in black ink, appearing to read "James R. Mitchell", written over a horizontal line.

JAMES R. MITCHELL

cc:  
Colonel Henry M. Reed III, Vice Commander, 56th Fighter Wing



# Arizona Department of Transportation

## Intermodal Transportation Division

206 South Seventeenth Avenue Phoenix, Arizona 85007-3213

Janet Napolitano  
Governor

Victor M. Mendez  
Director

Sam Elters  
State Engineer

March 26, 2008

Ms. Carol Dager  
City of Surprise Planning Department  
12425 West Bell Road, Suite D-100  
Surprise, Arizona 85374

RE: Greenway & Reems Office A, B & D / CUP08-023 & SPA08-022 / NWC of  
Greenway and Reems Road

Dear Ms. Dager:

Thank you for your notification regarding the Conditional Use Permit and Site Plan Amendment on the above referenced subject. After a complete review, we have concurred that at this time the proposed project will not have impact on our highway facilities in this area.

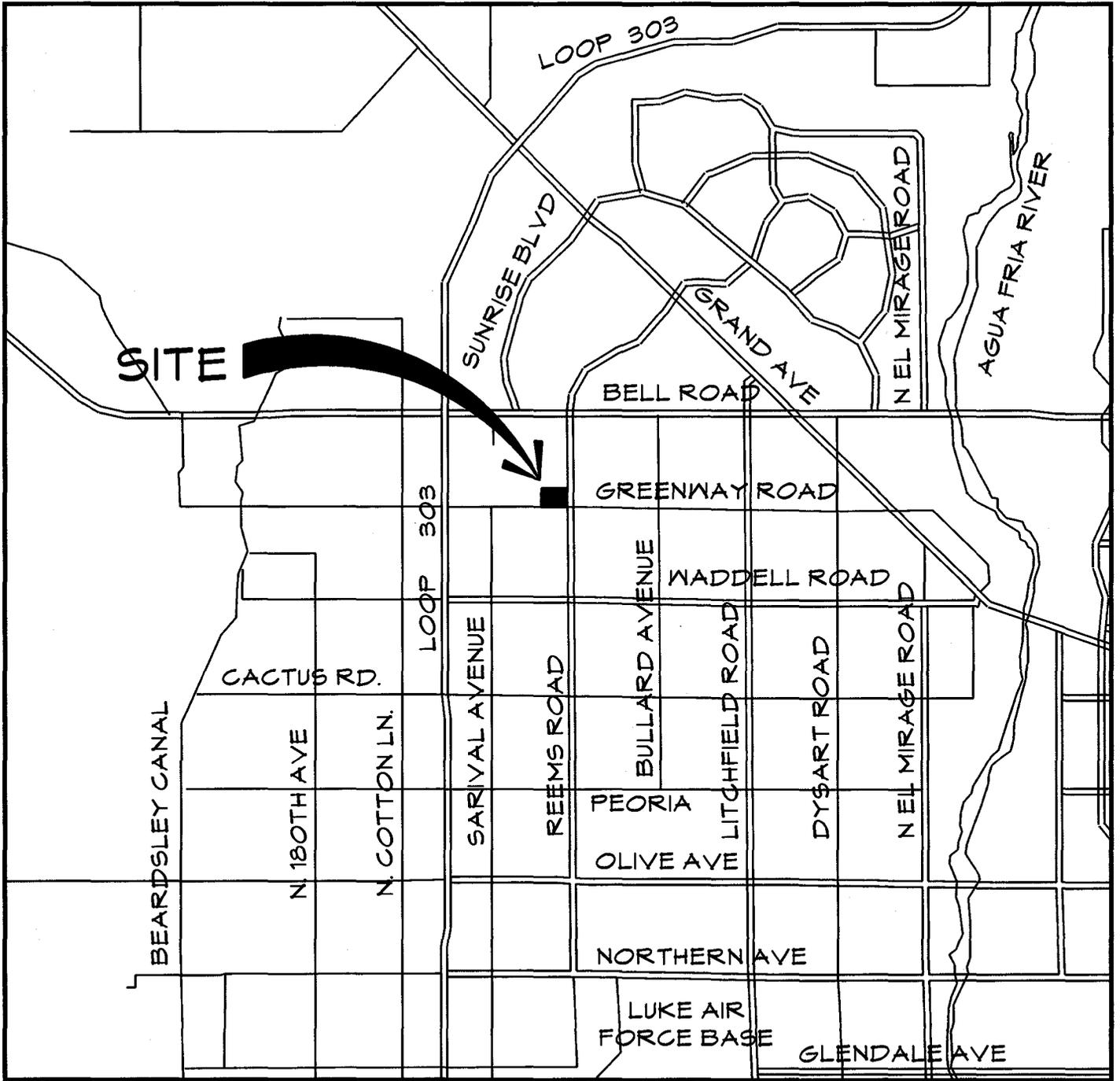
**ADOT does reserve the right to review and comment any further development plans, changes and or additions for this site, as to any impact they may have on the State Highway System.**

Should you have any questions, you may contact me at 602-712-8876, or in writing at 205 S. 17<sup>th</sup> Avenue, Right of Way Project Management Section, MD 612E, Phoenix, Arizona 85007. Thanking you in advance for your cooperation.

Sincerely,

Annette Close  
Administrative Assistant III  
Right of Way Project Management  
[aclose@azdot.gov](mailto:aclose@azdot.gov)





# VICINITY MAP



NORTH

## Project Narrative:

### Greenway and Reems, Offices A,B and D

### 15576 N. Reems Rd., Surprise AZ, Site Plan Amendment

The following request is to modify an existing development plan approval and create a site plan amendment package for City review and approval for the above stated project.

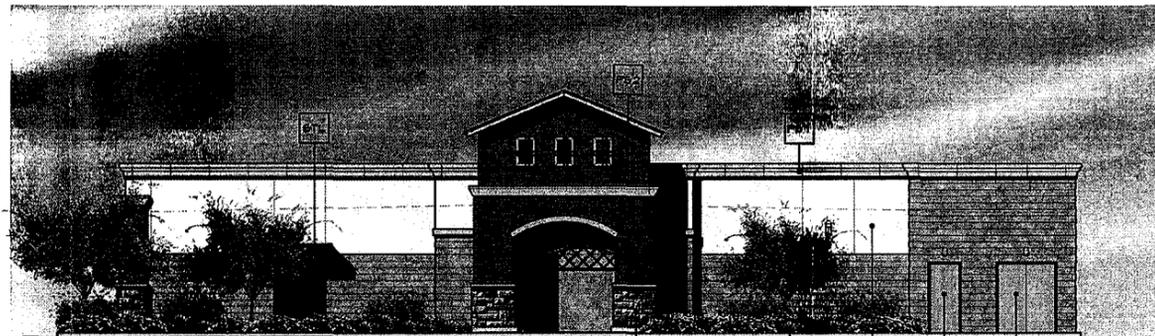
The scope of work is to revise the Office Condo development area to construct a 10,000 s.f. daycare building and the related 15,000 s.f. play yard in lieu of the previously approved and permitted Office Condo's A, B, and D. The partial plan reflects the changes to the development plans as requested leaving the Office Condo C in the currently approved location with no modifications to the building package which has been permitted for construction.

The modifications will be limited to the Northwest portions of the Site with-in the driveway boundaries already approved and permitted for construction. The proposed driveway access points and pedestrian circulation points established with the existing development will be maintained with this revision request. Landscaping, lighting and engineering will be modified to accommodate this request as well with the development packages to be submitted for permit issuance.

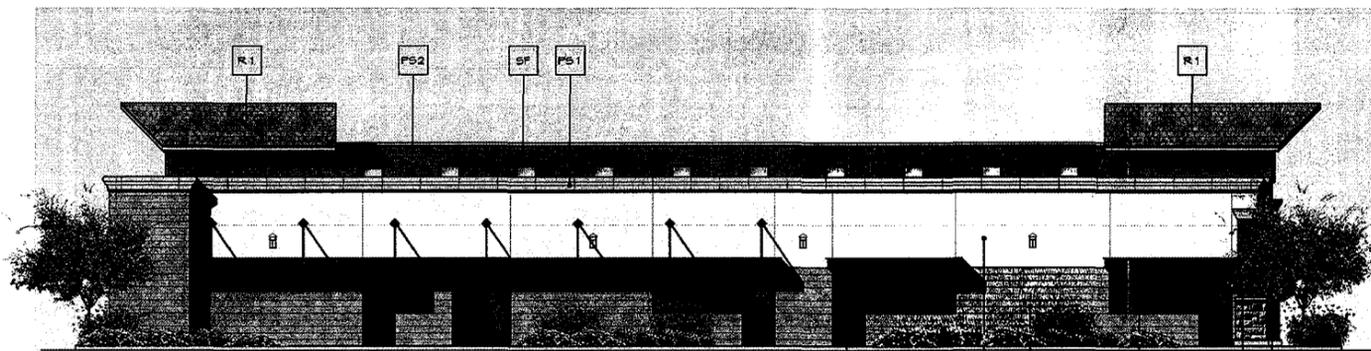
The Daycare use is allowed under the current zoning, but is subject to a conditional use permit that will be applied for concurrently with the Site plan amendment package. The Daycare building will be submitted for review and approval for permitting under a separate process when those plans are available.



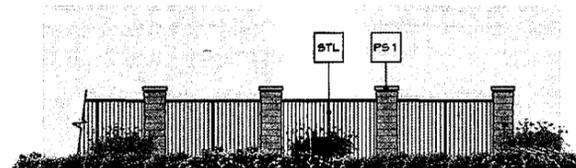
1 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



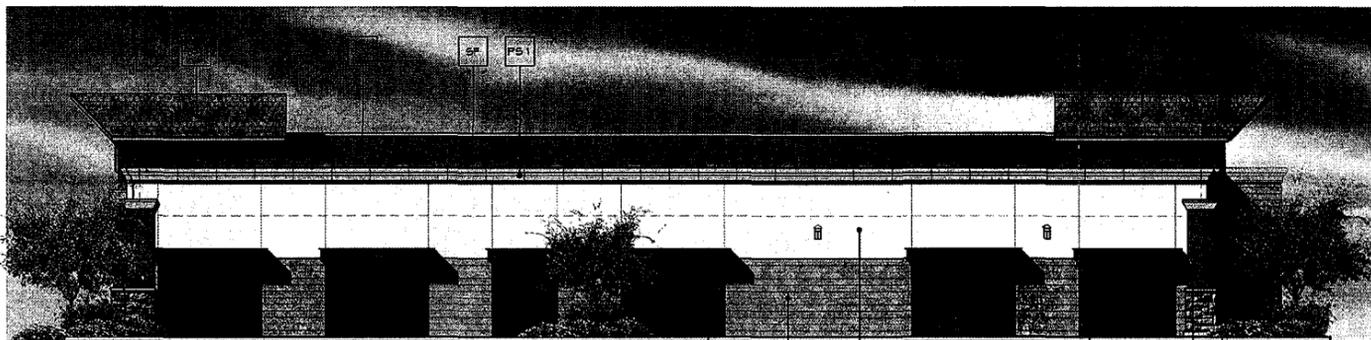
2 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



5 PLAY YARD FENCE  
SCALE: 1/8" = 1'-0"



4 EAST ELEVATION  
SCALE: 1/8" = 1'-0"

ELEVATION NOTES

1. GENERAL CONTRACTOR TO VERIFY THE MOUNTING HEIGHT WITH ARCHITECT PRIOR TO INSTALLATION OF ALL PERIMETER LIGHTING.
2. BUILDING ADDRESS CHARACTERS ARE TO BE A MINIMUM OF 12" IN HEIGHT BY 1" STROKE AND BE IN CONTRAST TO THE BUILDING COLORS. ADDRESS LETTERS SHALL BE VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY AND IF REQUIRED, ON ALL FIRE DEPARTMENT APPROACHES.
3. INTERIOR OF PARAPETS TO BE PAINTED TO MATCH FRONT FACE OF THE SAME WALL (TYP.)
4. ALL ROOF MOUNTED EQUIPMENT SHALL BE SCREENED FROM VIEW PER CITY OF SURPRISE REQUIREMENTS.
5. ALL SIGNAGE TO BE UNDER SEPARATE SUBMITTAL AND PERMIT.

ELEVATION FINISH SCHEDULE

PS1	PAINTED STUCCO, 'SHAGGY BARKED' DE6111	R1	CONCRETE ROOF TILE 'MARBLE TERRA COTTA'
PS2	PAINTED STUCCO, 'COCONUT SHELL' DE6202	HMD	PAINTED H.M. DOOR & FRAME 'HANDOVEN' DE6200
PS3	PAINTED STUCCO, 'CREAM WAVE' DE6198	SF	DARK BRONZE STOREFRONT W/ INSULATED GLAZING
M1	SPLIT FACE CMU, PAINTED, 'HANDOVEN' DE6200		
M2	CULTURED STONE VENEER 'CEDAR LIMESTONE' CSV-2044		
STL	PAINTED STEEL CANOPY / FENCE 'WEATHERED LEATHER' DE6105		

The Bosley Group, Inc.  
20624 N. Cave Creek Road  
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Phoenix, AZ 85024  
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(602) 795-6908 fax  
www.bosleygrp.com

the **BOSLEY** Group, Inc.  
architects

OFFICE A, B & D SITE AMEND.  
NWC GREENWAY ROAD & REEMS ROAD  
SURPRISE, ARIZONA 85374

REVISIONS:

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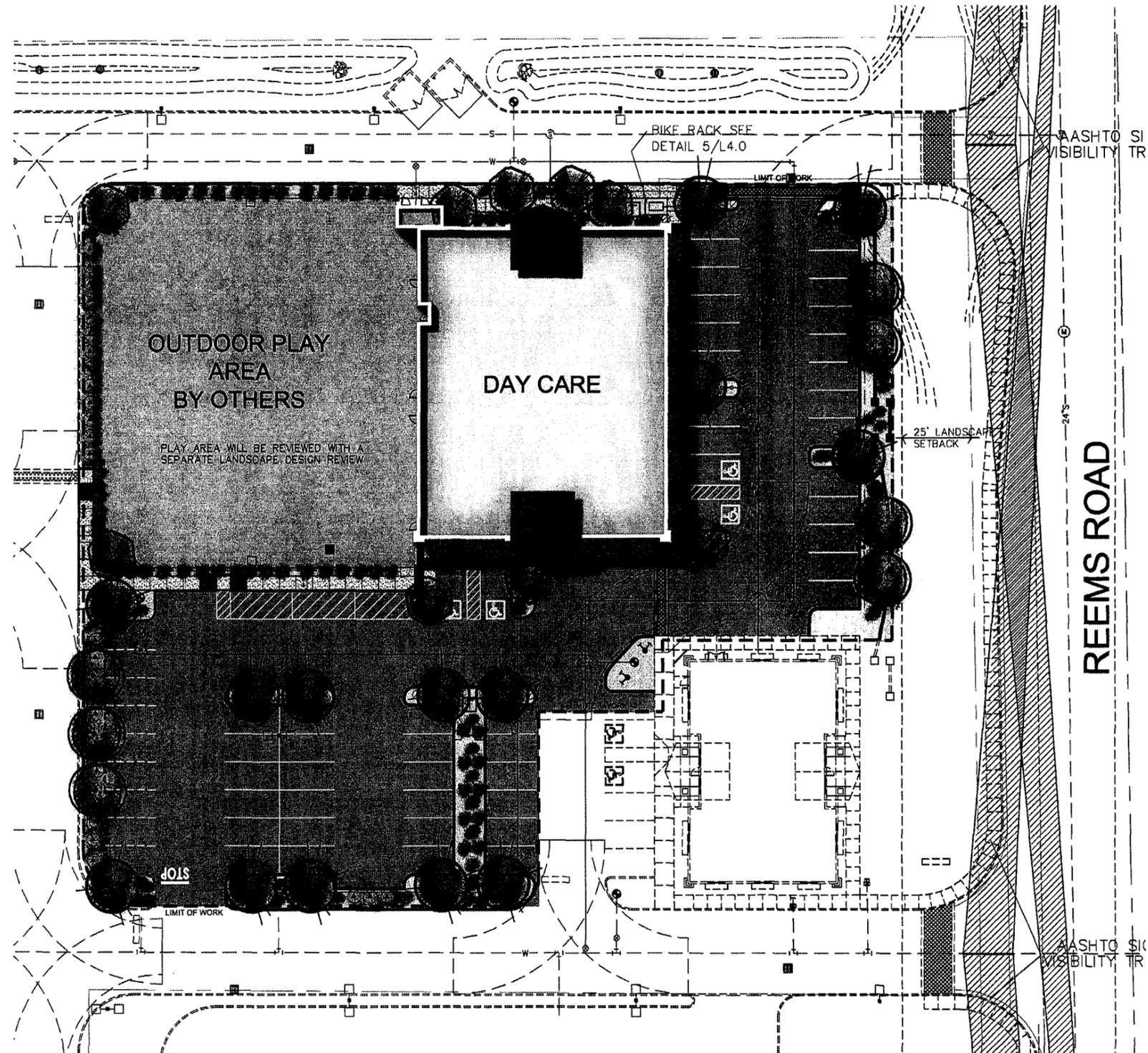
07043

DATE:

01.21-08

SHEET NUMBER:

A-1



PLANT MATERIAL LEGEND

KEY	SYMBOL	BOTANICAL/COMMON NAME	SIZE (Height, Canopy, & Caliper)	QUANT.
<b>TREES</b>				
1	(Symbol)	Cercidium floridum 'Desert Museum' / Desert Museum Palo Verde	36" Box 10' 8' 2.5" Double-Staked Typ.	7
2	(Symbol)	Nerium Oleander 'Sister Agnes' / Standard Oleander	24" Box 8' 5' 1.5" Double-Staked Typ.	0
3	(Symbol)	Prosopis hybrid 'Phoenix' / Thornless Hybrid Mesquite	48" Box 12' 8' 3" / 24" Box 8' 6' 1.5" Double-Staked Typ.	8
4	(Symbol)	Quercus virginiana / Heritage Live Oak	48" Box 16' 10' 4" Double-Staked Typ.	9
<b>LARGE SHRUBS</b>				
5	(Symbol)	Eremophila 'Valentine' / Valentine Bush	5 Gallon	12
6	(Symbol)	Leucophyllum langmaniae 'Rio Bravo' / Rio Bravo Texas Sage	5 Gallon	24
<b>MEDIUM AND SMALL SHRUBS</b>				
7	(Symbol)	Dalea frutescens / Black Dalea	5 Gallon	24
8	(Symbol)	Muhlenbergia capillaris 'Regal Mist' / Regal Mist Deer Grass	5 Gallon	35
9	(Symbol)	Ruellia peninsularis / Baja Ruellia	5 Gallon	10
<b>GROUNDCOVERS</b>				
10	(Symbol)	Convolvulus cneorum / Bush Morning Glory	1 Gallon	22
11	(Symbol)	Lantana m. 'New Gold' / New Gold Lantana	1 Gallon	55
<b>ACCENTS</b>				
12	(Symbol)	Agave geminiflora / Twin Flowered Agave	5 Gallon	6
13	(Symbol)	Hesperaloe funifera / Giant Hesperaloe	5 Gallon	7
14	(Symbol)	Yucca recurvifolia / Curved Leaf Yucca	5 Gallon	8
<b>LANDSCAPE MATERIALS</b>				
15	(Symbol)	Decomposed Granite / Desert Gold	1/2" size screened / 2" Deep	

- NOTES:
- QUANTITIES SHOWN FOR CITY APPROVAL ONLY, LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO LOCATE PLANT MATERIAL PER PLANS, NOT LEGEND.
  - DECOMPOSED GRANITE TO OCCUR IN ALL AREAS TO BE PLANTED EXCEPT TURF, FRACTURED ROCK, AND HARDSCAPE/PAVED AREAS, UNLESS OTHERWISE NOTED ON PLANS
  - SMALLER TREE SIZE TO TAKE PRECEDENCE, UNLESS NOTED ON PLANS
  - PLANT MATERIAL SHALL BE A MINIMUM OF 7-FT CLEAR OF ALL FIRE HYDRANTS. NO PLANT MATERIAL SHALL BE PLACED BETWEEN THE FIRE HYDRANT AND THE CURB. LANDSCAPE CONTRACTOR TO FIELD VERIFY FINAL LOCATION OF ALL FIRE HYDRANTS.

LANDSCAPE SITE PLAN NOTES:  
 ALL CHANGES TO BE APPROVED BY THE CITY OF SURPRISE COMMUNITY DEVELOPMENT DEPARTMENT.  
 SIGN REQUIRE A SEPARATE PERMIT.  
 ALL UTILITY BOXES AND STRUCTURES ARE TO BE SCREENED FROM VIEW.  
 PLANT MATERIAL IS NOT TO BE LOCATED WITHIN 3 FEET OF ANY FIRE HYDRANT OR FIRE DEPARTMENT CONNECTION.  
 TREES IN PAVED AREAS ARE TO HAVE DEEP ROOT BARRIERS.  
 ALL PLANT MATERIAL LOCATED WITHIN AASHTO VISABILITY TRIANGLES ARE TO BE MAINTAINED NO HIGHER THEN 2 FEET HIGH, AND HANG NO LOWER THAN 7 FEET FROM GROUND CORE ELEVATION DEPARTMENT CONNECTION.  
 ALL PLANT MATERIAL SIZES ARE TO BE CONSISTENT WITH ANA STANDARDS.

LANDSCAPE CALCULATIONS:

TREE SIZE RATIO:	48" BOX (50%) 15	
	36" BOX (25%) 8	
	24" BOX (25%) 7	
OVERALL LANDSCAPE AREA:	NET SITE AREA 64,484 SQ FT	
	LANDSCAPE AREA 21,372 SQ FT	33% COVERAGE
TREE / PARKING SPACE RATIO	16 TREES/57 PARKING SPACES	
PERCENT OF PLANT MATERIAL ON ADWR LOW WATER USE LIST	100%	

CITY OF SUPRISE CASE NO. CUP08-023, SAP08-022

Two working days before you dig CALL FOR THE BLUE STAKES 263-1100 Blue Stake Center CALL COLLECT

Campbell Call Collect 07205  
 1707 E. Mosier Ave., Suite 306 Phoenix, Arizona 85024  
 Landscaping & Irrigation (602) 948-0444 F. (602) 948-4407

MATERIAL LEGEND

- NATURAL GRAY CONCRETE WITH STANDARD BROOM FINISH
- INTEGRAL COLORED CONCRETE TO MATCH MASTER SITE DESIGN
- TRUNCATED DOMES PER ANSI/ADAAG

LANDSCAPE PLAN

SCALE 1" = 20'-0"



The Bosley Group, Inc.  
 20624 N. Cave Creek Road  
 Suite 142 Phoenix, AZ 85024  
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the **BOSLEY** Group, Inc. architects

OFFICE A, B & D SITE AMEND.  
 NWC GREENWAY ROAD & REEMS ROAD  
 SURPRISE, ARIZONA 85374

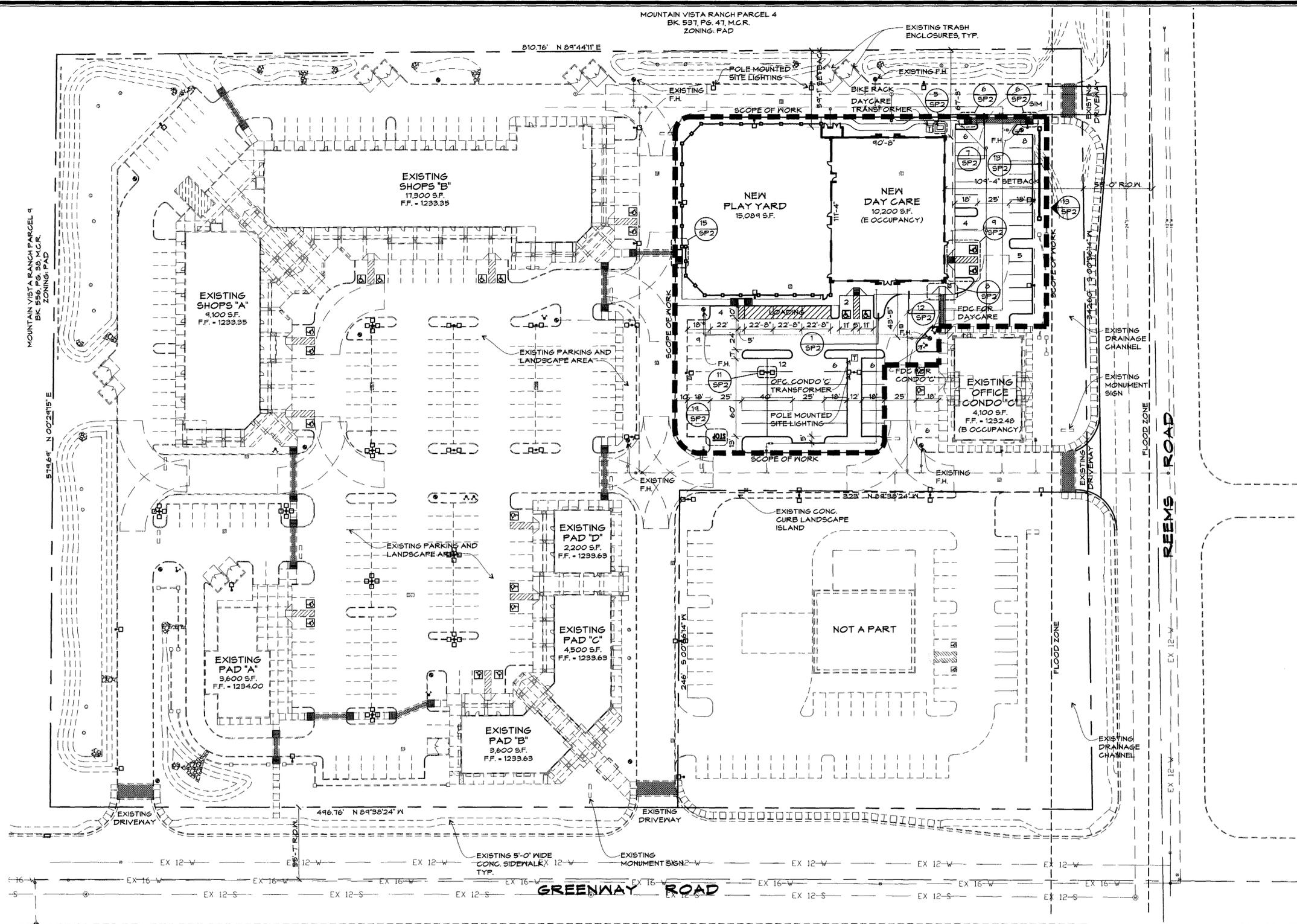
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JOB NUMBER: 07043  
 DATE:

SHEET NUMBER: L2.0

PRE-APP #PA07-0042 / CASE #CUP08-023 AND SPA08-022 LANDSCAPE PLAN



**PRELIMINARY SITE PLAN**

SCALE: 1" = 40'-0"

ADMINISTRATIVE APPROVAL	
Fire Marshal	Date
Planning & Community Development Director	Date
Water Services Director	Date
City Engineer	Date

**LEGAL DESCRIPTION**

A PARCEL OF LAND SITUATED IN THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 3 NORTH, RANGE 1 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 6;

THENCE NORTH 00 DEGREES 56 MINUTES 14 SECONDS WEST, ALONG THE EAST LINE OF SAID SECTION 6, A DISTANCE OF 644.28 FEET;

THENCE SOUTH 89 DEGREES 44 MINUTES 11 SECONDS WEST, A DISTANCE OF 55 FEET TO THE TRUE POINT OF BEGINNING;

THENCE SOUTH 00 DEGREES 56 MINUTES 14 SECONDS EAST, ALONG A LINE 55 FEET WESTERLY OF SAID EAST LINE, A DISTANCE OF 342.60 FEET;

THENCE NORTH 89 DEGREES 38 MINUTES 24 SECONDS WEST, A DISTANCE OF 323.00 FEET;

THENCE SOUTH 00 DEGREES 21 MINUTES 36 SECONDS WEST, A DISTANCE OF 246.00 FEET TO A POINT 55 FEET NORTHERLY OF SAID SOUTH LINE OF SAID SOUTHEAST QUARTER;

THENCE NORTH 89 DEGREES 38 MINUTES 24 SECONDS WEST ALONG A LINE 55 FEET NORTHERLY OF SAID SOUTH LINE, A DISTANCE OF 496.76 FEET;

THENCE NORTH 00 DEGREES 29 MINUTES 15 SECONDS EAST, A DISTANCE OF 579.69 FEET;

THENCE SOUTH 89 DEGREES 44 MINUTES 11 SECONDS WEST, A DISTANCE OF 55 FEET TO THE TRUE POINT OF BEGINNING.

PARCEL 501-17-003X

**WATER SYSTEM NOTES**

1. THE COS WATER SERVICES DEPARTMENT (COSWSD) CAN PROVIDE A PROJECT "WILL SERVE" LETTER. PLEASE PHONE ERICA PETTY, INFRASTRUCTURE ANALYST, WATER SERVICES DEPARTMENT, AT (623) 222-1000, OR EMAIL AT Erica.Petty@surpriseaz.com.
2. THE WATER SYSTEM MUST HAVE "FINAL OPERATIONAL" CERTIFICATION BY THE WATER PROVIDER BEFORE A TEMPORARY OR FINAL CERTIFICATE OF OCCUPANCY IS ISSUED.
3. ANY NON-RESIDENTIAL KITCHEN OR FOOD PREPARATION FACILITIES WILL REQUIRE AN ADEQUATE EXTERIOR CONCRETE GREASE INTERCEPTOR (MINIMUM 1500 GALLONS).
4. ALL ON-SITE SEWER LINES WILL BE OWNED AND OPERATED BY THE AFFECTED PRIVATE PROPERTY OWNERS WITH COMMON (PRIVATE) EASEMENTS DEDICATED ACROSS ALL AFFECTED PRIVATE PROPERTIES.
5. ALL ON-SITE WATER LINES WILL BE OWNED AND OPERATED BY THE AFFECTED PRIVATE PROPERTY OWNERS WITH COMMON (PRIVATE) EASEMENTS DEDICATED ACROSS ALL AFFECTED PRIVATE PROPERTIES.
6. ALL CITY OF SURPRISE WATER, SEWER, AND NON-POTABLE WATER SYSTEM INFRASTRUCTURES MUST CONFORM TO THE MOST CURRENT INTEGRATED WATER MASTER PLAN (IWMF) AND MOST RECENT GUIDELINES AND REQUIREMENTS.
7. XERISCAPE LANDSCAPING MUST BE UTILIZED FOR ANY PLANNED LANDSCAPING AREAS.
8. STORM WATER RUN-OFF MUST BE PROPERLY IDENTIFIED AND APPROVED BY THE COSWSD.

**SITE DATA**

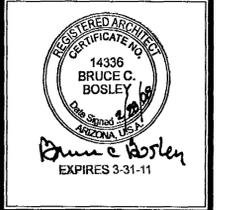
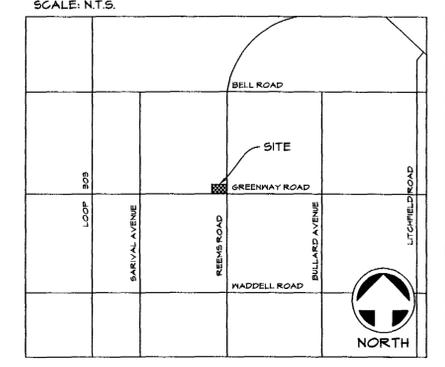
DEVELOPER:	M3 REAL ESTATE DEVELOPMENT LLC P.O. BOX 2055 EUGENE, OR 97402 (541) 302-1178
PARCEL NUMBER:	501-17-003-X
EXISTING USE:	OFFICE CONDO'S
PROPOSED USE:	DAY CARE
EXISTING ZONING:	PAD
CONSTRUCTION TYPE:	V B
OCCUPANCY TYPE:	B/E
GROSS SITE AREA:	(± 445,485 S.F.) ± 10.23 ACRES
NET SITE AREA:	(± 398,700 S.F.) ± 9.15 ACRES
AMENDED SITE AREA:	(± 65,048 S.F.) ± 1.49 ACRES
BUILDING AREA:	26,400 S.F.
SHOPS A & B:	4,100 S.F.
OFFICE CONDO 'C':	3,600 S.F.
PAD 'A':	3,600 S.F.
PAD B, C & D':	10,300 S.F.
DAY CARE:	10,200 S.F.
TOTAL:	54,600 S.F.
SITE COVERAGE:	13.7% (54,600 / 398,700)
AMENDED SITE COVERAGE:	15.7% (10,200 / 65,048)
MAX. ALLOWABLE BUILDING HEIGHT:	30'-0"
BUILDING SETBACKS:	
STREET:	25'-0"
SIDE:	15'-0"
REAR:	15'-0"
OVERALL SITE PARKING:	
REQUIRED:	
GENERAL RETAIL / OFFICE	204 SPACES
51,000 S.F. @ 1/250 =	
RESTAURANT	36 SPACES
3,600 S.F. X 0.6 @ 1/60 =	
TOTAL REQUIRED:	240 SPACES
TOTAL PROVIDED:	287 SPACES
ACCESSIBLE REQUIRED:	7 SPACES
ACCESSIBLE PROVIDED:	22 SPACES
DAYCARE/OFFICE CONDO 'C' SITE PARKING:	
REQUIRED:	
DAYCARE	50 SPACES
10,000 S.F. @ 1/200 =	
GENERAL OFFICE	17 SPACES
4,100 S.F. @ 1/250 =	
TOTAL REQUIRED:	67 SPACES
TOTAL PROVIDED:	68 SPACES
(INCLUDES 3 CAR LOADING ZONE)	
ACCESSIBLE REQUIRED:	8 SPACES
ACCESSIBLE PROVIDED:	4 SPACES

DAYCARE ALLOWABLE AREA INCREASE:  
ACTUAL BUILDING AREA = 10,200 S.F.  
ALLOWABLE BUILDING AREA, PER IBC TABLE 503 = 9,000 S.F.  
AREA INCREASE FOR FULLY FIRE SPRINKLERED = 300%  
TOTAL ALLOWABLE = 9,000 + 27,000 = 36,000 S.F.

**GENERAL NOTES**

1. ALL PARKING SPACES SHALL BE 10' X 20', WITH A MAXIMUM FRONT OVERHANG OF 2' WITH PARKING BUMPER OR CURBING.
2. ALL BUILDING SIGNAGE SHALL BE UNDER SEPARATE PERMIT AND SUBMITTAL.
3. ALL ROOF MOUNTED EQUIPMENT SHALL BE FULLY SCREENED TO THE HEIGHT OF THE TALLEST EQUIPMENT.
4. A MINIMUM OF (1) LOCK BOX SHALL BE PROVIDED AT ALL COMMERCIAL BUILDINGS. FINAL LOCATIONS TO BE DETERMINED BY THE CITY FIRE MARSHAL.
5. ALL HALF-STREET & OFF-SITE IMPROVEMENTS ARE EXISTING.
6. ALL ACCESS DRIVES FROM STREETS ARE EXISTING AND HAVE BEEN CONSTRUCTED DURING INITIAL CONSTRUCTION.
7. "VIEW" FENCING WILL BE PROVIDED ALONG PERIMETER OF PLAY AREA.
8. ALL PROPOSED DEVELOPMENT PHASES DEPICTED ON THIS SITE PLAN SHALL BE PROVIDED A MINIMUM OF TWO (2) SEPARATE POINTS OF UNOBSTRUCTED ACCESS WITH A MINIMUM WIDTH OF TWENTY FEET, INSTALLED AND MAINTAINED PURSUANT TO THE REQUIREMENTS OF THE CITY OF SURPRISE.
9. POLE MOUNTED SITE LIGHTING NOT TO EXCEED 16 FEET IN HEIGHT.

**VICINITY MAP**



The Bosley Group, Inc.  
20624 N. Cave Creek Road  
Suite 142  
Phoenix, AZ 85024  
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(602) 795-6908 fax  
www.bosleygrp.com

**the BOSLEY Group, Inc.** architects

**OFFICE A, B & D SITE AMEND.**  
NWC GREENWAY ROAD & REEMS ROAD  
SURPRISE, ARIZONA 85374

REVISIONS:

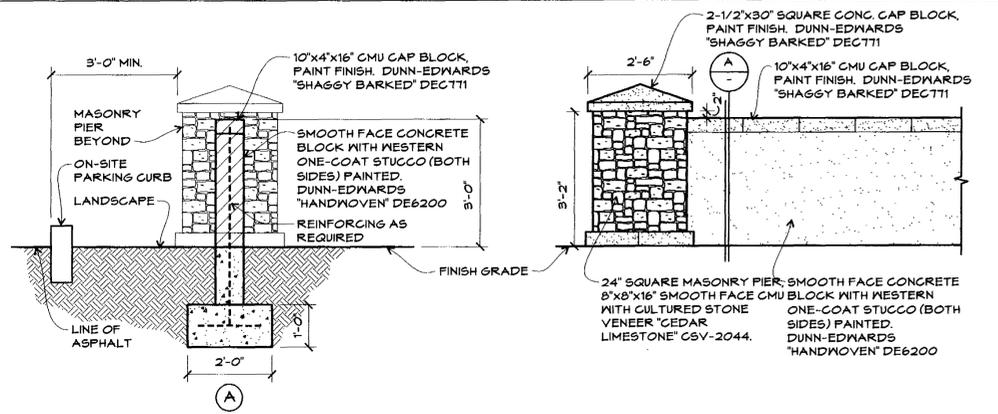
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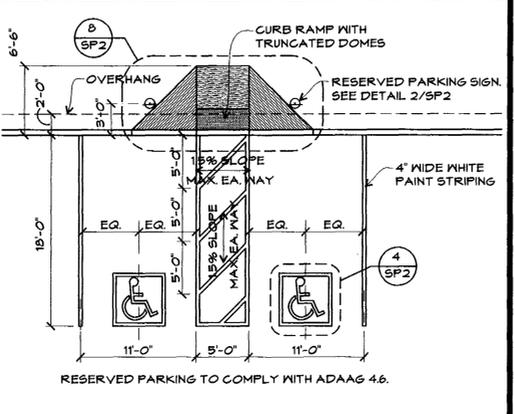
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12.06.07

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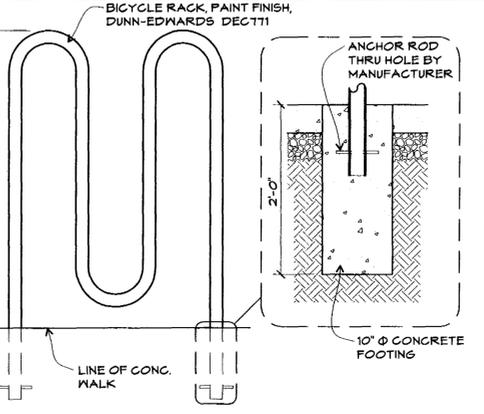
PRELIMINARY SITE PLAN PRE-APP #PA07-0042 / CASE #CUF08-033 AND SFA08-022



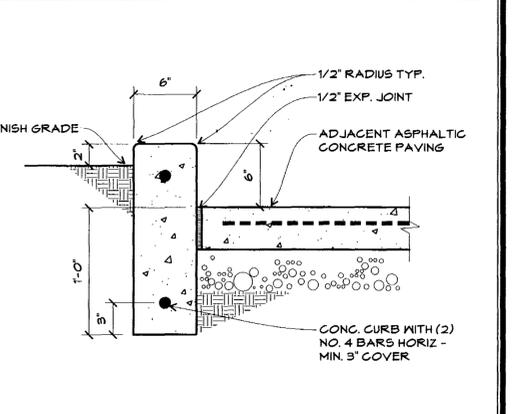
**13 SITE WALL DETAIL**  
SCALE: 1/2"-1'-0"



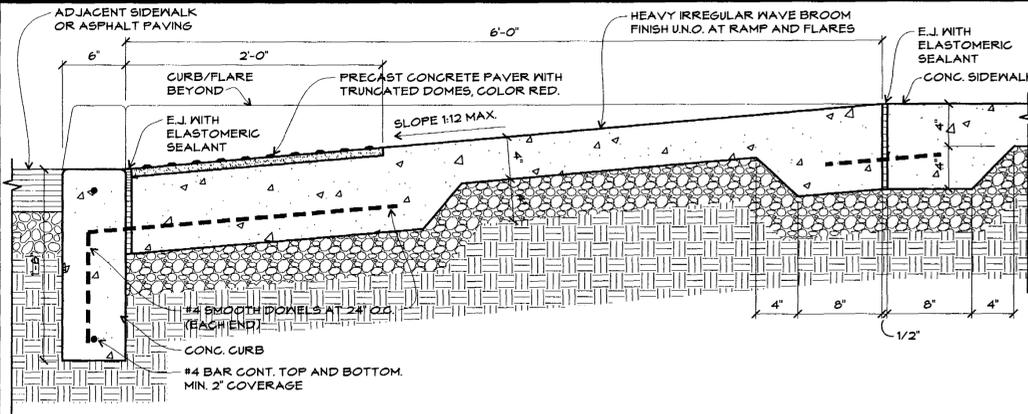
**9 ADA PARKING DETAIL**  
SCALE: 1/8"-1'-0"



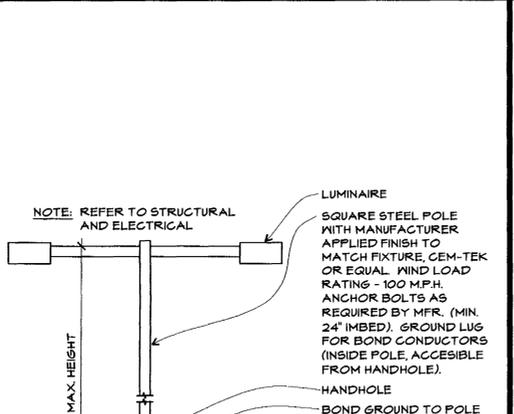
**5 BIKE RACK DETAIL**  
SCALE: 1'-1'-0"



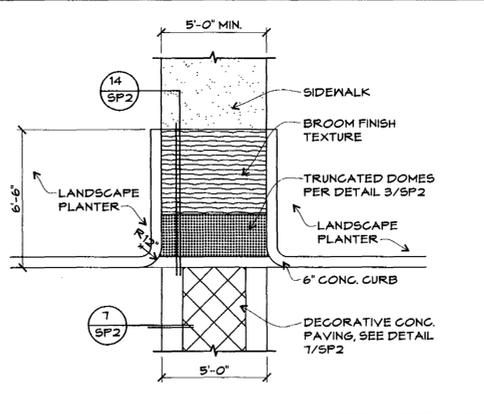
**1 CURB DETAIL**  
SCALE: 1-1/2"-1'-0"



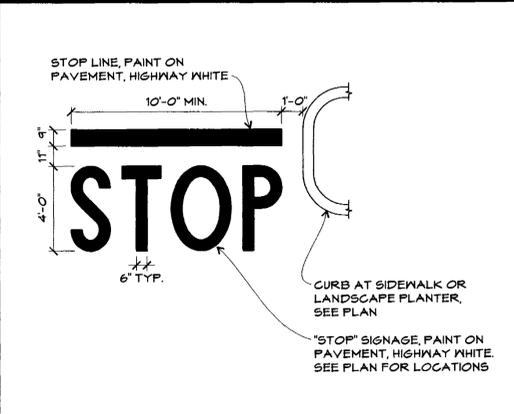
**14 RAMP SECTION DETAIL**  
SCALE: 1-1/2"-1'-0"



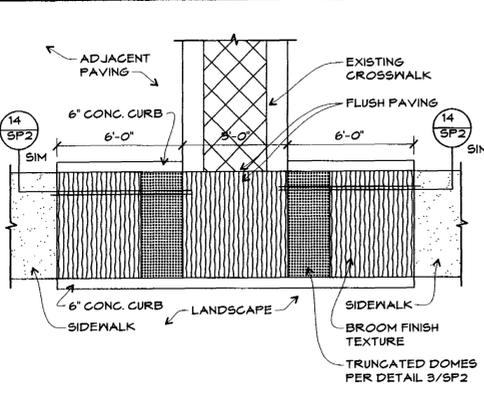
**6 RAMP DETAIL**  
SCALE: 1/4"-1'-0"



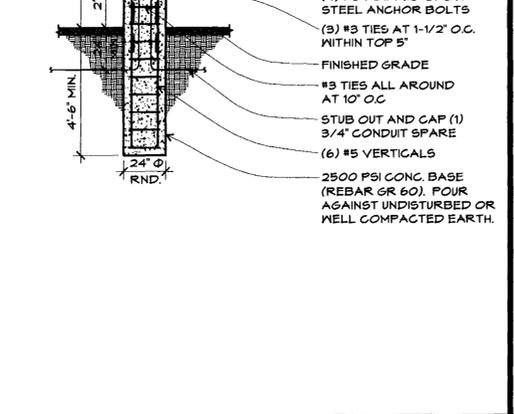
**2 ADA PARKING SIGN**  
SCALE: 3/4"-1'-0"



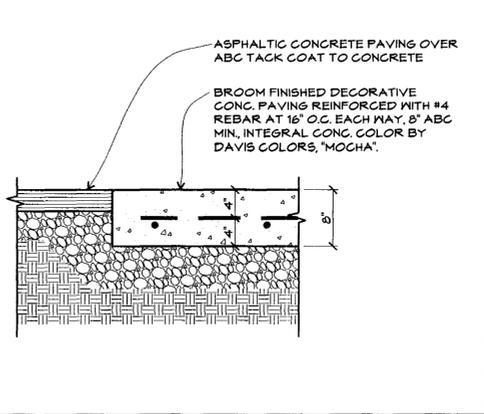
**19 STOP DETAIL**  
SCALE: 1/4"-1'-0"



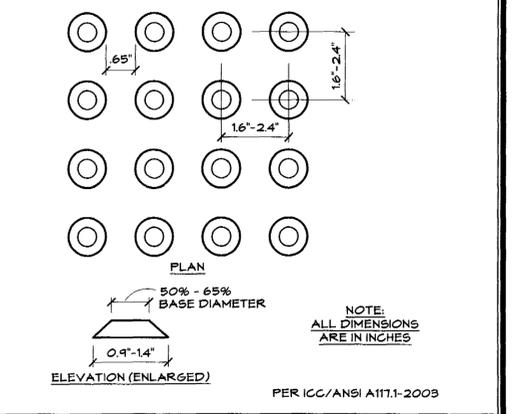
**15 RAMP DETAIL**  
SCALE: 1/4"-1'-0"



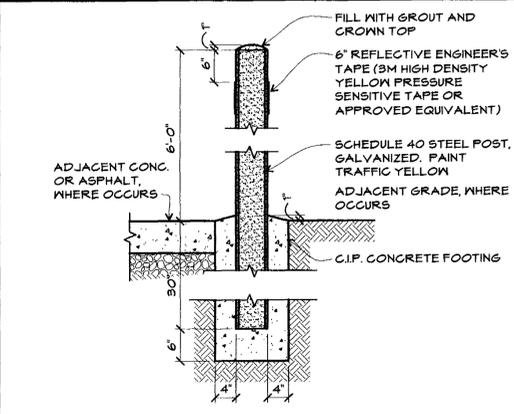
**11 LIGHT STANDARD DETAIL**  
SCALE: 1/2"-1'-0"



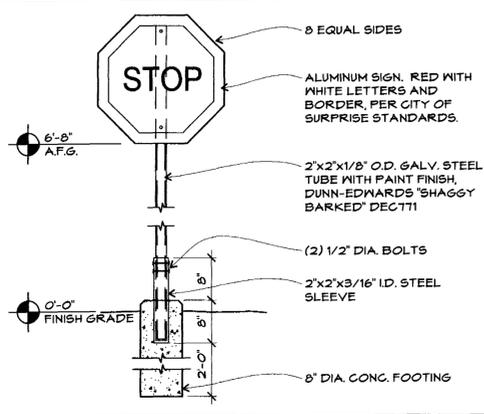
**7 DECO. PAVING SECTION**  
SCALE: 1'-1'-0"



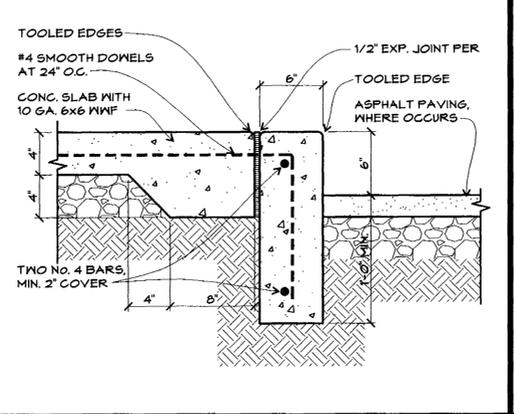
**3 TRUNCATED DOMES**  
SCALE: 6'-1'-0"



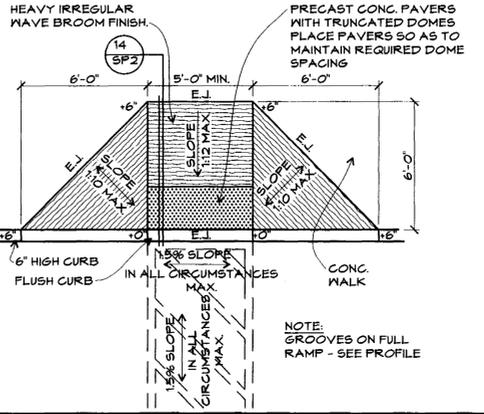
**20 BOLLARD DETAIL**  
SCALE: 3/4"-1'-0"



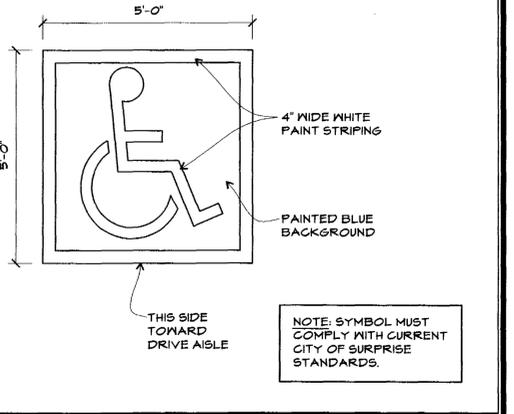
**16 STOP SIGN DETAIL**  
SCALE: 3/4"-1'-0"



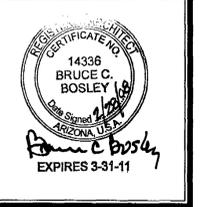
**12 CURB DETAIL**  
SCALE: 1-1/2"-1'-0"



**8 FLARED RAMP DETAIL**  
SCALE: 1/4"-1'-0"



**4 ADA PARKING SYMBOL**  
SCALE: 1/2"-1'-0"



The Bosley Group, Inc.  
20624 N. Cave Creek Road  
Suite 142  
Phoenix, AZ 85024  
(602) 795-6718  
(602) 795-6908 fax  
www.bosleygrp.com

the **BOSLEY** Group, Inc. architects

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SURPRISE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SURPRISE.

**OFFICE A, B & D SITE AMEND.**  
NWC GREENWAY ROAD & REEMS ROAD  
SURPRISE, ARIZONA 85374

REVISIONS:


JOB NUMBER:  
07043  
DATE:  
12.06.07  
SHEET NUMBER:

**SP-2**

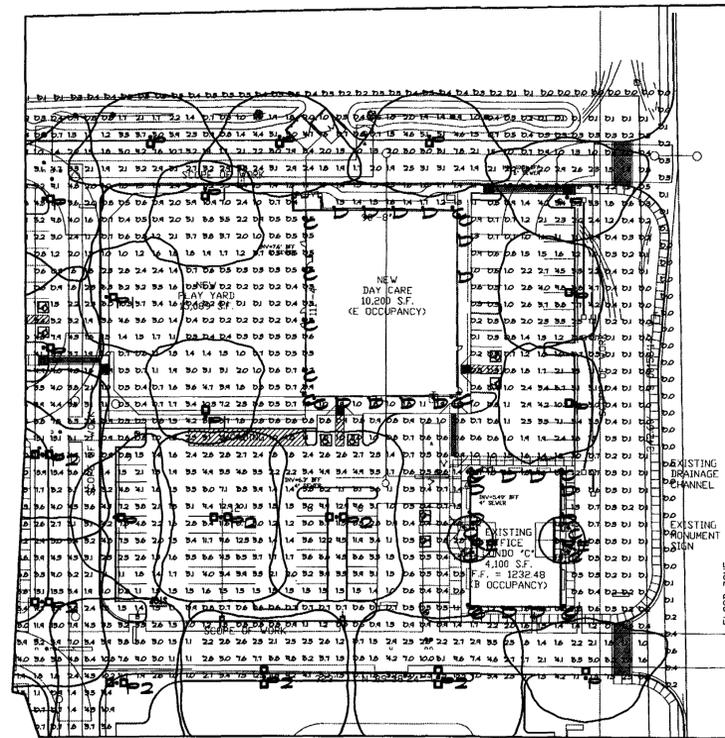
PRE-APP #PA07-0042 / CASE #CU08-023 AND SPA08-022 SITE DETAILS



STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Ft	Avg/Ft
PROPERTY LINE	X	0.0 ft	0.0 ft	0.0 ft	N/A	N/A
SITE	+	8.2 ft	24.1 ft	0.0 ft	N/A	N/A

FOYER DENSITY STATISTICS				
Name	# Lines	Total Ht	Area	Density
Former Density Zone #1	346	8840.71	404074.87	0.2197



**HABERMANN**  
ELECTRICAL  
DESIGNS INC

www.h-edl.com  
3404 West Cheryl Drive #A158  
Phoenix, Arizona 85051  
phone: (602) 258-6936  
fax: (602) 258-5526  
e-mail: anything@h-edl.com  
Project #07-158  
Project Manager:  
Charles Revoir

the **BOSLEY** Group, Inc. architects

The Bosley Group, Inc.  
20624 N. Cave Creek Road  
Suite 142  
Phoenix, AZ 85024  
(602) 795-6718  
(602) 795-6908 fax  
www.bosleygrp.com

**OFFICE A, B & D SITE AMEND.**  
NWC GREENWAY ROAD & REEMS ROAD  
SURPRISE, ARIZONA 85374

REVISIONS:

△ \_\_\_\_\_  
△ \_\_\_\_\_  
△ \_\_\_\_\_  
△ \_\_\_\_\_

JOB NUMBER:  
07043  
DATE:  
12.06.07  
SHEET NUMBER:  
**SE2**

PRE-APP #PA07-0042 / CASE #CUP08-023 AND SPA08-022



**OWNER/DEVELOPER**

M3 COMMERCIAL REAL ESTATE DEVELOPMENT  
P.O. BOX 2055  
EUGENE, OREGON 97402  
PH: (541) 302-1778  
FX: (541) 345-1181

**ENGINEER**

KNUDSEN-SMITH ENGINEERING, INC.  
2525 W. GREENWAY ROAD  
SUITE 302  
PHOENIX, ARIZONA 85023  
PH: (602) 347-7447  
FAX: (602) 249-1310

# PRELIMINARY GRADING AND DRAINAGE PLAN FOR GREENWAY ROAD AND REEMS ROAD SURPRISE, ARIZONA

**ARCHITECT**

THE BOSLEY GROUP, INC.  
20624 N. CAVE CREEK ROAD  
SUITE 142  
PHOENIX, ARIZONA 85024  
PH: (602) 795-6718  
FAX: (602) 795-6908



**VICINITY MAP**  
NOT TO SCALE

**RETENTION CALCULATIONS**

THE SITE IS DESIGNED TO HANDLE THE RAINWATER THAT FALLS WITHIN ITS WATERSHED. THE RETENTION BASINS ARE DESIGNED TO HOLD THE 100-YEAR, 2-HOUR STORM EVENT. THE STORMWATER VOLUME IS CALCULATED USING THE CITY OF SURPRISE DESIGN CRITERIA FOR RETENTION BASINS MANUAL. SEE DRAINAGE REPORT FOR DETAILS.

THE FOLLOWING FORMULA IS USED TO CALCULATE THE REQUIRED VOLUME OF RETENTION:

$V \text{ REQUIRED} = (C) (P/12) (A)$

WHERE:  
V = VOLUME OF REQUIRED RETENTION  
C = RUNOFF COEFFICIENT (WEIGHTED)  
P = RAINFALL DEPTH IN INCHES  
A = SITE AREA IN SQUARE FEET

**VOLUME CALCULATIONS**

REQUIRED RETENTION VOLUME:

$VR = (C) (P/12) (A)$   
 $= (0.95) (2.8/12) (82,454)$   
 $= 18,277 \text{ CUBIC FEET}$

RETENTION VOLUME PROVIDED FOR SITE:

THERE IS A TOTAL OF 235 LINEAR FEET OF UNDERGROUND RETENTION TANK THAT IS 10 FEET IN DIAMETER. THIS TANK HAS THE CAPACITY OF 18,456 CUBIC FEET. THAT PROVIDED 179 CUBIC FEET OF EXTRA VOLUME IN THE EVENT OF A 100 YR STORM.

**DRYWELL PERCOLATION CALCULATIONS**

VOLUME OF WATER DRAINED BY 1 DRYWELL IN 36 HOURS:

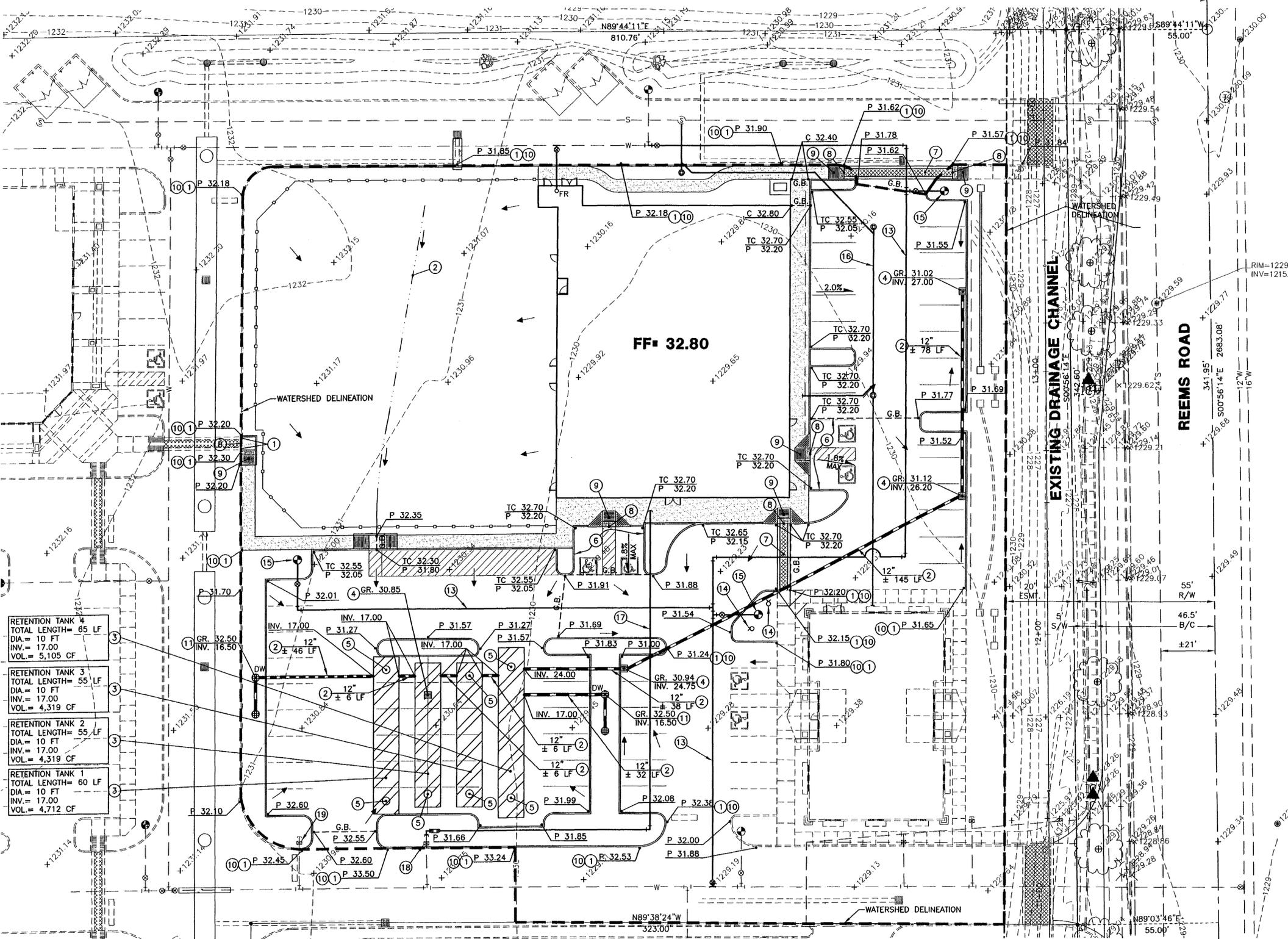
$VD = (CFS \text{ INTO DRYWELL}) (\text{SECONDS PER A 36 HOUR PERIOD})$   
 $= 0.1 \text{ CFS} \times 129,600 \text{ S}$   
 $= 12,960 \text{ CUBIC FEET PER DRYWELL PER 36 HOURS}$

NUMBER OF DRYWELL REQUIRED TO DRAIN TOTAL SITE IN 36 HOURS:

$ND = \text{TOTAL VOLUME} / \text{DRYWELL VOLUME}$   
 $= (18,277 \text{ CF}) / (12,960 \text{ CF/DW})$   
 $= 1.31 \text{ DRYWELLS OR 2 DRYWELLS ARE REQUIRED}$

**KEYED CONSTRUCTION NOTES:**

- 1 MATCH NEW IMPROVEMENT/GRADE WITH EXISTING IMPROVEMENT/GRADE.
- 2 INSTALL SDR-35 STORM DRAIN PIPE PER SIZE AND LENGTH SHOWN.
- 3 INSTALL UNDERGROUND 10" DIAMETER RETENTION PIPE.
- 4 INSTALL CATCH BASIN PER MAG STD. DET. 535 TYPE "F".
- 5 INSTALL MAMAWAY.
- 6 A.D.A. PARKING STALL TO COMPLY WITH ALL A.D.A. SLOPE AND CONSTRUCTION REQUIREMENTS.
- 7 A.D.A. CROSSWALK TO COMPLY WITH ALL A.D.A. SLOPE AND CONSTRUCTION REQUIREMENTS.
- 8 CONCRETE PAD AND A.C. PAVEMENT ARE FLUSH AT THIS POINT.
- 9 CONSTRUCT A.D.A. ACCESSIBLE RAMP.
- 10 MATCH AND TIE INTO OFF-SITE IMPROVEMENTS.
- 11 INSTALL MAXWELL PLUS DRYWELL.
- 12 CONSTRUCT SWALE PER LOCATION SHOWN.
- 13 PROPOSED FIRELINE.
- 14 PROPOSED FDC.
- 15 PROPOSED FIRE HYDRANT.
- 16 PROPOSED SEWERLINE.
- 17 PROPOSED DOMESTIC WATER.
- 18 EXISTING DOMESTIC METER.
- 19 EXISTING LANDSCAPE METER.



- RETENTION TANK 4  
TOTAL LENGTH= 65 LF  
DIA= 10 FT  
INV= 17.00  
VOL= 5,105 CF
- RETENTION TANK 3  
TOTAL LENGTH= 55 LF  
DIA= 10 FT  
INV= 17.00  
VOL= 4,319 CF
- RETENTION TANK 2  
TOTAL LENGTH= 55 LF  
DIA= 10 FT  
INV= 17.00  
VOL= 4,319 CF
- RETENTION TANK 1  
TOTAL LENGTH= 60 LF  
DIA= 10 FT  
INV= 17.00  
VOL= 4,712 CF

**BENCH MARK:**

BRASS CAP FLUSH AT INTERSECTION OF GREENWAY ROAD AND VISTA RANCH ROAD. ELEVATION 1234.71 (NAVD 88 DATUM)

**BASIS OF BEARINGS:**

MONUMENT LINE OF REEMS ROAD BEARING: N00°56'14"W

**AREA**

AREA = ±10.23 ACRES

SE COR OF SEC 6, T3N, R1W FND 1/2" IRON BAR  
**GREENWAY ROAD**

Z:\215-03-07 GREENWAY & REEMS DWG\PRELIMINARY DIGITAL GRADING (03-04-08 1:25:17PM) LESLIE

REVISIONS  
NO. DESCRIPTION/DATE

CALL FOR BIDDING DATA BEFORE YOU BID  
602-263-1100  
1-800-STAKE-IT  
(EXCLUDE MARICOPA COUNTY)

JOB NO. 215-03-07  
DESIGNED DCK  
DRAWN  
COMP.  
CHECKED DCK  
DATE 02-28-08

**PG-1**  
1 OF 1 SHEETS

**PRELIMINARY GRADING AND DRAINAGE PLAN**  
**GREENWAY ROAD AND REEMS ROAD**  
**NWC GREENWAY ROAD AND REEMS ROAD**  
**SURPRISE, ARIZONA**

KNUDSEN-SMITH ENGINEERING, INC.  
2525 West Greenway Road, Suite 302  
Phoenix, Arizona 85023  
PH (602) 347-7447 FAX (602) 249-1310

**CITY OF SURPRISE  
COMMUNITY DEVELOPMENT DEPARTMENT**

**RS07-035**

**Rural Subdivision**

for:

**Monfort/Ruthrauff Rural Subdivision**

**PLANNING AND ZONING COMMISSION**

Hearing Date: **May 20, 2008**

**STAFF:**

Lance Ferrell, 623.222.3135

**LOCATION:**

Generally located north of Deer Valley Road between 223<sup>rd</sup> and 225<sup>th</sup> Avenues.

**DESCRIPTION OF THE REQUEST:**

Approval of a Rural Subdivision.

**SUMMARY ANALYSIS:**

The applicant is requesting a Rural Subdivision approval for Monfort/Ruthrauff on approximately 2.5 gross acres. The property is zoned R1-43 (Single-family Residential), Surprise, AZ, Section 14, T4N, R3W.

**SUGGESTED MOTION:**

I move to recommend approval of RS07-035, a rural subdivision for Monfort/Ruthrauff, and adopt staff's findings and stipulations 'a' through 'c.'

City of Surprise  
Planning and Zoning Division

## EXECUTIVE SUMMARY

RS07-035  
Monfort/Ruthrauff

<b>APPLICANT/OWNER</b>	Mark & Lisa Ruthrauff John & Jamie Monfort 3407 W Evans Drive Phoenix, AZ 85053 P: 602.403.3649 <a href="mailto:JMM58@aol.com">JMM58@aol.com</a>
<b>HEARING DATE:</b>	May 20, 2008
<b>STAFF:</b>	Lance Ferrell
<b>LOCATION:</b>	Generally located north of Deer Valley Road between 223 <sup>rd</sup> and 225 <sup>th</sup> Avenues.
<b>DESCRIPTION of the REQUEST:</b>	Approval of a Rural Subdivision.
<b>STAFF RECOMMENDATION:</b>	Approval
<b>SUMMARY ANALYSIS:</b>	The applicant is requesting a Rural Subdivision approval for Monfort/Ruthrauff Rural Subdivision on approximately 2.5 gross acres. The property is zoned R1-43 (Single-family Residential), Surprise, AZ, Section 14, T4N, R3W.

## HISTORY

1. The parcel was annexed into the City of Surprise in 1989.
2. Currently there is an application for a rural subdivision.

## STAFF ANALYSIS

The applicant has submitted a rural subdivision known as Monfort/Ruthrauff on approximately 2.5 gross acres located north of Deer Valley Road between 223<sup>rd</sup> and 225<sup>th</sup>. The rural subdivision will split a 2.5-acre parcel into two single-family residential parcels.

### Circulation:

Access to the site will be from Deer Valley Road.

Departmental Review: All departments are recommending approval of the site subject to all conditions of approval.

Traffic Division: Traffic had no concerns regarding this project.

Fire Department: Fire mentioned that all access roads would need to be a minimum of 20' wide and also be able to support 75,000 pounds in all weather conditions.

Planning Division: Planning noted that some dedication language was missing, which was added before Final TAC.

Building Safety Division: The building safety division had no comments regarding this project.

Water Services Department: The water department stated that the applicant was within the City of Surprise service area and would have to connect to the water line.

Engineering Department: The engineering department commented that there would only be one access from the parkway.

## FINDINGS

1. Staff finds that the proposed development meets the guidelines that are set forth in the Planning and Design Guidelines Chapter 1 through 9.
2. Staff finds that the proposed development is consistent with the Surprise General Plan 2020 Rural Residential.

**STIPULATIONS**

**REQUIRED ACTIONS.** The applicant and/or owner shall comply with the following list of stipulations of Case RS07-035.

- a. The applicant shall submit one electronic copy of the Rural Subdivision plat, and three (3) Mylar copies of the Rural Subdivision Plat with notary seal. Said submission must be under one (1) transmittal package and in conformance with the Maricopa County standards.
- b. All parcel numbers shall be active prior to submittal of any building permit and shall stay active throughout the construction process until a Letter of Compliance and/or Certificate of Occupancy is issued. Any subdivision or lot split shall be reviewed and approved by the City of Surprise prior to recordation with Maricopa County.
- c. Applicant or property owner must provide the city with an approved earth moving permit by Maricopa County Environmental Services Department prior to release of any permits.

# Monfort/Ruthrauff Rural Subdivision





DEPARTMENT OF THE AIR FORCE  
AIR EDUCATION AND TRAINING COMMAND

13 March 2007

Mr. James R. Mitchell  
Director, Community Initiatives Team  
56th Fighter Wing  
14185 West Falcon Street  
Luke AFB AZ 85309-1629

Ms. Cindy Coen  
City of Surprise Planning Department  
12425 West Bell Road  
Surprise AZ 85374

Re: Case #MLD07-035 Monfort-Ruthrauff Lot Split

Dear Ms. Coen

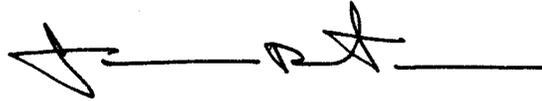
Thank you for the opportunity to provide comments on the Minor Land Division Application for the Monfort-Ruthrauff Lot Split. The parcel (503-81-055) is located on 2.5 gross acres west of the northwest corner of Deer Valley and Crozier Roads. The request is to split the parcel into two equal 1.25-acre lots for residential dwelling units (du), resulting in a density of 0.8 du/acre. The parcel is approximately 1 1/2 miles outside the Luke AFB Auxiliary Field #1 2004 65 Ldn, "high noise or accident potential zone" as defined by A.R.S. § 28-8461 and is inside the "territory in the vicinity of a military airport" also defined by A.R.S. § 28-8461.

Luke AFB follows the guidelines in the Graduated Density Concept (GDC). The GDC proposes, in the absence of a more restrictive state, county or municipal general or comprehensive plan, graduating densities away from the 65 Ldn as follows: a maximum of 2 du/acre from the 65 Ldn to 1/2 mile, a maximum of 4 du/acre from 1/2 to 1 mile, and a maximum of 6 du/acre from 1 to 3 miles. This lot split falls within these guidelines.

Since this parcel is located inside the "territory in the vicinity of a military airport," it will be in close proximity to the Luke AFB Auxiliary Field #1 and will be subjected to noise from approximately 13,000 flight operations per year, with some as low as 1,500 feet above ground level. We recommend you review the sound attenuation requirements found in A.R.S. § 28-8482. In addition, a strong notification program on the part of the applicant is essential to inform potential residents about Luke AFB operations. We also recommend a review of the Luke AFB web site at <http://www.luke.af.mil>, Community Interests and Community Initiatives links, for further information.

If there are any questions, please contact my Community Planner, Mr. Bob Dubsy, at (623) 856-6195.

Sincerely

A handwritten signature in black ink, appearing to read 'J. Mitchell', written over a horizontal line.

JAMES R. MITCHELL

cc:  
Colonel David L. Orr, Vice Commander, 56th Fighter Wing



**Arizona Department of Transportation  
Intermodal Transportation Division**

206 South Seventeenth Avenue Phoenix, Arizona 85007-3213

Janet Napolitano  
Governor

Sam Elters  
State Engineer

Victor M. Mendez  
Director

RECEIVED

FEB 16 2007

COMMUNITY DEVELOPMENT

February 15, 2007

City of Surprise Planning Department  
12425 West Bell Road Suite D100  
Surprise, Arizona 85374  
C/o Mr. David Neal

RE: **Monfort-Ruthraff**/ MLD07-0354/ 219<sup>th</sup> Ave. & Deer Valley Road

Dear Mr. Neal:

Thank you for your notification regarding the Final Plat for the subject referenced above. After a complete review, we have concurred that the proposed Final Plat **at this time** will have no impact on our highway facilities in this area.

**ADOT does reserve the right to review and comment any further development plans, changes and or additions for this site, as to any impact they may have on the State Highway System.**

Should you have any questions, you may contact me at 602-712-8755 or by fax at 602-712-3051, or in writing at 205 S. 17<sup>th</sup> Avenue, Right of Way Project Management Section, Suite 349 MD 612E, Phoenix, Arizona 85007. Thank you in advance for your cooperation.

Sincerely,

LOUIS J. MALLOQUE,  
Right of Way Agent III  
lmalloque@azdot.gov



2001 Award Recipient

## Monfort / Ruthrauff Rural Land Division

### Project Description:

To split the existing one 2 ½ acre parcel into two 1 ¼ acre parcels with the intent to build 1 single family home on each parcel.

### Net and gross densities and acreages:

Existing Parcel is 90,629.46 square feet or 2.08 acres. Does not include existing 55 feet for roadway and public utility easement.

Proposed Lot – 1 would be 45,315.55 square feet or 1.04 acres. Does not include 55 feet for roadway and public utility easement. ( Gross )

Proposed Lot –1 with 100 feet dedicated to roadway and public utility easement would be 38,726 square feet or 0.89 acres. ( Net )

Proposed Lot – 2 would be 45,313.55 square feet or 1.04 acres. Does not include 55 feet for roadway and public utility easement. ( Gross )

Proposed Lot – 2 with 100 feet dedicated to roadway and public utility easement would be 38,725 square feet or 0.89 acres. ( Net )

### Existing Conditions including infrastructure, natural resources (Topography, soils, geology, hydrology/drainage, vegetation, noise levels):

Parcel has no existing structures and has a barbed wire fence running along the South perimeter ( Deer Valley Road ). The parcel has mixed vegetation growing and the natural drainage runs from the rear of the property to the front, North to South to Deer Valley Road. Enclosed is a letter from Luke Air Force Base indicating no opposition to this Land Division. See enclosed drainage report.

### Relationship to surrounding properties:

There is currently one 2 – story house on the East Side of Proposed Lot Two and one single story house on the North Side of Proposed Lot One. There is currently no residence on the West Side of Proposed Lot One. The South perimeter of both Proposed Lots runs parallel to Deer Valley Road East to West.

Location and accessibility:

The parcel of land is North of Deer Valley Road and 330 feet west of 223<sup>rd</sup> Avenue. There are no obstructions to access the parcel from Deer Valley Road.

Existing legal vehicular access:

Deer Valley Road.

Services including open space, recreation and schools:

N / A

Depiction of all structures on the Original Lot; dimensions of setbacks to property lines of the proposed lots; all existing irrigation structures on the property to be divided; and all existing and proposed drainage structures and natural drainage features. A topography survey may be required.

There are no existing structures on the Lot. The dimensions of setbacks to property lines are: Lot One - 50 feet front ( South Side ) 50 feet rear ( North Side ) 20 feet left ( West ) 20 feet right ( East ). Lot Two – 50 feet front ( South Side ) 50 feet rear ( North Side ) 20 feet left ( West Side ) 20 feet right ( East ). Setbacks are measured from the property lines or any encroaching access easements.

There are no existing irrigation structures on the property. There is a water main on the North East side of the property, which will supply water to both parcels from White Tank Well's Inc. Each parcel will retain existing ownership in White Tank Well's Inc. per the enclosed letter from Corporate Secretary of White Tank Well's Inc.

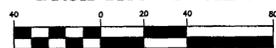
There are no existing drainage structures on the parcel. Natural drainage runs from the rear of the property to the front ( North to South ) to Deer Valley Road. Proposed drainage will continue from the rear of the property to the front ( North to South ). See Grading and Drainage Plan / Report.

RURAL SUBDIVISION OF MONFORT/RUTHRAUFF

CITY OF SURPRISE ARIZONA

A PORTION OF SECTION 14, TOWNSHIP 4 NORTH, RANGE 3 WEST OF THE GILA AND SALT RIVER  
BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

GRAPHIC SCALE



( IN FEET )  
1" = 40'

OWNERS/DEVELOPERS:  
JOHN MONFORT MARK RUTHRAUFF  
602-942-0023 623-486-0124

PARENT LEGAL DESCRIPTION: APN: 503-81-055

THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SEC. 14 TOWNSHIP 4 NORTH RANGE 3 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY ARIZONA.

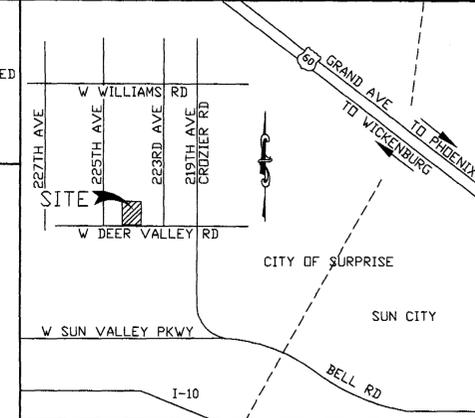
NEW LEGAL DESCRIPTIONS:

LOT 1  
THE WEST HALF OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SEC. 14 TOWNSHIP 4 NORTH RANGE 3 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY ARIZONA.

LOT 2  
THE EAST HALF OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SEC. 14 TOWNSHIP 4 NORTH RANGE 3 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY ARIZONA.

LEGEND

- = 1/2" REBAR & R.L.S. CAP SET
- ⊙ = BRASS/ALUM CAP FOUND & USED
- = FOUND 1/2" REBAR AND USED
- = FOUND IRON PIPE AND USED
- R&M = RECORD & MEASURED



VICINITY MAP SEC. 14, T4N., R3W.

NOTE:

ACCESS WILL BE LIMITED TO ONE SINGLE ACCESS POINT WITH RIGHT IN/RIGHT OUT RESTRICTED ACCESS AT THIS TIME AND WHEN THE FUTURE DEER VALLEY ROAD PARKWAY IMPROVEMENTS ARE COMPLETED.

BASIS OF BEARING:

SOUTH 00°21'55" WEST- BEING THE WEST LINE OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTH WEST 1/4 OF SECTION 14 TOWNSHIP 4 NORTH, RANGE 3 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY ARIZONA. BEARING IS REFERENCING MARICOPA COUNTY GEODETIC DENSIFICATION AND CADASTRAL SURVEY, BOOK 686, PAGE 42, MCR

SITE DATA

ZONING IS CURRENTLY: R1-43 = RURAL (SINGLE-FAMILY RESIDENTIAL)  
SETBACKS- FRONT = 50'  
REAR = 50'  
CORNER STREET SIDE = 20'  
NON-STREET SIDE = 20'  
100' MIN. STREET FRONTAGE  
SETBACKS ARE MEASURED FROM THE PROPERTY LINE OR ANY ENCROACHING ACCESS EASEMENTS

RELEASE OF LIABILITY

RELEASE OF LIABILITY:  
JOHN MARK AND JAMIE LEE MONFORT AND MARK ALLEN AND LISA JEAN RUTHRAUFF DOES HEREBY (1) RELEASE AND DISCHARGE THE USAF AND THE CITY OF SURPRISE, AND (2) INDEMNIFY, DEFEND, AND HOLD HARMLESS THE CITY OF SURPRISE, OF AND FROM ANY LIABILITY FOR ANY AND ALL CLAIMS FOR DAMAGES OF ANY KIND TO PERSONS OR PROPERTY THAT MAY ARISE AT ANY TIME IN THE FUTURE OVER, OR IN CONNECTION WITH AIRCRAFT OVERFLIGHTS FROM AIRCRAFT UTILIZING LUKE AIR FORCE BASE, WHETHER SUCH DAMAGE SHALL ORIGINATE FROM NOISE, VIBRATION, FUMES, DUST, FUEL AND LUBRICANT PARTICALS, AND ALL OTHER EFFECTS THAT MAY BE CAUSED BY THE OPERATION OF AIRCRAFT LANDING AT, OR TAKING OFF FROM, OR OPERATING AT OR ON LUKE AIRFORCE BASE. THIS INSTRUMENT SHALL RUN WITH THE LAND AND BE BINDING UPON OWNER AND ITS HEIRS, ASSIGNS, AND SUCCESSORS IN INTEREST TO THIS PLAT OR ANY PARCEL OR LOT THEREOF. THIS INSTRUMENT DOES NOT RELEASE THE USAF FROM LIABILITY FOR DAMAGE OR INJURY TO PERSON OR PROPERTY CAUSED BY FALLING AIRCRAFT OR FALLING PHYSICAL OBJECTS FROM AIRCRAFT, EXCEPT AS STATED HEREIN WITH RESPECT TO NOISE, FUMES, DUST, FUEL, AND LUBRICANT PARTICLES.

OWNERS CERTIFICATION:

OWNER HEREBY GRANTS TO THE CITY OF SURPRISE A NON-EXCLUSIVE EASEMENT OVER, UPON AND ACROSS ALL STREETS AS SHOWN ON THE PLAT FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, MAINTAINING, REPAIRING, REPLACING AND UTILIZING PUBLIC UTILITIES, AND TRASH REMOVAL AND EMERGENCY SERVICE VEHICLES. THE CITY SHALL NOT BE REQUIRED TO NOTIFY OR GET APPROVAL FROM THE OWNER OR HOMEOWNERS' ASSOCIATION PRIOR TO ACCESSING THE EASEMENT.

THE EASEMENTS GRANTED WITHIN THIS DEDICATION ARE PERMANENT AND PERPETUAL AND SHALL RUN WITH THE LAND AND BE BINDING UPON OWNER AND ITS HEIRS, ASSIGNS, AND SUCCESSORS IN INTEREST TO THIS PLAT OR ANY PARCEL OR LOT THEREOF.

IN WITNESS WHEREOF, OWNERS JOHN MARK AND JAMIE LEE MONFORT HAS HEREUNTO CAUSED ITS NAME TO BE SIGNED AND AFFIXED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2007.

IN WITNESS WHEREOF, OWNERS MARK ALLEN AND LISA JEAN RUTHRAUFF HAS HEREUNTO CAUSED ITS NAME TO BE SIGNED AND AFFIXED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2007.

FLOOD F.E.M.A. INFORMATION

COMMUNITY NUMBER	PANEL #	SUFFIX	DATE OF FIRM (INDEX DATE)	FIRM ZONE	BASE FLOOD ELEVATION (IN AO ZONE, USE DEPTH)
040037	1120	"G"	07/19/01	X	THERE IS NONE
04013C	09/30/05		09/30/05		

THIS PROPERTY IS NOT IN A FLOOD AREA

THE PROPERTY IS LOCATED IN FLOOD INSURANCE RATE MAP (FIRM) ZONE X. ZONE B/C OR X ARE OUTSIDE THE DELINEATED 100 YEAR FLOODPLAIN. FLOOD INSURANCE IS AVAILABLE, BUT NOT REQUIRED BY THE FEDERAL INSURANCE ADMINISTRATION. FOR BUILDINGS CONCERNED WITH A FEDERALLY INSURED LOAN, FLOOD INSURANCE IS OPTIONAL AT THE DISCRETION OF THE OWNER OR LENDING INSTITUTION.

SPECIAL STIPULATION NOTE:

AT A TIME WHEN CITY OF SURPRISE WATER AND SEWER INFRASTRUCTURE IS AVAILABLE AT THE PROPERTIES CREATED IN THE SUBDIVISION, FUTURE OWNERS SHALL BE REQUIRED TO CONNECT IN ACCORDANCE WITH SECTION 13.08.348 (SEWER) AND 13.04.365 (WATER) OF THE SURPRISE MUNICIPAL CODE, AND PAY ALL APPLICABLE FEES. ANY OWNERS OF THE PROPERTIES CREATED BY THIS SUBDIVISION SHALL NOTIFY PROSPECTIVE BUYERS OF THIS STIPULATION IN THE SALES CONTRACT PUBLIC.

ACKNOWLEDGEMENT

STATE OF ARIZONA )  
COUNTY OF MARICOPA ) S.S.  
BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
ON THIS, THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2007, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED \_\_\_\_\_ WHO ACKNOWLEDGED HIMSELF TO BE OWNER, AND ACKNOWLEDGED THAT HE, AS A MEMBER AUTHORIZED TO EXECUTE THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED.  
IN WITNESS WHEREOF: I HEREUNTO SET MY HAND AND OFFICIAL SEAL,  
MY COMMISSION EXPIRES: \_\_\_\_\_  
NOTARY PUBLIC \_\_\_\_\_

SURVEYOR'S CERTIFICATION

I, ARTHUR A. WITZELL, HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR IN THE STATE OF ARIZONA. THAT THIS MAP, CONSISTING OF 1 SHEET CORRECTLY REPRESENTS A RURAL LAND DIVISION SURVEY MADE UNDER MY SUPERVISION DURING THE MONTH OF DECEMBER, 2007. THAT THE SURVEY IS TRUE AND COMPLETE AS SHOWN: THAT ALL MONUMENTS SHOWN ACTUALLY EXIST AS SHOWN, THAT THEIR POSITIONS ARE CORRECTLY SHOWN AND THAT SAID MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.



RECEIVED

MAR 13 2008  
COMMUNITY DEVELOPMENT

ON SITE SURVEYORS, L.L.C.  
3143 W. TARO LANE, PHOENIX, AZ. 85027  
PH: (623) 547-6094 OFC. FAX: (623) 547-6134

RURAL SUBDIVISION  
PARCEL # 503-81-055  
SHEET 1 OF 1 PH: 602-942-0023 FAX: 623-486-0124  
SCALE: 1" = 30' DATE: 05-26-07 ENG'R.: RJS  
JOB #: 06 - 013 JOB: MONFORT DRAWN BY: NAR/CMG/JNF  
REV. DATE: 11-09-07\_PT REV. DATE: 05-26-07\_GJH



DEDICATION:

STATE OF ARIZONA  
COUNTY OF MARICOPA

KNOW ALL MEN BY THESE PRESENTS: THAT JOHN MARK AND JAMIE LEE MONFORT AND MARK ALLEN AND LISA JEAN RUTHRAUFF, ("OWNERS"), HAS SUBDIVIDED UNDER THE NAME: MONFORT / RUTHRAUFF, A SUBDIVISION LOCATED IN A PORTION OF SECTION 14, TOWNSHIP 4N, RANGE 3W, MARICOPA COUNTY, ARIZONA AS SHOWN AND PLATTED HEREON AND DOES HEREBY PUBLISH THIS PLAT AS AND FOR THE PLAT OF MONFORT / RUTHRAUFF AND DECLARES THAT THIS PLAT SETS FORTH THE LOCATION AND GIVES THE DIMENSIONS OF EACH LOT, TRACT, STREET AND EASEMENT CONSTITUTING SAME, AND THAT EACH LOT, TRACT, STREET, AND EASEMENT SHALL BE KNOWN BY THE NUMBER, LETTER, AND/OR NAME GIVEN TO EACH RESPECTIVELY AS SHOWN ON THIS PLAT.

OWNER HEREBY DEDICATES TO THE CITY OF SURPRISE FEE TITLE TO ALL PUBLIC RIGHTS-OF-WAY AS SHOWN ON THE PLAT.

PURSUANT TO A.R.S. 42-11102, THE CITY OF SURPRISE, A POLITICAL SUBDIVISION OF THE STATE OF ARIZONA, IS EXEMPT FROM ALL TAXES AND ASSESSMENTS BASED ON ASSESSED VALUE EXCEPT FOR SPECIAL DISTRICTS #14751 AND #14710, WHEN APPLICABLE.

OWNER HEREBY GRANTS TO THE CITY OF SURPRISE A NON-EXCLUSIVE EASEMENT OVER, UPON AND ACROSS THE AREAS DESIGNATED AS PUBLIC UTILITY EASEMENTS AS SHOWN ON THE PLAT FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, MAINTAINING, REPAIRING, REPLACING AND UTILIZING PUBLIC UTILITIES.

OWNER HEREBY GRANTS TO THE CITY OF SURPRISE A NON-EXCLUSIVE EASEMENT OVER, UPON AND ACROSS THE AREAS DESIGNATED AS SIGHT VISIBILITY TRIANGLES FOR THE PURPOSE OF ENSURING THAT THESE AREAS REMAIN FREE OF SIGHT VISIBILITY OBSTRUCTIONS.

OWNER HEREBY GRANTS TO THE ULTIMATE OWNER OF EACH PARCEL CREATED BY THIS PLAT A CROSS ACCESS EASEMENT OVER, UPON AND ACROSS THE ENTIRE PLAT FOR THE PURPOSE OF PROVIDING CONTINUOUS AND UNINTERRUPTED INGRESS AND EGRESS TO EACH PARCEL CREATED BY THIS PLAT.

OWNER HEREBY GRANTS TO THE UNITED STATES OF AMERICA DEPARTMENT OF THE AIR FORCE ("USAF") AN AVIATION EASEMENT OVER AND ACROSS THIS PLAT AND EVERY LOT AND PARCEL THEREOF, WHICH EASEMENT SHALL INCLUDE, BUT NOT BE LIMITED TO, THE RIGHT OF FLIGHT OF AIRCRAFT OVER THIS PLAT, TOGETHER WITH ITS ATTENDANT NOISE, VIBRATIONS, FUMES, DUST, FUEL AND LUBRICANT PARTICALS, AND ALL OTHER EFFECTS THAT MAY BE CAUSED BY THE OPERATION OF AIRCRAFT LANDING AT, OR TAKING OFF FROM, OR OPERATING AT OR ON LUKE AIR FORCE BASE.

**CITY OF SURPRISE  
COMMUNITY DEVELOPMENT DEPARTMENT**

**CUP08-023**

**Conditional Use Permit**

for:

**Greenway and Reems Daycare**

**PLANNING AND ZONING COMMISSION**

Hearing Date: **May 20, 2008**

**STAFF:**

Adam Copeland, 623.222.3137

**LOCATION:**

Generally on the NWC of Greenway Road and Reems Road.

**DESCRIPTION OF THE REQUEST:**

Approval of a Conditional Use Permit.

**SUMMARY ANALYSIS:**

The applicant is requesting a Conditional Use Permit approval.

**SUGGESTED MOTION:**

**I move to approve CUP08-023, a Conditional Use Permit for Greenway and Reems Daycare, and to adopt staff's findings and stipulations 'a' through 'd.'**

**City of Surprise  
Planning and Zoning Division**

**EXECUTIVE SUMMARY**

**CUP08-023  
Greenway and Reems Daycare**

<b>APPLICANT:</b>	Kurt Frimodig The Bosley Group 20624 N. Cave Creek Rd. #142 Phoenix, AZ 85024 P: 602.795.6718 F: 602.795.6908 <a href="mailto:kfrimodig@bosleygrp.com">kfrimodig@bosleygrp.com</a>
<b>OWNER:</b>	Philip Marvin P.O. Box 2055 Eugene, OR 97402 P: 541.302.1778 F: 541.345.1181
<b>HEARING DATE:</b>	May 20, 2008
<b>STAFF:</b>	Adam Copeland
<b>LOCATION:</b>	Generally on the NWC of Greenway Road and Reems Road
<b>DESCRIPTION of the REQUEST:</b>	Approval of a Conditional Use Permit
<b>STAFF RECOMMENDATION:</b>	Approval
<b>SUMMARY ANALYSIS:</b>	The applicant is requesting a Conditional Use Permit approval for a daycare use.

**HISTORY**

1. On July 18, 2006, the Planning and Zoning Commission approved the Greenway and Reems Retail/Office Center master site plan.

## STAFF ANALYSIS

**Proposal:**

The applicant is requesting approval of a 10,200 S.F. daycare building, which includes a 15,089 S.F. play yard. The project is located within the Mountain Vista Ranch Planned Area Development.

**Use:**

The Surprise Municipal Code Section 125-188 requires any Daycare proposal to go through a Conditional Use Permit process prior to approval. The code lists specific

**Circulation:**

Access to the site will be primarily from Reems Road to the east and Greenway Road to the south. Parking for the daycare is shown on the south and east sides of the building. During peak hours at drop-off and pick-up times, higher traffic counts are expected.

To accommodate people who walk to the daycare, a pedestrian network is strategically placed throughout the site, allowing for important connections between buildings and to perimeter sidewalks.

**Architecture:**

The design of the Greenway Retail Offices A, B and D are consistent with the goals and ideas set forth in the Planning and Design Guidelines. This project visually connects with the contemporary architectural elements of the previously approved design for Greenway Retail. Site orientation has been properly addressed by locating the main entrance of the building along Reems Road.

Building materials consist primarily of split-face concrete block and a material that resembles stucco. Cultured stone accents are used at the base of the columns and pilasters. The roofing system is comprised of a parapet and concrete tile roof. An entrance tower element is the prominent feature that is repeatedly used throughout the Greenway Retail project. This building, in particular, utilizes the clerestory windows to filter some daylight into the interior. Wrought Iron detailing and lattice screens are used to identify with the existing buildings. Similarly, metal shading devices are positioned over all windows. Although not needed on all sides, it does provide maximum shading and provides a unifying element in terms of building design.

**Landscape:** The landscape design is consistent with the landscaping approved on the master site plan.

**Location:** The building is setback approximately 60 feet from any residential property line. The code allows a 45-foot building setback to a residentially zoned area. To the north is open space and single-family residential housing.

**Departmental Review:**

All departments have recommended approval of the project subject to all stipulations.

## ITEM 9

Traffic Division: The Traffic Division requested that the Traffic Impact Analysis accurately match the use proposed. The applicant revised and addressed all concerns.

Fire Department: No Comments.

Planning Division: The planning division had concerns about pedestrian connectivity from the parking lot to the front entrance. The applicant revised the plan including a ramp along the loading area to allow for mothers with strollers and persons with disabilities to access the sidewalk around the building to the front entrance without walking in the street.

Building Safety Division: The Building Safety Division had standard comments.

Water Services Department: Provided standard comments.

Engineering Department: Engineering had comments on technical issues related to the drainage of the site.

### FINDINGS

The subject site is in an appropriate location set back from the main arterial with appropriate access and a large fenced-in outdoor play area. The traffic impact analysis has been reviewed and shows the infrastructure needed to accommodate peak traffic will be constructed. The General Plan 2020 land use designation for the parcel is Low Density Residential, which allows neighborhood shops, residential, and services. Therefore, staff has made the following findings:

1. Staff finds that there is no adverse effect to the health, safety, and general welfare of occupants of surrounding land.
2. Staff finds that there is no adverse effect to existing and anticipated traffic conditions including parking facilities on adjacent streets and land due to the traffic impact analysis.
3. Staff finds that the proposed development is consistent with the Surprise General Plan 2020 Low Density Residential land use classification.
4. Staff finds that the proposed Conditional Use Permit complies with Section 125-188 (c) (4) of the Surprise Municipal Code.
  - a. A minimum of 75 square feet of outdoor play space per child shall be provided from which at least 50 square feet of fenced-in play space per child shall be provided. Fenced-in, outdoor, play space shall not include driveways, parking areas ,or land unsuited by virtue of other usage or natural features for children's play space. **Outdoor play area is fenced: 15,089 S.F./50= 301 Children**
  - b. At least 250 square feet of lot area per child shall be provided.  
**65,048 S.F./250= 260 Children Maximum.**

**STIPULATIONS**

**REQUIRED ACTIONS.** The applicant and/or owner shall comply with the following stipulations of Case CUP08-023, Greenway and Reems Daycare.

- a. The egress gate from the play area is to be located on the west or southwest portion of the play area away from the building.
- b. All hardware for the gate, access to the gate, and the gate itself shall comply with all applicable city codes at the time of building permit application.
- c. All parcel numbers shall be active prior to submittal of any building permit and shall stay active throughout the construction process until a Letter of Compliance and/or Certificate of Occupancy is issued. Any subdivision or lot split shall be reviewed and approved by the City of Surprise prior to recordation with Maricopa County.
- d. Per the code requirement, the building shall be occupied by no more than 260 children.

**CITY OF SURPRISE  
COMMUNITY DEVELOPMENT DEPARTMENT**

**CUP07-443**

**CONDITIONAL USE PERMIT**

for:

**Culver's of Surprise**  
**PLANNING AND ZONING COMMISSION**  
Hearing Date: **May 20, 2008**

<b>STAFF:</b>	Lance Ferrell, 623.222.3135
<b>LOCATION:</b>	Generally SEC of Bell Road and Sarival Avenue.
<b>DESCRIPTION OF THE REQUEST:</b>	Approval of a Conditional Use Permit.
<b>SUMMARY ANALYSIS:</b>	The applicant is requesting a Conditional Use Permit approval for Culver's of Surprise on approximately 1.82 gross acres. The property is zoned PAD (Planned Area Development, Mountain Vista Ranch), Surprise, AZ, Section 6, T3N, R2W.

<b>SUGGESTED MOTION:</b>	<b>I move to approve CUP07-443, a Conditional Use Permit for Culver's of Surprise and adopt staff's findings and stipulations 'a' through 'e.'</b>
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City of Surprise  
Planning and Zoning Division

## EXECUTIVE SUMMARY

CUP07-443  
Culver's of Surprise

**APPLICANT**

Stu Rayburn  
RCC Design Group  
11022 S. 51<sup>st</sup> Street, #102  
Phoenix, AZ 85044  
P: 480.598.0270  
F: 480.598.0273  
[stu@rccdesigngroup.com](mailto:stu@rccdesigngroup.com)

**OWNER:**

Don Slack  
Westfield/AZ, LLC  
717 17<sup>th</sup> Street Suite 2000  
Denver CO, 80202  
P: 303.892.1111  
F: 303.892.6338  
[Dslack@wfmmail.com](mailto:Dslack@wfmmail.com)

**HEARING DATE:**

May 20, 2008

**STAFF:**

Lance Ferrell

**LOCATION:**

Generally on the SEC of Bell Road and Sarival Avenue.

**DESCRIPTION of the REQUEST:**

Approval of a Conditional Use Permit.

**STAFF RECOMMENDATION:**

Approval

**SUMMARY ANALYSIS:**

The applicant is requesting a Conditional Use Permit approval for Culver's of Surprise on approximately 1.82 gross acres. The property is zoned PAD (Planned Area Development, Mountain Vista Ranch), Surprise, AZ, Section 6, T3N, R2W.

**HISTORY**

1. A final plat was approved by City Council on August 10, 2006 plating five commercial parcels.
2. A Planned Area Development Amendment was approved administratively on March 18, 2007 that moved the C-2 (Community Commercial) to run parallel with Bell Road and move the multi-family to run along the single-family residential property line to the south.
3. A Commercial Subdivision was approved by City Council on September 13, 2007 that divided the 40-acre parcel into eight commercial lots and the one multi-family lot to the south.
4. A master site plan was approved for Westfield Commons on May 6, 2008.
5. Currently there is an application for a conditional use permit for Culver's restaurant.

**STAFF ANALYSIS**

The applicant has submitted a conditional use permit known as Culver's of Surprise which is approximately 1.82 acres located on Bell Road between Sarival Avenue and Sunrise Boulevard. Culver's of Surprise conditional use permit is proposing a 3,691 s.f. restaurant with a drive-through. Culver's will have a patio for outdoor dining. The zoning for the property is C-2 (Community Commercial) and in order to conform to the City of Surprise's Municipal Zoning Code, all restaurant uses with a drive-through need to go through a conditional use permit.

**Circulation:**

Access to the site will be from two points on a private road that runs parallel to Bell Road.

Pedestrian circulation is prevalent throughout the site. A five-foot-wide sidewalk will be installed along Bell Road and the private road to the west and south of Culver's.

**Architecture:**

The architectural theme of Culver's restaurant is consistent with the goals and ideas set forth in the City of Surprise Design Guidelines. In addition, the design follows the color and material palette of the recently approved Westfield Commons Master Plan. Proper building orientation was maintained through the use of four-sided architecture. Windows were oriented to Bell Road and the main entrance while service areas were oriented towards the non-public areas of the site.

Building materials consist of a material that resembles stucco and cultured stone. Due to the presence of cultured stone on the Northwest Ranch theme wall, cultured stone is used at the base and pilasters of the building. It is also applied to the tower/pediment feature shown on the north and west elevations bringing prominence to both sides. The roofing system is comprised of a parapet roof that maintains a seamless look as well as the possibility of providing screening for rooftop mechanical systems, if needed. Blue canvas awnings are placed over each window and entrance which provides ultimate protection from the sun and

outdoor elements. It also allows the Culver's franchise to maintain some of their corporate identity while still adhering to the Westfield Commons architectural theme.

**Landscaping:**

The landscape design for this project will utilize drought resistant plant material and provide adequate screening for surrounding uses. The design conforms to the adopted Planning and Design Guidelines. Turf is only utilized in active recreational areas and a majority of the perimeter buffering trees will be 48-inch box to provide an instant established atmosphere.

**Departmental Review:** All departments are recommending approval of the site subject to all conditions of approval.

**Traffic Division:** Traffic had no concerns regarding this project.

**Fire Department:** Fire informed the applicant that the fire hydrants would be 300 feet apart and to ensure all emergency drive lanes were a minimum of 20 feet.

**Planning Division:** Planning wanted a bicycle rack added to the project, as well as ADA ramps shown on all sidewalks.

**Building Safety Division:** Building safety requested that all plans conform to all current building codes at time of submittal. They also wanted to ensure that the IBC construction type and occupancy were added to the document.

**Water Services Department:** The water department had the following comments: mandatory use of non-potable water for construction purposes when available, and non-residential backflow prevention devices and non-residential monitoring manholes are required. The applicant has provided these requirements.

**Engineering Department:** The engineering department had concerns with the vicinity map which were corrected.

### **FINDINGS**

This is a suitable location due to the proximity to Bell Road and the multiple entry points from a private road. The traffic impact analysis that has been reviewed by staff also showed no adverse effects to the traffic on Bell Road. This location is also well buffered (200') from any residential unit. The General Plan 2020 land use designation for the parcel is Medium Density Residential which allows neighborhood shops and services. Therefore staff has made the following findings:

1. Staff finds that there is no adverse effect to the health, safety, and general welfare of occupants of surrounding land.
2. Staff finds that there is no adverse effect to existing and anticipated traffic conditions including parking facilities on adjacent streets and land due to the traffic impact analysis.
3. Staff finds that the proposed development is consistent with the Surprise General Plan 2020.

**STIPULATIONS**

**REQUIRED ACTIONS.** The applicant and/or owner shall comply with the following list of stipulations of Case CUP07-443.

- a. Major changes to this Conditional Use Permit with regards to use and intensity must be processed as a revised application with approval by the Planning and Zoning Commission. Minor changes may be administratively approved by the City Manager and the Community Development Director.
- b. The applicant shall include all approved stipulations related to the project on the title sheet of construction plans prior to plan check submittal.
- c. Applicant or property owner must provide the city with an approved earth moving permit by Maricopa County Environmental Services Department prior to release of any permits.
- d. All roof mounted and ground mounted mechanical equipment shall be screened from public view and will be subject to the approval of the Community Development Director.
- e. The LED around the roof line will be removed and may be allowed around the signage area only.

# Culver's of Surprise





DEPARTMENT OF THE AIR FORCE  
AIR EDUCATION AND TRAINING COMMAND

24 January 2008

Mr. James R. Mitchell  
Director, Community Initiatives Team  
56th Fighter Wing  
14185 West Falcon Street  
Luke AFB AZ 85309-1629

Ms. Carol Dager  
City of Surprise Planning Department  
12425 West Bell Road  
Surprise AZ 85374

Re: Case #CUP07-443 Culver's of Surprise

Dear Ms. Dager

Thank you for the opportunity to provide comments on the Conditional Use Permit Application for Culver's of Surprise. Culver's is located on 1.82 gross acres within the Westfield Commons Commercial Center, east of the southeast corner of Sarival Avenue and Bell Road. Plans call for the construction of a 3,952 square foot free standing restaurant building. The site is approximately 3 miles outside the 1988 JLUS 65 Ldn, "high noise or accident potential zone," as defined by A.R.S. § 28-8461 and is within the "territory in the vicinity of a military airport," also defined by A.R.S. § 28-8461.

As described, this restaurant building will not negatively impact the flying operations at Luke AFB. Since the site is located within the "territory in the vicinity of a military airport," it will be subjected to noise from approximately 165 over flights a day, with some as low as 1,500 feet above ground level. We recommend you review the sound attenuation requirements found in A.R.S. § 28-8482. In addition, a strong notification program on the part of the applicant would be essential to inform the tenant about Luke AFB operations. We also recommend a review of the Luke AFB web site at <http://www.luke.af.mil>, Community Interests and Community Initiatives links, for further information.

If there are any questions, please contact my Community Planner, Mr. Bob Dubsy, at (623) 856-6195.

Sincerely

A handwritten signature in black ink, appearing to read "James R. Mitchell", is written over a horizontal line.

JAMES R. MITCHELL

cc:

Colonel Henry M. Reed III, Vice Commander, 56th Fighter Wing



**Arizona Department of Transportation**  
**Intermodal Transportation Division**

206 South Seventeenth Avenue Phoenix, Arizona 85007-3213

Janet Napolitano  
Governor

Victor M. Mendez  
Director

Sam Elters  
State Engineer

March 10, 2008

Ms. Carol Dager  
City of Surprise Planning Department  
12425 West Bell Road Suite D100  
Surprise, Arizona 85374

RE: **Culver's of Surprise** / CUP07-443/ SEC of Sarival & Bell Road

Dear Ms. Dager:

Thank you for your notification regarding the Conditional Use Permit on the above referenced subject. After a complete review, we have concurred that at this time the proposed project will not have impact on our highway facilities in this area.

**ADOT does reserve the right to review and comment any further development plans, changes and or additions for this site, as to any impact they may have on the State Highway System.**

Should you have any questions, you may contact me at 602-712-8876, or in writing at 205 S. 17<sup>th</sup> Avenue, Right of Way Project Management Section, MD 612E, Phoenix, Arizona 85007. Thanking you in advance for your cooperation.

Sincerely,

Annette Close  
Administrative Assistant III  
Right of Way Project Management  
[aclose@azdot.gov](mailto:aclose@azdot.gov)



2001 Award Recipient



**VICINITY MAP**  
NOT TO SCALE

# McCON BUILDING CORPORATION

1059 Circle Dr. - P.O. Box 247  
Highland, WI 53543  
Phone 608-929-7737 Fax: 608-929-7739

December 26, 2007

City of Surprise  
Planning and Zoning Department  
12425 West Bell Road, Suite D-100  
Surprise, AZ 85374

To All Concerned:

Enclosed please find the TAC application and supporting documents for a proposed Culver's restaurant on Lot 2 of the Westfield Commons, at the southeast corner of Bell Road and Sarival Road. Culver's is a quick serve franchise serving fresh, made to order dinners, sandwiches, salads, and a premium ice cream known as frozen custard. The proposed size of the restaurant is 3,952 square feet, with an indoor seating capacity of approximately 94 guests. The outdoor patio area would be approximately 450 square feet and would seat another 30-40 guests. The restaurant will also have a drive-through.

The site, which is also referred to Lot 2 of the Westfield Commons Development, is currently vacant. It has a gross site area of 1.82 acres and net site area is 1.45 acres. The existing zoning for the site is C-2. A Use Permit is required for the drive-through element of the site. The surrounding properties are of commercial zoning and should experience very little impact from the drive-through. The store hours are planned from 10 am to midnight daily. There are typically twelve persons working at any given shift.

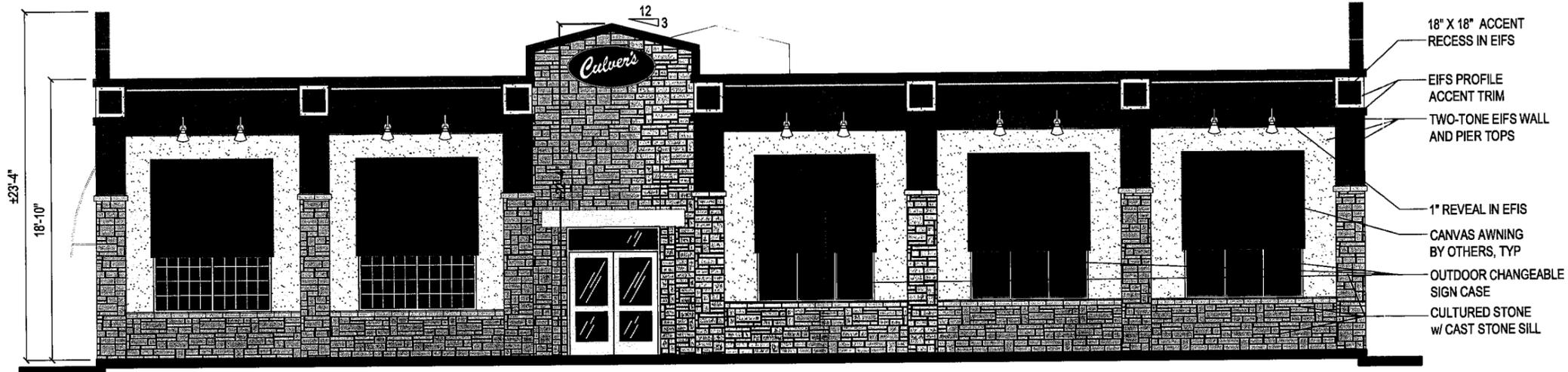
The total number of proposed parking spaces is 48, which would exceed Surprise's requirement of 16 for a restaurant with 3,952 total square feet of floor area.

Please contact me at any time if you need additional information. I look forward to working with the City of Surprise on this project.

Best regards,  
McCON Building Corporation

Christopher J. McGuire  
President

Cc: Mr. Brian Farrell [brian.farrell@cityofsurprise.com](mailto:brian.farrell@cityofsurprise.com)  
Mr. Zach Schaefer [zach.schaefer@cityofsurprise.com](mailto:zach.schaefer@cityofsurprise.com)  
Mr. Rob Bullock [rob.bullock@cityofsurprise.com](mailto:rob.bullock@cityofsurprise.com)



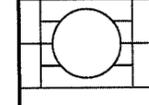
RIGHT ELEVATION

NEW CULVERS RESTAURANT  
 Address  
 Surprise, Arizona ZIP CODE  
 CASE #AUPW07-415

Culver's  
 Culver Franchising System, Inc.  
 540 Water Street  
 Prairie du Sac, WI 53578  
 608-843-7880

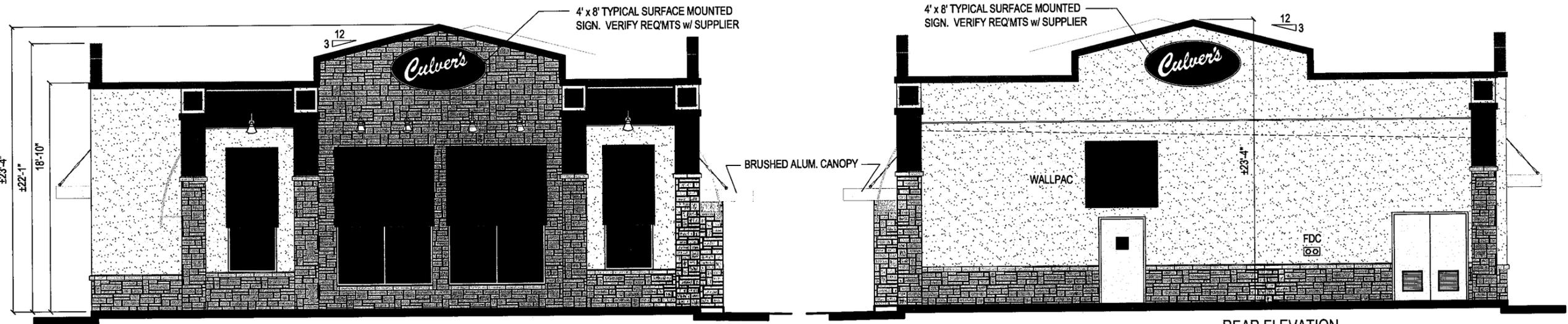
OWNER:  
 SCOPCO LLC  
 ADDRESS  
 City, ST  
 CONTACT: BRIAN FARRELL

OLLMANN ERNEST ARCHITECTS  
 500 South State Street  
 Eau Claire, WI 54601  
 1-815-844-7700 Phone  
 1-815-844-7782 Fax



ELEVATIONS

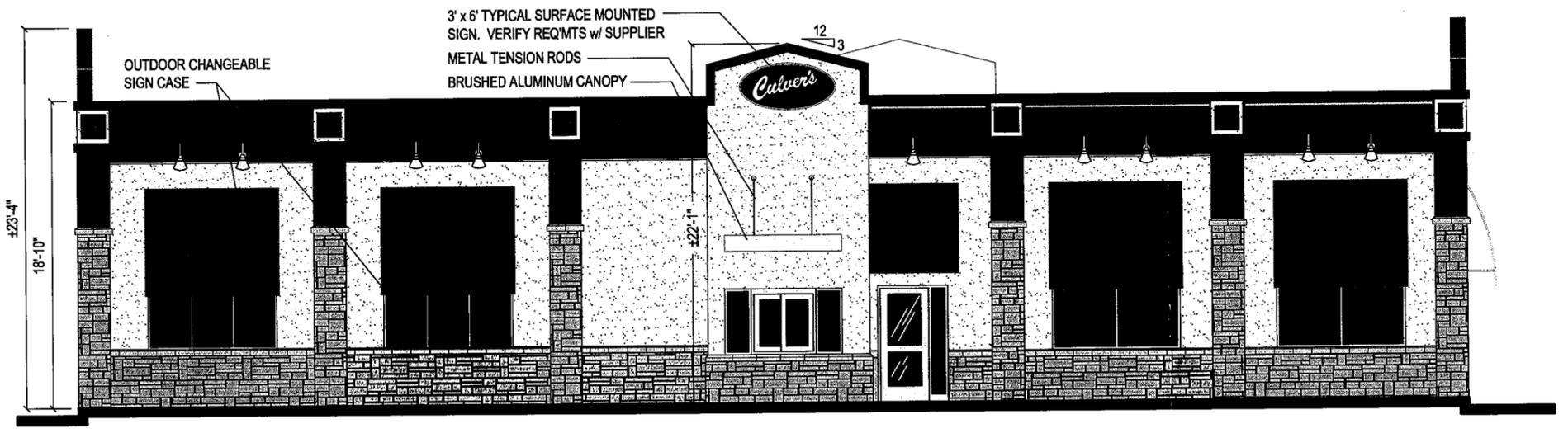
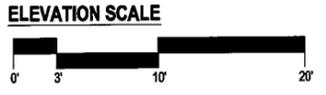
Date: 3-17-2008  
 Revision:



FRONT ELEVATION

REAR ELEVATION

REPRESENTATION	MATERIAL	COLOR
	COPING	"RED HOOK" DUNN EDWARDS 6091
	LED STRIP LIGHT	GE "GELCORE"
	ACCENT SQUARE	"RED HOOK" DUNN EDWARDS 6091
	GOOSENECK LIGHT	ALUMINUM
	EIFS-DARK TONE	"RED HOOK" DUNN EDWARDS 6091
	EIFS-LIGHT TONE	"BREAKFAST BISCUIT" DUNN EDWARDS 6107
	CAST STONE SILL	"TAUPE" OWENS CORNING SWT-1375
	AWNING CANVAS	SUNBRELLA ROYAL BLUE 4617
	CULTURED STONE VENEER	"CARAMEL" COUNTRY LEDGESTONE OWENS CORNING CSV-20007



LEFT ELEVATION

**PLANT SCHEDULE**

SYMBOL	BOTANICAL/COMMON NAME	SIZE/CLPR	QTY.	REMARKS
<b>TREES</b>				
●	ACACIA ANEURA MULGA TREE	24" BOX/ 1.5" CAL	3	STAKE AS REQUIRED
○	FRAXINUS VELLUTINA "RIO GRANDE" FAN-TEX ASH	48" BOX/ 3.5" CAL	9	STAKE AS REQUIRED
▲	PARKINSONIA HYBRID "DESERT MUSEUM" DESERT MUSEUM PALO VERDE	48" BOX/ 3.5" CAL	12	STAKE AS REQUIRED
△	QUERCUS VIRGINIANA SOUTHERN LIVE OAK	36" BOX/ 2.75" CAL	14	STAKE AS REQUIRED
<b>SHRUBS</b>				
⊗	CAESALPINIA PULCHERRIMA RED BIRD OF PARADISE	5 GAL.	8	1 GPH EMITTER
①	LEUCOPHYLLUM FRUTESCENS "GREEN CLOUD" GREEN CLOUD SAGE	5 GAL.	31	1 GPH EMITTER
⊙	LEUCOPHYLLUM LAEVIGATUM CHIHUAHUA SAGE	5 GAL.	36	1 GPH EMITTER
⊗	RUPELLIA PENINSULARIS BAJA RUPELLIA	5 GAL.	42	1 GPH EMITTER
<b>ACCENTS</b>				
⊕	AGAVE DESMETIANA N.C.N.	5 GAL.	36	.5 GPH EMITTER
⊕	HESPERALOE PARVIFLORA RED YUCCA	5 GAL.	70	1 GPH EMITTER
⊕	MUHLENBERGIA CAPILARIS "REGAL MIST" REGAL MIST DEER GRASS	5 GAL.	13	1 GPH EMITTER
<b>GROUND COVER</b>				
⊕	CONVOLVULUS CNEORUM BUSH MORNING GLORY	1 GAL.	73	1 GPH EMITTER
⊕	LANTANA SPP. "NEW GOLD" LANTANA	1 GAL.	154	1 GPH EMITTER
○	RUPELLIA BRITTONIANA "KATIE" DWARF RUPELLIA	1 GAL.	23	1 GPH EMITTER
<b>MATERIAL</b>				
	DECOMPOSED GRANITE "MADISON GOLD"	3/4" SCREENED		2" DEPTH ALL LANDSCAPE AREAS

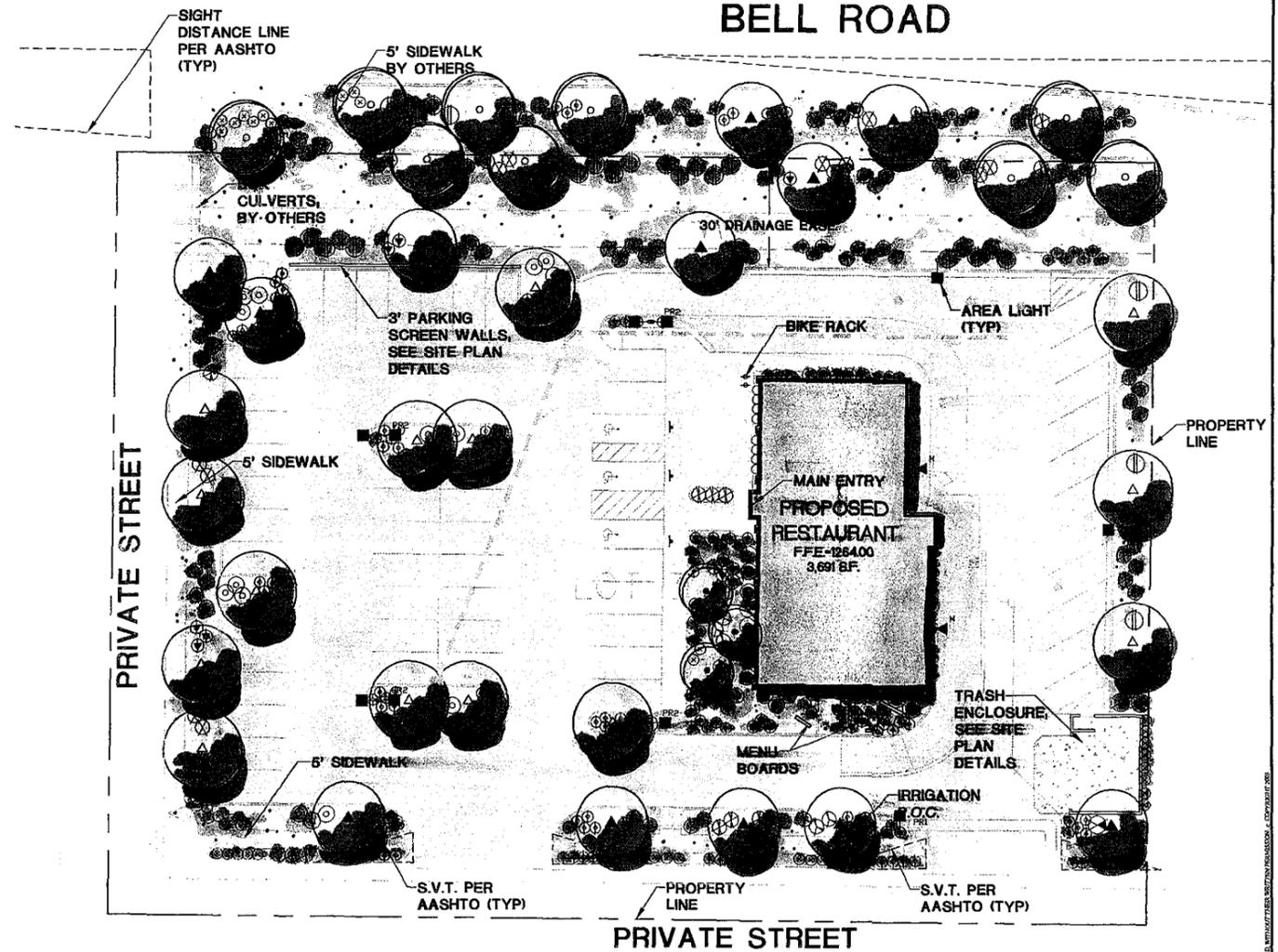
**CITY OF SURPRISE NOTES**

- TREE CALIPERS WILL COMPLY WITH "ARIZONA NURSERY ASSOCIATION SPECIFICATIONS" FOR THAT TYPE AND SIZE OF TREE.
- LANDSCAPE TO BE WATERED BY AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.
- 3/4" DECOMPOSED GRANITE TO BE USED FOR ALL NON-TURF LANDSCAPE AREAS.
- A MIXTURE OF 24", 36" AND 48" BOX TREES AS WELL AS 1, 5 AND 15 GALLON SHRUBS TO BE USED IN LANDSCAPE DESIGN OF DEVELOPMENT.
- 50% TREES TO BE 48" BOX FOR INTERNAL PORTION OF DEVELOPMENT.
- NO THORN BEARING TREES TO BE USED ADJACENT TO PEDESTRIAN USE AREAS.
- ALL PLANT SPECIES ON PLANT SCHEDULE FROM ADWR LOW WATER USE LIST.
- ALL CHANGES TO BE APPROVED BY THE CITY OF SURPRISE COMMUNITY DEVELOPMENT DEPT.
- SIGNS REQUIRE A SEPARATE PERMIT.
- ALL UTILITY BOXES AND STRUCTURES ARE TO BE SCREENED FROM VIEW.
- PLANT MATERIAL IS NOT TO BE LOCATED WITHIN 3 FEET OF ANY FIRE HYDRANT OR FIRE DEPARTMENT CONNECTION.
- TREES IN PAVED AREAS ARE TO HAVE DEEP ROOT BARRIERS.
- ALL PLANT MATERIAL SIZES ARE TO BE CONSISTENT WITH ANA STANDARDS.
- ALL PLANT MATERIAL LOCATED WITHIN AASHTO VISIBILITY TRIANGLES ARE TO BE MAINTAINED NO HIGHER THAN 2 FEET HIGH, AND HANG NO LOWER THAN 7 FEET FROM GROUND ELEVATION.

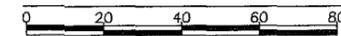
**CITY OF SURPRISE PLANTING DATA**

LANDSCAPE AREAS COMMERCIAL ONLY	REQUIRED	PROVIDED
A. ON-SITE LANDSCAPE AREA		
COMMERCIAL: 15% OF NET SITE AREA		
INDUSTRIAL: 5% OF NET SITE AREA	9,084 SQ. FT.	16,063 SQ. FT.
B. RESIDENTIAL BUFFER LANDSCAPE AREA		
10 FT. FROM ALL FROM ALL RESIDENTIAL BOUNDARIES.	N/A	N/A
C. PARKING LANDSCAPE AREA MINIMUM 5%	5 %	8.2 %
D. PARKING ISLANDS 1 PER 10 CONSECUTIVE PARKING SPACES MINIMUM 5 FT. WIDE MINIMUM 50 SQ. FT.	280 SQ. FT.	1,368 SQ. FT.
E. FOUNDATION PLANTING 33% OF BUILDING FRONTAGE FOR BUILDINGS FRONTING ON PUBLIC STREETS.	14 LF	43 LF
LANDSCAPE PLANTINGS	REQUIRED	PROVIDED
F. TREES: 1 PER 20 FT. OF STREET FRONTAGE	14 TREES	14 TREES
G. SHRUBS: 2 PER 20 FT. OF STREET FRONTAGE	28 SHRUBS	108 SHRUBS
H. SHRUB AND GROUND COVER AREA 25%	4,137 SQ. FT.	4,985 SQ. FT.
I. TREES: 1 PER 8 PARKING SPACES	7 TREES	8 TREES
LANDSCAPE TOTALS	REQUIRED	PROVIDED
TREES:		
50% = 24" BOX:	25 TREES	25 TREES
25% = 36" BOX:	12 TREES	12 TREES
25% = 48" BOX:	12 TREES	12 TREES
SHRUBS: MIN. 5 GALLON		

100% PLANT SPECIES USED ARE FROM ADWR LOW WATER USE PLANT LIST



**PRELIMINARY LANDSCAPE PLAN**



SCALE: 1"=20'-0"



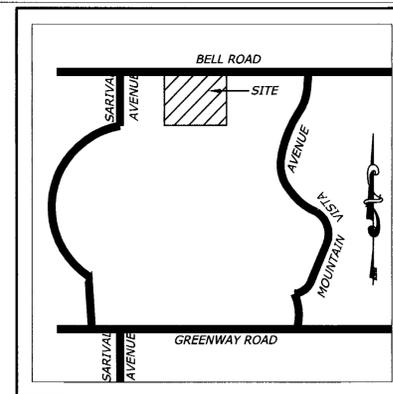
REVISIONS:

1.	
2.	
3.	
4.	

# CONCEPTUAL SITE PLAN FOR CULVER'S RESTAURANT SURPRISE, ARIZONA

A PORTION OF THE NORTHWEST QUARTER OF SECTION 6, TOWNSHIP 3 NORTH,  
RANGE 1 WEST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN,  
LOT 3 WESTFIELD COMMONS SUBDIVISION  
SEC SARIVAL AVENUE AND BELL ROAD, ARIZONA

NOTE:  
ALL PROPOSED DEVELOPMENT PHASES DEPICTED ON  
THIS SITE PLAN SHALL BE PROVIDED A MINIMUM  
OF TWO (2) SEPARATE POINTS OF UNOBSTRUCTED  
ACCESS WITH A MINIMUM WIDTH OF TWENTY FEET,  
INSTALLED AND MAINTAINED PURSUANT TO THE  
REQUIREMENTS OF THE CITY OF SURPRISE.



VICINITY MAP  
NOT TO SCALE

### LEGEND

PROPOSED	
CURB AND GUTTER	[Symbol]
MANHOLE	[Symbol]
CURB / YARD DROP INLET	[Symbol]
FLARED END SECTION	[Symbol]
FIRE HYDRANT	[Symbol]
VALVE	[Symbol]
REDUCER	[Symbol]
TEE	[Symbol]
BEND	[Symbol]
SIAMESE CONNECTION	[Symbol]
STORM DRAINAGE LINE	[Symbol]
SANITARY SEWER LINE	[Symbol]
WATER LINE	[Symbol]
CLEANOUT	[Symbol]
SPOT ELEVATION	
TC = TOP OF CURB	[Symbol]
TB = TOP OF BANK	[Symbol]
FL = FLOW LINE	[Symbol]
EP = EDGE OF PAVEMENT	[Symbol]
TW = TOP OF WALL	[Symbol]
P = PAVEMENT	[Symbol]
AUE=ACCESS AND UTILITY EASEMENT	[Symbol]
CONCRETE WALK	[Symbol]
HEAVY DUTY CONCRETE	[Symbol]
HEAVY DUTY PAVEMENT	[Symbol]
SWALE	[Symbol]
PROPERTY LINE	[Symbol]
ROADWAY CENTERLINE	[Symbol]
LIGHTPOLE	[Symbol]
WATER METER	[Symbol]
BACKFLOW PREVENTER	[Symbol]
1' CONTOUR	[Symbol]
10' CONTOUR	[Symbol]
INLET PROTECTION	[Symbol]
ACCESS AND UTILITY EASEMENT	[Symbol]

PROJECT NARRATIVE:  
THIS PROJECT SHALL CONSIST OF THE INFILL DEVELOPMENT OF AN EXISTING  
PARCEL GENERALLY LOCATED ON THE SOUTHEAST CORNER OF SARIVAL AVENUE  
AND BELL ROAD IN SURPRISE, ARIZONA.

THIS PROJECT SHALL CONSIST OF THE CONSTRUCTION OF A RESTAURANT WITHIN  
A NEW BUSINESS PARK.

MUNICIPAL INFORMATION:  
GOVERNING AGENCY: CITY OF SURPRISE  
COMMUNITY DEVELOPMENT  
12425 W. BELL RD., SUITE D-100  
SURPRISE, ARIZONA 85374  
623.222.3000  
623.222.3001 FAX

OWNER / DEVELOPER: SCOOP, LLC  
3046 CRYSTAL ROCK  
NAPEVILLE, IL 60564  
630.660.0067  
CONTACT: BRIAN FARRELL

ENGINEER: RCC DESIGN GROUP, LLC  
ATTN: STUART W. RAYBURN, P.E.  
11022 S. 51ST STREET, SUITE 102  
PHOENIX, AZ 85044  
480.598.0270  
480.598.0273 FAX

ARCHITECT: OLLMANN ERNEST ARCHITECTS  
509 SOUTH STATE STREET  
BELVIDERE, IL 61008  
815.544.7790  
815.544.7792 FAX  
CONTACT: PAUL OLLMANN

PROJECT ADDRESS: SEC SARIVAL AVENUE AND BELL ROAD  
LOT 3 WESTFIELD COMMONS  
SURPRISE, ARIZONA 85374

PARCEL NUMBER: 501-77-970

CURRENT ZONING: C-2

CASE NUMBERS: CUP07-443

CONSTRUCTION TYPE: V-B

OCCUPANCY TYPE: A-2 (RESTAURANT W/ DRIVE-THRU)

GROSS SITE AREA:  
79,462 S.F. (1.82 ACRES)

NET SITE AREA:  
60,557 S.F. (1.39 ACRES)

BUILDING AREA:  
RESTAURANT = 3,952 S.F.  
DINING/ORDER = 1947 SF  
KITCHEN = 1,074 SF  
OFFICE/STORAGE = 686 SF  
RESTROOM = 243 SF  
PATIO = 570 SF

SITE COVERAGE:  
RESTAURANT = 3,952/60,557 = 0.065 (6.5%)  
PARKING = 9,945/60,557 = 0.164 (16.4%)  
LANDSCAPE = 16,063/60,557 = 0.265 (26.5%)

BUILDING HEIGHT:  
FRONT, SIDE, AND REAR = 23'-10"

CURRENTLY ADOPTED  
CODES/ORDINANCES: 2006 INTERNATIONAL BUILDING CODE  
2006 INTERNATIONAL MECHANICAL CODE  
2006 INTERNATIONAL PLUMBING CODE  
2006 INTERNATIONAL RESIDENTIAL CODE  
2006 INTERNATIONAL ELECTRICAL CODE  
2005 NATIONAL ELECTRICAL CODE  
2006 INTERNATIONAL ENERGY  
CONSERVATION CODE  
2006 INTERNATIONAL FUEL GAS CODE  
2006 INTERNATIONAL FIRE CODE  
CITY OF SURPRISE ZONING ORDINANCE

STANDARD PARKING STALL SIZE: 9'W X 18'-0"D

ACCESSIBLE PARKING STALL SIZE: 8'-0"W X 20'-0"D

STANDARD PARKING REQUIRED:  
RESTAURANT:  
ONE (1) STALL PER 50 S.F. INDOOR PUBLIC FLOOR AREA  
2,190 SF/50=44 SPACES  
ONE (1) STALL PER 200 S.F. OUTDOOR SERVING AREA  
570 SF/200=3 SPACES  
TOTAL SPACES REQUIRED = 47 SPACES

ACCESSIBLE PARKING REQUIRED:  
RESTAURANT:  
50-75 TOTAL PARKING REQUIRED = 3

STANDARD PARKING PROVIDED:  
RESTAURANT = 51 SPACES

ACCESSIBLE PARKING PROVIDED:  
RESTAURANT = 3 SPACES

TOTAL PARKING PROVIDED:  
RESTAURANT = 54 SPACES

LEGAL DESCRIPTION  
LOT 3, WESTFIELD COMMONS SUBDIVISION,  
ACCORDING TO BOOK 863 OF MAPS, PAGE 47,  
RECORDS OF MARICOPA COUNTY, ARIZONA AND  
AMENDED IN BOOK OF MAPS, PAGE, MORE  
PARTICULARLY DESCRIBED AS FOLLOWS:

THAT PORTION OF THE NORTHWEST QUARTER OF  
SECTION 6, TOWNSHIP 3 NORTH, RANGE 1 WEST,  
OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA  
COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

COMMENCING AT NORTHWEST CORNER OF SAID  
SECTION 6;  
THENCE S 00°31'56" W, ALONG THE EAST LINE OF  
SAID NORTHWEST QUARTER, A DISTANCE OF 85.00  
FEET;

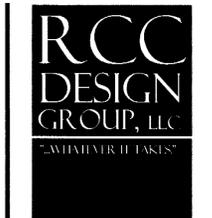
THENCE S 89°24'05" E, A DISTANCE OF 55.00 FEET;  
THENCE N 45°33'55" E, A DISTANCE OF 28.27 FEET TO  
A POINT ON THE SOUTH 65.00 FOOT RIGHT-OF-WAY  
LINE OF BELL ROAD;

THENCE S 89°24'05" E, ALONG SAID RIGHT-OF-WAY  
LINE, BEING PARALLEL WITH AND 65.00 FEET SOUTH  
OF THE NORTH LINE OF SAID NORTHWEST QUARTER,  
A DISTANCE OF 550.29 FEET TO THE POINT OF  
BEGINNING;

THENCE CONTINUING ALONG SAID RIGHT-OF-WAY LINE  
S 89°24'05" E, A DISTANCE OF 288.35 FEET;  
THENCE LEAVING SAID RIGHT-OF-WAY LINE S  
00°35'55" W, A DISTANCE OF 210.01 FEET;

THENCE N 89°24'05" W, A DISTANCE OF 288.35 FEET;  
THENCE N 00°35'55" E, A DISTANCE OF 210.01 FEET  
TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 60,557 S.F. OR 1.390 ACRES,  
MORE OR LESS.



11022 S. 51ST STREET  
SUITE 102  
PHOENIX, AZ 85044  
480.598.0270  
480.598.0273 FAX  
"CIVIL & SITE ENGINEERING SERVICES"



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BEFORE YOU DIG  
(602)263-1100  
1-800-STAKE-IT  
(OUTSIDE MARICOPA COUNTY)

CONCEPTUAL SITE PLAN  
FOR  
CULVER'S RESTAURANT  
LOT 3 WESTFIELD COMMONS SUBDIVISION  
SEC SARIVAL AVENUE AND BELL ROAD  
SURPRISE  
ARIZONA

PROJECT NO. 07-087-50  
DRAWING NO. 00280  
DATE: 10/23/07  
DRAWN BY: JSR/SWR  
CHECKED BY: JSR/SWR  
REVISIONS:  
02/07/08 CITY COMMENTS

SHEET NO.  
**C 1.0**  
1 OF 1  
CONCEPTUAL  
SITE PLAN  
CUP07-443

-PRELIMINARY-  
NOT FOR  
CONSTRUCTION

