



City of Surprise Planning and Zoning Commission

WORKSHOP AGENDA

Tuesday, August 5, 2008 - 5 P.M.

Surprise City Hall
12425 West Bell Road, Suite D100
Surprise, AZ 85374

CALL TO ORDER

WORK SESSION TOPIC

1. General Plan Implementation Overview
 - Role of Commissioners
 - Future Activities
 - Presented by Community Development Department
 - Janice See, Senior Planner

2. Capital Improvements Plan (CIP)
 - Purpose
 - Projects
 - Presented by Management and Budget
 - Michael Schrock, Director
 - Jared Askelson, Budget Division Manager

3. Questions

ADJOURNMENT

Jeffrey J. Mihelich, Director
Community Development

SPECIAL NOTE: Individuals needing reasonable accommodations, such as large print materials and oral/ ASL interpreters, should contact the Disability Advocate at **623.222.3821** (Voice) or **623.222.3802** (TTY/VP) at least three (3) business days prior to the event so arrangements can be made.

Surprise Planning & Zoning Commission
Jan Blair, Chair - Steve Somers, Vice Chair
Matthew Bieniek, Ken Chapman, John Hallin, Robert Rein, Fred Watts



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Surprise Planning & Zoning Commission
Jan Blair, Chair - Steve Somers, Vice Chair
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**City of Surprise Planning and Zoning Commission
AGENDA**

Tuesday, August 5, 2008 - 6 P.M.

Surprise City Hall

12425 West Bell Road, Suite D100, Surprise, AZ

CALL TO ORDER

- A. Roll Call
- B. Pledge of Allegiance
- C. Approval of items on the **Consent** Agenda – all items with an asterisk (*) are considered to be routine matters and will be enacted by one motion and one roll call vote to the Planning and Zoning Commission. There will be no separate discussion on these items unless a Commissioner requests; in which event, the item will be removed from the consent agenda and considered in its normal sequence on the agenda.

ITEM NO.	ITEM DESCRIPTION	STAFF RECOMMENDATION
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CURRENT EVENTS REPORT

1	COMMUNITY DEVELOPMENT DEPARTMENT REPORT	DISCUSSION
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CONSENT AGENDA:

2*	APPROVE PLANNING/ZONING COMMISSION MINUTES FOR JULY 15, 2008. APPROVE PLANNING/ZONING COMMISSION WORKSHOP MINUTES FOR JULY 15, 2008. CANCEL AUGUST 19, 2008 PLANNING/ZONING COMMISSION MEETING.	APPROVAL SECRETARY: DEBBIE PERRY
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OLD BUSINESS: REGULAR AGENDA ITEM REQUIRING A PUBLIC HEARING:

3	PADA07-403 – CONSIDERATION AND ACTION – SYCAMORE FARMS TOWNE CENTER – SIGN PROGRAM: REVIEW A PLANNED AREA DEVELOPMENT AMENDMENT TO SYCAMORE FARMS TOWNE CENTER – SIGN PROGRAM FOR PROJECT LOCATED ON THE SOUTHEAST CORNER OF CACTUS ROAD AND SR303. REQUEST IS SUBJECT TO STIPULATION A AND B.	APPROVAL PLANNER: BART WINGARD
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CONTINUED FROM JULY 15, 2008

REGULAR AGENDA ITEMS REQUIRING A PUBLIC HEARING:

4	SP08-081 – CONSIDERATION AND ACTION – PAD B AT MARLEY PARK SQUARE: REVIEW A SITE PLAN FOR A 5,385-SQUARE-FOOT MULTI-TENANT COMMERCIAL RETAIL BUILDING GENERALLY LOCATED ON THE SOUTHWEST CORNER OF LITCHFIELD AND WADDELL ROADS. REQUEST IS SUBJECT TO STIPULATIONS A AND B.	APPROVAL PLANNER: DENNIS DORCH
5	SP08-046 – CONSIDERATION AND ACTION – QUIK TRIP AT MARLEY PARK SQUARE: REVIEW A SITE PLAN FOR A GAS STATION AND CONVENIENCE MARKET GENERALLY LOCATED ON THE SOUTHWEST CORNER OF LITCHFIELD AND WADDELL ROADS. REQUEST IS SUBJECT TO STIPULATIONS A AND B.	APPROVAL PLANNER: DENNIS DORCH

Surprise Planning & Zoning Commission

Jan Blair, Chair - Steve Somers, Vice Chair

Matthew Bieniek, Ken Chapman, John Hallin, Robert Rein, Fred Watts

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| 6 | CUP08-082 – CONSIDERATION AND ACTION – PAD E AT MARLEY PARK SQUARE: REVIEW A CONDITIONAL USE PERMIT FOR A 4,213-SQUARE-FOOT BUILDING WITH A DRIVE-THROUGH LOCATED GENERALLY ON THE SOUTHWEST CORNER OF LITCHFIELD AND WADDELL ROADS. REQUEST IS SUBJECT TO STIPULATIONS A AND B. | APPROVAL
PLANNER:
DENNIS DORCH |
| 7 | CUP08-083 – CONSIDERATION AND ACTION – PAD C AT MARLEY PARK SQUARE: REVIEW A CONDITIONAL USE PERMIT FOR A 4,228-SQUARE-FOOT BUILDING WITH A DRIVE-THROUGH LOCATED GENERALLY ON THE SOUTHWEST CORNER OF LITCHFIELD AND WADDELL ROADS. REQUEST IS SUBJECT TO STIPULATIONS A AND B. | APPROVAL
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REGULAR AGENDA ITEMS NOT REQUIRING A PUBLIC HEARING:

- | | | |
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| 8 | LPD08-146 – CONSIDERATION AND ACTION – 2008 ANNEXATION POLICY DOCUMENT REVISION: REVIEW REVISIONS TO THE ANNEXATION POLICY DOCUMENT. | APPROVAL
PLANNER:
JANICE SEE |
| 9 | DISCUSSION REGARDING POSSIBLE CANCELLATION OF SEPTEMBER 2, 2008 PLANNING AND ZONING COMMISSION MEETING | DISCUSSION |

OPEN CALL TO PUBLIC:

CALL TO THE PUBLIC

Note: During this time members of the public may address the Commission on any item not on the agenda. At the conclusion of the open call, Commissioners may respond to criticism, may ask staff to review the matter or may ask that the matter be put on a future agenda. No discussion or action shall take place on any item raised.

CURRENT EVENTS REPORT

CHAIRPERSON AND COMMISSIONERS

CONSIDERATION AND ACTION TO HOLD AN EXECUTIVE SESSION:

Pursuant to A.R.S. § 38-431.03(A)(3), the Planning and Zoning Commission may go into executive session with the City Attorney for legal advice on any item listed on the agenda.

ADJOURNMENT:

POSTED: JULY 29, 2008 TIME: 9 a.m.

Jeffrey J. Mihelich, Director
Community Development

REQUEST TO SPEAK: Comments pertaining to the Planning and Zoning Commission business are welcome. If you wish to address the Planning and Zoning Commission, please complete a Public Comment Form and present it to the secretary before the call to order for this meeting.

SPECIAL NOTE: Individuals needing reasonable accommodations, such as large print materials and oral/ ASL interpreters, should contact the Disability Advocate at **623.222.3821** (Voice) or **623.222.3802** (TTY/VP) at least three (3) business days prior to the event so arrangements can be made.



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AGENDA
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Surprise City Hall
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- C. Approval of items on the **Consent** Agenda – all items with an asterisk (*) are considered to be routine matters and will be enacted by one motion and one roll call vote to the Planning and Zoning Commission. There will be no separate discussion on these items unless a Commissioner requests; in which event, the item will be removed from the consent agenda and considered in its normal sequence on the agenda.

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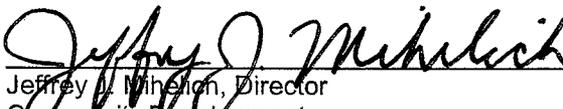
CHAIRPERSON AND COMMISSIONERS

CONSIDERATION AND ACTION TO HOLD AN EXECUTIVE SESSION:

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POSTED: JULY 29, 2008 TIME: 9 a.m.


 Jeffrey J. Mihalich, Director
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ITEM 2

CANCEL AUGUST 19, 2008 PLANNING AND ZONING COMMISSION MEETING

CITY OF SURPRISE
PLANNING AND ZONING COMMISSION WORKSHOP

12425 West Bell Road, Suite D-100
Surprise, Arizona 85374

July 15, 2008

MINUTES

Call to Order:

Chair Blair called the Planning and Zoning Commission workshop meeting to order at 5:00 p.m. in the Surprise City Hall, 12425 West Bell Road, Suite D100, Surprise, Arizona 85374, on Tuesday, July 15, 2008.

In attendance with Chair Blair were Vice Chair Steve Somers, Commissioners Matthew Bieniek, Ken Chapman, John Hallin, and Robert Rein. Commissioner Fred Watts was absent.

PRESENTATION:

Jim Swanson, Water Services Manager, presented the Integrated Water Master Plan.

The plan consists of four documents. It is structured in such a way that the Water Resources Master Plan sits on top of the infrastructure plans; reclaimed water, drinking water and waste water. The Water Resources Master Plan is about strategies the city employs to meet our demands for the future.

The Water Master Plan is a planning document. Water Services focuses on two major components, the General Plan land use and the landscaping.

At build out, demand is based on supplying water to all residents in the city in special planning areas one through five. It does not currently include special planning area six.

In response to Commissioner Hallin, Mr. Swanson stated that our water service area is smaller than our sewer service area. The city has 12 water suppliers that service the area. The major providers are Arizona American Water, city of Surprise, Beardsley Water Company and El Mirage.

In response to Commissioner Hallin, Mr. Swanson stated that there are currently four companies that have CAP allotments. All other water companies are using ground water to meet their demands.

In response to Commissioner Chapman, Mr. Swanson stated that CAP contracts are long term contracts and renewable in 20 years. There is additional supply available with Indian CAP water, but this is available only to meet short term needs.

There are some assumptions used in the Water Resources Master Plan that come from the General Plan. The Water Resources Master Plan assumes that future "build-out" demand will be based on the mid range of densities in the General Plan. However, if the city starts entitling at the higher end of the density range, the result could be the over allocation of our resources. What we are seeing is that the mid-range density truly represents how we have been growing in the city. Moving forward, we are trying to base demand on actual usage. One of the items being evaluated for the next update is increasing the density amounts in more rural areas.

In response to Commissioner Rein, Mr. Swanson stated that if the city moves into those areas that have private wells, then the city would supply water to those areas and take over any infrastructure they have and absorb those resources.

In response to Commissioner Chapman, Mr. Swanson stated that when a developer wants to develop a piece of property the Department of Real Estate seeks a determination that the city has an assured water supply.

In response to Commissioner Hallin, Mr. Swanson stated that when Chrysler Proving Grounds came in with a higher density than expected, the Water Resources Master Plan was changed to match the density of the development.

Conclusions and Recommendations

Our supplies do exceed our projected demands. One issue is that 50% of our supplies come from effluent water.

Infrastructure Master Plan goal is to develop a plan that addresses the city's existing and future water infrastructure needs and to develop an infrastructure plan for special planning areas two, three, four, and five.

The Drinking Water Master and the Wastewater Master Plan treats each SPA as its own water service area.

Water supply facilities are near open retention areas, so when the tanks are drained for maintenance then it won't flood the street. The surrounding block walls match the walls in the developments and act as a buffer to the homes.

In response to Chair Blair, Mr. Swanson stated that the reservoir tanks are drained for tank maintenance every three to five years, usually in the winter when demand is low.

The Reclaimed Water Master Plan serves a limited area. We try not to send reclaimed water outside of our service area. Excess reclaimed water is sent to HOAs, commercial sites and farmers to use.

Updates to the Integrated Water Master Plan will include evaluating providing water to SPA6, updating the land use model, increasing rural residential densities, and expanding the use of reclaimed and non potable water. The updated plan will go before council in December 2008.

In response to Vice Chair Somers, Mr. Swanson stated that at build out we estimate having 10,000 acre feet annually of CAP water and about 70,000 acre feet of total demand.

In response to Vice Chair Somers, Mr. Swanson stated that rain fall is not in the current calculations and is not considered a supply.

In response to Vice Chair Somers, Mr. Swanson stated that water depths are monitored by the state and by the city.

In response to Commissioner Chapman, Mr. Swanson stated that they do not have a specific date for build out.

In response to Commissioner Chapman, Mr. Swanson stated that the drinkable water supply is fixed so we know what we have. The current water plan does not indicate how much is needed for drinkable water; however, the new plan will.

In response to Commissioner Rein, Mr. Swanson stated that Community Development is on the technical committees. The village plans will not have much effect on demand or supply.

CONSIDERATION AND ACTION TO HOLD AN EXECUTIVE SESSION:

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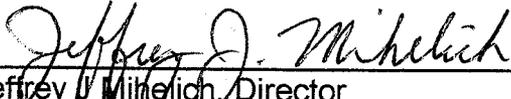
There was no request made to call for an executive session.

ADJOURNMENT:

Hearing no further business, the Planning and Zoning Commission workshop meeting was adjourned on Tuesday, July 15, 2008, at 5:47p.m.

STAFF PRESENT:

Assistant City Attorney Jim Gruber, Assistant City Manager Kathy S. Rice, Water Services Manager Jim Swanson, Fire Marshal Doug Helbig, Community Development Director Jeffrey J. Mihelich, and Planning and Zoning Commission Secretary Debbie Perry.



Jeffrey J. Mihelich, Director
Community Development Department

CITY OF SURPRISE

**PLANNING AND ZONING COMMISSION
12425 West Bell Road, Suite D-100
Surprise, Arizona 85374**

July 15, 2008

REGULAR MEETING MINUTES

CALL TO ORDER

Chair Jan Blair called the Planning and Zoning Commission Meeting to order at 6 p.m. at the Surprise City Hall, 12425 West Bell Road, Suite D100, Surprise, Arizona 85374, on Tuesday, July 15, 2008.

ROLL CALL

In attendance with Chair Blair were Vice Chair Somers, and Commissioners Matthew Bieniek, Ken Chapman, John Hallin, Robert Rein and Fred Watts.

PLEDGE OF ALLEGIANCE

CONSENT AGENDA

All items listed with an asterisk (*) are considered to be routine by the Planning and Zoning Commission and were approved by one motion. There was no separate discussion of these items during this meeting.

Commissioner Rein made a motion to approve the **Consent Agenda**. Commissioner Chapman seconded the motion. The motion passed with a vote of 7 ayes.

- **Item 2*:**
Planning and Zoning Commission Minutes for June 16, 2008.
Planning and Zoning Commission Minutes for June 17, 2008

OLD BUSINESS: REGULAR AGENDA ITEM REQUIRING A PUBLIC HEARING

- **Item 3: CUP08-028 – Consideration and Action – Francis and Sons Food Mart/Gas/Car Wash**

Planner Adam Copeland presented the project to the commission. Staff recommended approval of **CUP08-028, Francis and Sons Food Mart/Gas/Car Wash**, subject to stipulations 'a' through 'c.'

Michael Curley, Earl, Curley & LaGarde, representing the applicant, provided additional information, noting that an architect will help redesign the elements staff had concerns about, specifically the canopy and the signage. The suggestion to use solar panels was made by staff and the applicant believes that it will be a good demonstration project for the city.

In response to Commissioner Bieniek, Planner Copeland replied that it is his understanding that a 3-kilowatt solar panel system would power one household. City staff is looking at adding solar panel systems to the city design guidelines.

In response to Commissioner Rein, Planner Copeland stated that there is not an example of the solar panels available at this time. Mr. Curley added that the solar panels would be screened and not visible from the street.

Commissioner Rein stated that he believes this is a good thing for Surprise and looks forward to seeing this on more projects.

Chair Blair opened the meeting for public comment. Hearing no comments from the public, Chair Blair closed the public hearing.

Commissioner Watts made a motion to **approve CUP08-028 – Francis and Sons Food Mart/Gas/Car Wash**, and adopt staff's findings, subject to stipulations 'a' through 'c.' Vice Chair Somers seconded the motion. The motion passed with a vote of 7 ayes.

- **Item 4: PADA07-403 – Consideration and Action – Sycamore Farms Towne Center – Sign Program**

Planner Bart Wingard presented the project to the Commission. Staff recommended approval of **PADA07-403, Sycamore Farms Towne Center – Sign Program**, subject to stipulation 'a.'

Michael Curley, representing the applicant, stated that Vestar Development is the largest power center developer in the state, and has been developing shopping centers for 25 years. They agree with the staff report with the exception of the recommended elimination of one freeway sign. He suggested the marketplace dictates that two signs are needed for major anchor tenants. Signage is critical and is a major factor for retailers in choosing a store location. Currently, there are two anchor tenants that have leased the property, JCPenney and Home Depot, and both have insisted that they have their own sign at the top. The sign criterion is one of the items that Vestar is obligated to produce for both anchor tenants; otherwise, the tenants could break their lease. Many other large shopping centers in the valley have multiple large signs. Vestar's proposal, including the number of signs, height of the signs, and the distance from the freeway, is consistent with what is being done throughout the valley. Westcor's approved sign package for the location across the street includes a 500-foot separation between signs. Westcor will be faced with the same issue when they secure a second anchor tenant and will probably request a second sign as well.

Paul Bleier, Bleier Industries, sign consultant for Vestar, stated that the city sign ordinance does not take into account comprehensive sign packages for projects of this size. Freeway signage is critical to giving name recognition to the development and major tenants. There are two anchor tenants who are very protective of their logos. Signage is critical enough that they will walk away from the deal. The Prasada project is able to have 100-foot signs. Various large shopping centers throughout the valley have large multiple freeway signs. The Prasada project plan shows 16 to 18 signs ranging in height. Staff's comments were interpreted to maintain an 800-foot separation; the sign was moved and now reflects a 950-foot separation. Signs were redesigned to incorporate the project's architectural elements.

It is important to consider the two projects to the north and south. Prasada has approximately two miles of freeway frontage with multiple signs repeating their name. Sycamore Farms will have one sign with their name. Our preference is to move the sign further to the south which decreases separation to 550 feet. Our request is to revise stipulation 'a' to allow two freeway pylons along SR303, with a minimum separation of 500 feet.

Mr. Curley stated that Vestar is willing to sit down with staff to determine the specific location of the signs.

In response to Commissioner Watts, Planner Wingard stated that the plan submitted does indicate more than one sign and both are 70 feet tall.

In response to Commissioner Watts, Planner Wingard stated that stipulation 'a' does address the concern of height and the number of signs along the freeway. Prasada was the first development to propose pylon signs and staff worked very closely with them on the signage and spacing. Although the matrix shows a 500-foot separation, all of their plans show an 880-foot separation.

In response to Commissioner Watts, Planner Wingard replied that staff does not have a concern with the sign height. When SR303 is completed, there will be a grade separation when it goes over Cactus Road.

In response to Vice Chair Somers, Planner Wingard stated that although the 880-foot sign separation has been agreed to, there is a possibility that Prasada will want to move their signs closer together. In that case, they would need to obtain approval from the Community Development Director.

In response to Vice Chair Somers, Planner Wingard noted that the development across the street has three smaller signs on Cactus Road and two on Sarival Avenue. Prasada is a larger project; however, Sycamore Farms and Prasada have the same amount of frontage on Cactus Road. Vice Chair Somers voiced a concern regarding the number of 25-foot signs this project shows on their plans. He suggested that a stipulation should be added to reduce the number to 5.

In response to Commissioner Rein, Planner Wingard stated that the concern with the two pylon signs included the spacing on SR303, eliminating clutter along the freeway, and to keep consistency between the projects.

Responding to Commissioner Chapman, Planner Wingard explained that the property to the south of the project has not yet been developed and is zoned medium-density residential.

Commissioner Hallin commented that his major concern is not the freeway signs but the number of 25-foot signs. Mr. Curley stated that the pylon signs on the freeway are so critical that the applicant would be willing to eliminate some of the 25-foot signs if they can get the second freeway pylon sign.

Chair Blair opened the meeting for public comment. Hearing no comments from the public, Chair Blair closed the public hearing.

Vice Chair Somers made a motion to add stipulation 'b' that states there be a maximum of three 25-foot multi-tenant monument signs located on Cactus Road and a maximum of two multi-tenant monument signs on Sarival Avenue. Commissioner Rein seconded the motion.

Chair Blair recommended continuing the project.

Commissioner Bieniek stated that he has no problem with the two freeway signs but also agrees that the seven 25-foot signs are excessive. Commissioner Rein agreed.

Commissioner Hallin made a motion to **continue PADA07-403, Sycamore Farms Towne Center – Sign Program to August 5, 2008**. Commissioner Rein seconded the motion. The motion passed with a vote of 7 ayes.

- **Item 5: RZ07-275 – Consideration and Action – SWC Bell Road and 115th Avenue**

Planner Bart Wingard presented the project to the commission. Staff recommended approval of **RZ07-275, SWC Bell Road and 115th Avenue**.

In response to Commissioner Rein, **Eric Young, the applicant** stated that the only interest that has been shown for this property was a car rental or car satellite sales facility. There are no tenants currently lined up for this property.

Chair Blair opened the meeting for public comment. Hearing no comments from the public, Chair Blair closed the public hearing.

Vice Chair Somers made a motion to **approve RZ07-275, SWC Bell Road and 115th Avenue**, and adopt staff's findings. Commissioner Hallin seconded the motion. The motion passed with a vote of 7 ayes.

REGULAR AGENDA ITEMS REQUIRING A PUBLIC HEARING

Chair Blair stated that presentations for items 6 and 7 would be combined.

- **Item 6: RZ07-176 – Consideration and Action – Voyager Surprise 60**

Planner Adam Copeland presented the project to the commission. Staff recommended approval of **RZ07-176, Voyager Surprise 60**, subject to stipulations 'a' through 'e.'

- **Item 7: PP07-177 – Consideration and Action – Voyager Surprise 60**

Planner Adam Copeland presented the project to the commission. Staff recommended approval of **PP07-177, Voyager Surprise 60**, subject to stipulations 'a' through 'e.'

In response to Commissioner Rein, Planner Copeland stated that there is a wall surrounding the community; however, a view fence is required adjacent to any open space areas. A technical landscape plan will be submitted with the final plat which will show the placement of every wall within the project.

In response to Commissioner Rein, **Mark Voigt, the applicant**, stated that a signed agreement was submitted to Nadaburg Schools in January 2008. Approval was scheduled on two occasions; however, due to a change in Nadaburg School's superintendent, the agreement was delayed and still needs a superintendent's signature.

In response to Commissioner Chapman, Planner Copeland stated that the adjacent property is zoned for residential land use and is equivalent to an R1-8.

In response to Commissioner Hallin, Planner Copeland stated that Montgomery Road is a high volume residential collector with two lanes in each direction.

Chair Blair opened the meeting for public comment. Hearing no comments from the public, Chair Blair closed the public hearing.

Vice Chair Somers made a motion to **approve RZ07-176, Voyager Surprise 60**, and adopt staff's findings, subject to stipulations 'a' through 'e.' Commissioner Bieniek seconded the motion. The motion passed with a vote of 7 ayes.

Commissioner Hallin made a motion to **approve PP07-177, Voyager Surprise 60**, and adopt staff's findings, subject to stipulations 'a' through 'e.' Commissioner Watts seconded the motion. The motion passed with a vote of 7 ayes.

Chair Blair stated that the presentations for items 8 and 9 will be combined.

Item 8: PAD07-341 – Consideration and Action – Zanjero Trails

Planner Adam Copeland presented the project to the commission. Staff recommended approval of **PAD07-341, Zanjero Trails**, subject to stipulations 'a' through 'h.'

- **Item 9: PP07-346 – Consideration and Action – Zanjero Trails**

Planner Adam Copeland presented the project to the commission. Staff recommended approval of **PP07-346, Zanjero Trails**, subject to stipulations 'a' through 'g.'

Steven Anderson, representing the applicant, stated that the primary owner is the Maricopa Water District (MWD). A major water treatment plant is located adjacent to the property and is being developed in cooperation with Arizona American Water Company. The goal is to bring water from the canal to the treatment plant to allow Arizona American Water to accommodate the growing needs of the community. There are also three smaller property owners: Dysart School District, Property Reserve Arizona, and Cactus, LLC. MWD landholdings include 2600 acres located from Bell Road to Peoria Avenue. 880 acres of the property are in the Surprise long-term planning area but not yet in the city. Annexation of this area is pending. Other plans in the area include a county library and a high school. The PAD proposal is primarily zoned R-1-8 and R-1-5. There is open space and mini-parks throughout the project, in addition to trails and equestrian uses. Specific efforts have been made to provide buffers from the Waddell Hacienda subdivision with approximately 100 yards of open space. The proposed preliminary plat includes 907 single-family residential lots. Expect development to begin at the south portion of the site, then the Bell Road properties at the north end, with the Greenway Road properties to be developed last.

In response to Commissioner Rein, Planner Copeland stated that stipulation 'g' addresses the concern regarding the amount of grass throughout the project. Grass will only be allowed in active recreation areas. Synthetic turf, granite, and low water use plants will be allowed in the medians and right of way.

In response to Commissioner Chapman, Planner Copeland stated that the General Plan approved the area for low-density residential land use. The preliminary plat cannot exceed five dwelling units per acre. The multi-family parcels, commercial parcels, and the school are not part of that calculation. As those parcels come in, they cannot exceed the density as allocated in the PAD and the density is tracked as the project continues.

In response to Commissioner Chapman, Planner Copeland replied that there is not a multi-family site plan or platting proposed at this time. Any multi-family project will come before the commission for review and approval.

In response to Commissioner Hallin, Planner Copeland stated that the zoning includes the property located along Peoria Avenue to Bell Road.

In response to Commissioner Hallin, Planner Copeland noted that staff will add a stipulation that a multi-use path along Peoria Avenue be reflected on the landscape plan at the time of final plat review. The applicant agreed to this stipulation.

In response to Commissioner Hallin, Planner Copeland stated that the trail along the canal will be a 30-foot area and will be reviewed on the landscape plan.

Regarding the Peoria Avenue Trail, Mr. Anderson mentioned that the trail be provided adjacent to single-family homes and commercial lots and that staff work with the Dysart School District to see if the trail can be accommodated.

Chair Blair opened the meeting for public comment.

Rebecca Sidnor, Surprise resident, stated that she just received her public notice on this project Friday and some of her neighbors did not receive a notice. The Surprise General Plan that was put out for comment stated residents wanted to keep the area as open space with no residential or commercial development. The zoning of R-1-8 due west of Surprise Farms was for 8,000 lots with single-family homes; however, on the website it discusses having duplexes. One concern is if height restrictions are in place. Another concern is transportation. Transportation is an issue now in Surprise and she is very curious to see if the infrastructure added to accommodate 27,000 new people moving into this development. There is a very small strip of land between Surprise Farms and new development and she is wondering if there will be any buffering between the two communities.

In response, Planner Copeland stated that there is a buffer between the property and existing homes in the Surprise Farms area. There are height restrictions for single-family residential land use which cannot exceed 30 feet. The duplexes are not proposed on the R1-8 land use classification. They are in the MUPD land use classifications, which is located adjacent and to the west of the Surprise Farms project.

Hearing no further comments from the public, Chair Blair closed the public hearing.

Commissioner Hallin made a motion to **approve PAD07-341, Zanjero Trails**, and adopt staff's findings, subject to stipulations 'a' through 'h.' Commissioner Rein seconded the motion. The motion passed with a vote of 7 ayes.

Commissioner Bieniek made a motion to **approve PP07-346, Zanjero Trails**, and adopt staff's findings, subject to stipulations 'a' through 'g.' Commissioner Chapman seconded the motion.

Vice Chair Somers reminded the commission about the addition of the stipulation for a multi-use path. Planner Copeland added stipulation 'h.'

Stipulation H:

At the time of final plat review and approval, a multi-use path will be installed along Peoria Avenue. The portion adjacent to the planned high school site will require additional review and approval by Dysart School District and the city.

Commissioner Bieniek made a motion to **approve PP07-346, Zanjero Trails**, and adopt staff's findings, subject to stipulations 'a' through 'h,' as amended. Vice Chair Somers seconded the motion. The motion passed with a vote of 7 ayes.

- **Item 10: PADA08-037 – Consideration and Action – Surprise Farms Gateway**

Planner Bart Wingard presented the project to the commission. Staff recommended approval of **PADA08-037, Surprise Farms Gateway**.

In response to Commissioner Hallin, Planner Wingard stated that there is a residential property located 80 feet from the signage. Commissioner Hallin voiced concerns about the size and proximity to the residential property.

Sean Lake, representing the applicant, stated that they would be willing to work with staff on moving the sign further away from the residential area. They do have frontage to the freeway and believe tenants will be looking for signage the same as any other shopping center and feel that the signage is warranted due to other centers in the area. The stores may not be regional in nature; however, they will want the exposure for their store.

Chair Blair stated that she agreed that signage should be consistent, regardless of the size of the retailer.

In response to Vice Chair Somers, **Charlie Gibson, representing a sign company**, stated that the panel structure is aluminum and the background is opaque and only the letters will illuminate.

Vice Chair Somers voiced a concern about the size of the sign in comparison to other projects presented tonight. He recommends stipulation 'a' be revised to read, the area for the 65-foot multi-tenant center identification monument sign be reduced in size by narrowing the sign copy area from 20 feet to 16 feet. The applicant agreed to the stipulation.

In response to Commissioner Rein, Planner Wingard stated that the sign code is being reviewed and the goal is to have it completed in September.

Chair Blair opened the meeting for public comment.

Rebecca Sidnor, Surprise resident, expressed concern about the height of the sign if SR303 is going under Bell Road. Planner Wingard stated that this is something that the city is reviewing in the new sign program.

Hearing no further comments from the public, Chair Blair closed the public hearing.

Vice Chair Somers made a motion to **approve PADA08-037, Surprise Farms Gateway**, and adopt staff's findings, with the modification to stipulation 'a.' Commissioner Watts seconded the motion. The motion passed with a vote of 5 ayes and 2 nays (Hallin, Bieniek).

Community Development Director, Jeff Mihelich, stated that staff will be prepared to offer specific standards and different options available in regard to signage along SR303 in September.

- **Item 11: PAD08-015 – Consideration and Action – Truman Ranch Marketplace AKA Cotton Lane North and South**

Planner Adam Copeland presented the project to the Commission. Staff recommended approval of **PAD08-015, Truman Ranch Marketplace AKA Cotton Lane North and South**, subject to stipulations 'a' through 'j.'

Jason Walborn, representing the applicant, stated that the property is in a very unique location considering its history. To the east there are 320 acres of car dealerships. The key to this project is to be able to shelter the tranquility of the area. The goal is to create an inviting retail park that is sensitive to the history. During the outreach, the community requested higher end retail use.

Commissioner Bieniek stated that he likes the performance standards set and that we are trying to do something different than a power center or strip mall.

In response to Vice Chair Somers, Planner Copeland stated that the zoning classifications can be mixed and they seem appropriate for the area.

In response to Vice Chair Somers, Planner Copeland stated that when a site plan is submitted, a master site plan will be required. If only one anchor store comes in then it will be required to plan the entire site.

Chair Blair opened the meeting for public comment. Hearing no comments from the public, she closed the public hearing.

Commissioner Bieniek made a motion to **approve PAD08-015, Truman Ranch Marketplace AKA Cotton Lane North and South**, and adopt staff's findings, subject to stipulations 'a' through 'j.' Commissioner Chapman seconded the motion. The motion passed with a vote of 7 ayes.

Commissioner Somers would like to see regulations in the design guidelines covering light from the facility and sound from the speakers when located near residential areas.

OPEN CALL TO PUBLIC

Chair Blair called to the public to discuss any issues not noted on the agenda.

Hearing no comments from the public, Chair Blair closed the call to the public.

CURRENT EVENTS REPORT:

CONSIDERATION AND ACTION TO HOLD AN EXECUTIVE SESSION

Pursuant to A.R.S. § 38-431.03(A)(3), the Planning and Zoning Commission may go into executive session with the City Attorney for legal advice on any item listed on the agenda.

No request was made to call for an executive session.

ADJOURNMENT

Hearing no further business, Chair Blair adjourned the regular Planning and Zoning Commission meeting, Tuesday, July 15, 2008, at 8:52 p.m.

STAFF PRESENT:

Assistant City Attorney Jim Gruber, Fire Marshal Doug Helbig, Planner Adam Copeland, Senior Planner Dennis Dorch, Senior Planner Janice See, Planner Bart Wingard, Planner Nicole Catten-Green, Permit Technician Jamie Sullivan, Water Services Manager Jim Swanson, Traffic Engineer Tracy Eberlein, Planning and Development Services Manager Berrin Nejad, Community Development Director Jeffrey Mihelich, and Planning and Zoning Commission Secretary Debbie Perry.

COUNCIL MEMBERS PRESENT: None



Jeffrey J. Mihelich, Director
Community Development Department

Jan Blair, Chair
Planning and Zoning Commission

**CITY OF SURPRISE
COMMUNITY DEVELOPMENT DEPARTMENT**

PADA07-403

PLANNED AREA DEVELOPMENT AMENDMENT

for:

Sycamore Farms Towne Center Signage

PLANNING AND ZONING COMMISSION

Hearing Date: **July 15, 2008**

Second Hearing Date: **August 5, 2008**

STAFF:	Hobart Wingard, 623.222.3156
LOCATION:	Generally SEC of Cactus Road and SR 303.
DESCRIPTION OF THE REQUEST:	Approval of a Planned Area Development Amendment.
SUMMARY ANALYSIS:	The applicant is requesting a Planned Area Development Amendment approval to accommodate signage request.

SUGGESTED MOTION:	I move to approve PADA07-403, a Planned Area Development Amendment for Sycamore Farms, and to adopt staff's findings subject to stipulations 'a' through 'b.'
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HISTORY

1. On November 11, 2003, the City of Surprise approved an annexation request for the Sycamore Farms development, case ANX03-284.
2. On July 22, 2004, the City of Surprise approved a Planned Area Development (PAD) for the Sycamore Farms project, case PAD03-153.
3. On May 6, 2008, the City of Surprise Planning and Zoning Commission approved a site plan for the Sycamore Farms Towne Center, case SP07-268.

STAFF ANALYSIS

The subject request is to provide a master sign program for the Sycamore Farms Towne Center project. Sycamore Farms Towne Center is a site plan that will provide retail and entertainment uses on approximately 65 acres. The project proposes approximately 600,000 square feet of building space separated into 17 buildings. The largest proposed building is to encompass approximately 311,386 square feet.

The present sign ordinance in the City of Surprise no longer addresses the creation of a master sign program. Indeed, if the applicants were to comply with the existing sign restrictions in the present ordinance, they would be restricted in both the number and size of signage, creating a competitive disadvantage to the Prasada Cactus Power Center located across Cactus Road from their site. This PADA application will provide for a master sign program that is similar to the Prasada sign standards.

This Sycamore Farms Towne Center signage program will provide standards for detached signs, attached wall signs and under canopy signs. As mentioned above, staff has worked with the applicants to allow similar signage criteria to that of the Prasada project located to the north. Staff's only concern regarding the project is the number of freeway pylon signs proposed. The approved Prasada signage program allows a single 70 foot tall pylon sign located 880 feet from the centerline of Cactus Road. Other pylon signs are to be located at a minimum of 880 foot spacing. Utilizing these criteria, and in order to maintain a consistent, equitable position between Prasada and Sycamore Farms Towne Center, staff is recommending that only one pylon sign be allowed along the SR303 frontage for this project. This restriction has been added as stipulation 'a.' Stipulation 'b' has been added, as discussed by the Planning and Zoning Commission, to allow a maximum of three 25-foot multi-tenant monument signs located on Cactus Road and a maximum of two 25-foot multi-tenant monument signs on Sarival Avenue.

STIPULATIONS

REQUIRED ACTIONS. The applicant and/or owner shall comply with the following list of stipulations of Case PADA07-403.

- a) Only one freeway pylon sign is to be located along SR303, located 880 feet from the centerline of Cactus Road.
- b) There is to be a maximum of three 25-foot multi-tenant monument signs located on Cactus Road and a maximum of two 25-foot multi-tenant monument signs on Sarival Avenue.

July 15, 2008 Planning and Zoning Commission Meeting Minutes

- **Item 4: PADA07-403 – Consideration and Action – Sycamore Farms Towne Center – Sign Program**

Planner Bart Wingard presented the project to the Commission. Staff recommended approval of **PADA07-403, Sycamore Farms Towne Center – Sign Program**, subject to stipulation 'a.'

Michael Curley, representing the applicant, stated that Vestar Development is the largest power center developer in the state, and has been developing shopping centers for 25 years. They agree with the staff report with the exception of the recommended elimination of one freeway sign. He suggested the marketplace dictates that two signs are needed for major anchor tenants. Signage is critical and is a major factor for retailers in choosing a store location. Currently, there are two anchor tenants that have leased the property, JC Penney and Home Depot, and both have insisted that they have their own sign at the top. The sign criterion is one of the items that Vestar is obligated to produce for both anchor tenants; otherwise, the tenants could break their lease. Many other large shopping centers in the valley have multiple large signs. Vestar's proposal, including the number of signs, height of the signs, and the distance from the freeway, is consistent with what is being done throughout the valley. Westcor's approved sign package for the location across the street includes a 500-foot separation between signs. Westcor will be faced with the same issue when they secure a second anchor tenant and will probably request a second sign as well.

Paul Bleier, Bleier Industries, sign consultant for Vestar, stated that the city sign ordinance does not take into account comprehensive sign packages for projects of this size. Freeway signage is critical to giving name recognition to the development and major tenants. There are two anchor tenants who are very protective of their logos. Signage is critical enough that they will walk away from the deal. The Prasada project is able to have 100-foot signs. Various large shopping centers throughout the valley have large multiple freeway signs. The Prasada project plan shows 16 to 18 signs ranging in height. Staff's comments were interpreted to maintain an 800-foot separation; the sign was moved and now reflects a 950-foot separation. Signs were redesigned to incorporate the project's architectural elements.

It is important to consider the two projects to the north and south. Prasada has approximately two miles of freeway frontage with multiple signs repeating their name. Sycamore Farms will have one sign with their name. Our preference is to move the sign further to the south which decreases separation to 550 feet. Our request is to revise stipulation 'a' to allow two freeway pylons along SR303, with a minimum separation of 500 feet.

Mr. Curley stated that Vestar is willing to sit down with staff to determine the specific location of the signs.

In response to Commissioner Watts, Planner Wingard stated that the plan submitted does indicate more than one sign and both are 70 feet tall.

In response to Commissioner Watts, Planner Wingard stated that stipulation 'a' does address the concern of height and the number of signs along the freeway. Prasada was the first

SYCAMORE FARMS *Towne Center*

MAJOR PAD AMENDMENT

TO

SYCAMORE FARMS PAD (PAD03-153)

CASE No. PAD07-403

APRIL, 2008

FINAL TAC - PLANNING & ZONING COMMISSION



COMPREHENSIVE SIGN PLAN

Architects:



Developed by:



2425 E. CAMELBACK RD.
SUITE 750
PHOENIX, AZ 85016
TEL: 602.866.0900
FAX: 602.955.2298

Signage Consultant:



SYCAMORE FARMS

Towne Center

By
Vestar Development Co.

Major PAD Amendment
To
Sycamore Farms PAD (PAD03-153)
February, 2008

CASE No. PAD07-403

65.61 Acres

SEC Cactus Road and Loop 303 Freeway
Surprise, Arizona

Prepared for the
City of Surprise, Arizona

Prepared by:
EARL, CURLEY & LAGARDE, P.C.
ATTORNEYS AT LAW

Development Team

Owner/Developer:
Vestar Development Co.
2425 E. Camelback Road
Suite 750
Phoenix, AZ 85016
Contact: David Malin
Telephone: (602) 866-0900
Fax: (602) 955-2298

Sign Consultant:
Bleier Industries, Ltd.
2030 W. Desert Cove
Phoenix, AZ 85029
Contact: Paul Bleier
Phone: (602) 944-3117
Fax: (602) 395-0753

Attorney/Applicant:
Earl, Curley & Lagarde, P.C.
3101 N. Central Avenue, Suite 1000
Phoenix, Arizona 85012
Contact: Michael J. Curley
Telephone: (602) 265-0094
Fax: (602) 265-2195

Sycamore Farms Towne Center

Sycamore Farms Overview

Sycamore Farms is a 637.4-acre Planned Area Development ("PAD") which was approved by the City Council in July 2004 with adoption of Ordinance #04-22. Sycamore Farms is a mixed-use PAD master plan located on both sides of the planned Loop 303 Freeway Freeway, between Cactus Road and Peoria Avenue, in the City of Surprise. The property encompasses an entire square mile located within the boundaries of Cactus Road to the north, Sarival Avenue to the east, Peoria Avenue to the south, and Cotton Lane to the west. The Sycamore Farms PAD was created to implement the City's vision of a "Gateway" mixed-use employment-oriented development at the southern gateway into the City.

Vestar Development Co., a commercial development firm which focuses on high quality regional and community open-air retail centers, is proposing to develop the southeast corner of Loop 303 Freeway and Cactus Road as a "Commercial Gateway" with a full range of high quality retail services for the region and the immediate, emerging neighborhood. Named "Sycamore Farms Towne Center", it represents the best aspects of retail development.

The companion site plan application requests approval of the 66 acre commercial parcel located at the southeast corner of Loop 303 Freeway and Cactus Road, as approved in the Sycamore Farms PAD. One of the key elements of the Sycamore Farms Towne Center is its "Commercial Gateway" location. This site is a unique, prime commercial area adjacent to the proposed Loop 303 Freeway within the City of Surprise, providing a major commercial node that is easily accessed from the regional area. Because of its strategic location, Vestar envisions Sycamore Farms Towne Center as a retail commercial environment of the highest quality featuring an innovative site design and arrangement of buildings, clear and prominent entries, abundant pedestrian pathways linking the buildings, and architectural focal points to support the "Gateway" theme.

The commercial parcel includes a broad spectrum of retail services to support the growing neighborhood surrounding the center, with major street entrances, pads for retail shops and restaurants, and in-line stores to accommodate a wide range of retail users. This proposal will provide approximately 654,645 square feet of retail buildings. The project will utilize the high design standards proposed and expected from the Sycamore Farms PAD. Special attention has been placed on the overall design character of the commercial node to create the unique, retail project desired by the City, a true gathering place for this area, to meet the broad range of retail services and amenities desired by residents.

We believe that the development of Sycamore Farms Towne Center will have a very positive impact on this area of Surprise. The size and configuration of this site allows for excellent exposure to Cactus Road, Sarival Avenue and the future Loop 303 Freeway. It also allows for strong pedestrian connections to the adjacent residential elements of the Sycamore Farms master plan.

Major PAD Amendment request for a Comprehensive Sign Plan Request

This request seeks approval of a Major PAD (Planned Area Development) Amendment to the Sycamore Farms PAD (PAD03-153) to allow a Comprehensive Sign Plan for the proposed Sycamore Farms Towne Center.

When we originally submitted this Site Plan application for City review we were under the assumption that signage could be reviewed as a Comprehensive Sign Plan application. Since then the City has removed the Comprehensive Sign Plan process from the Ordinance and has left no process for a Comprehensive Sign Plan for large commercial and/or mixed use developments that require a comprehensive sign program to provide adequate and readable signage. Due to the size of this project, the location adjacent to the Loop 303 Freeway, and the need to provide clear, readable signs for those traveling the adjacent streets and the ability to compete

on an equal playing field with other near by large scale commercial retail projects it is necessary to request approval of a Comprehensive Sign Plan.

Per stipulation contained within the original Sycamore Farms PAD (PAD03-153), "..... Minor changes to this P.A.D. may be administratively approved by the City Manager and the Community Development Director." Staff has agreed that this request does not change the approved use on the property or increase the intensity already allowed by the zoning approval. Vestar Development Co. is submitting this Major PAD Amendment and respectfully requests that this Comprehensive Sign Plan be approved as allowed by the zoning stipulation.

Comprehensive Sign Plan:

This Comprehensive Sign Plan has been created to provide a cohesive sign plan which integrates with the enhanced theme and architecture that have been established with the companion Sycamore Farms Towne Center design. The intent behind this document is to provide additional clarification and to ensure consistency and compatibility for this high quality development through a Comprehensive Sign Plan. This plan creates and sets forth specific guidelines for freestanding sign types, building signage for Anchors, Mini-majors, Shop and Pad tenants, in addition to addressing secondary signage elements such as Pedestrian Directories and Vehicular Directionals.

Because of the size of the center and its ability to draw consumers from a regional area, it is imperative to provide adequate signage for Anchor, Major, Mini-major and smaller shop and pad tenants. Specifically, the overall success of the tenants and this development depends on effective signage along the Loop 303 Freeway frontage, Cactus Road and Sarival Road to identify and announce their existence to vehicular traffic. The ability to alert first-time travelers as well and local residents on these roadways to the existence of commercial businesses thru appropriate signage is an important component in the design of this Comprehensive Sign Plan.

Special attention has been taken to create a Comprehensive Sign Plan that provides effective monument signage and compatibility throughout the project. Special care has been taken to create a design conducive to the streetscape and attractive pedestrian walkways that link the retail buildings throughout the center. The attached sign plan provides detailed exhibits for each of the various proposed sign types to be utilized throughout the center.

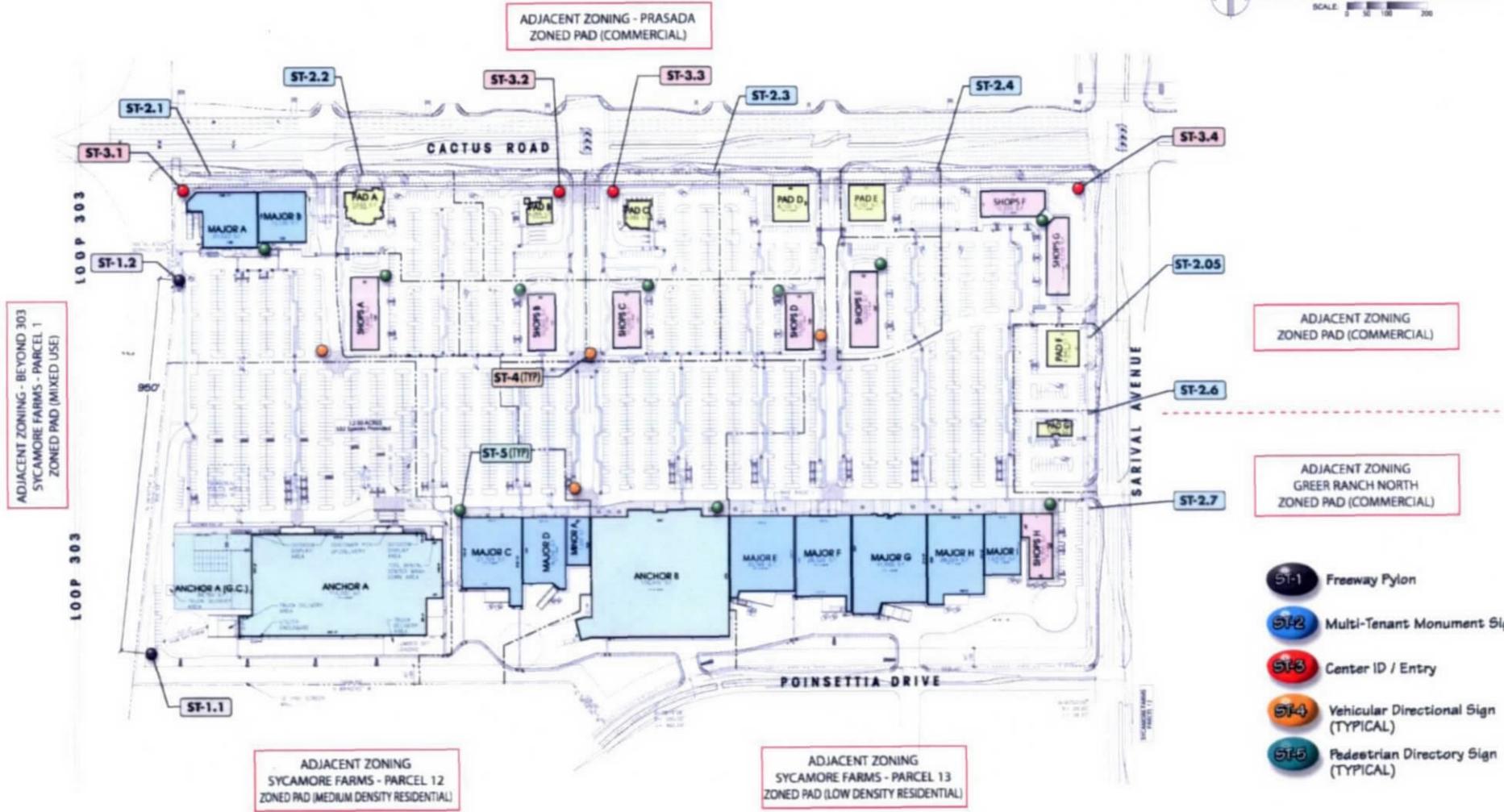
Conclusion

The Sycamore Farms Towne Center will be an exceptional commercial development of enduring quality that will be a major asset to the City of Surprise. It will contribute to the orderly growth of the City, by integrating retail uses with the planned residential development of the Sycamore Farms PAD and with other residential developments in Surprise and surrounding communities. This commercial development will provide significant tax revenues to the City, employment to its citizens, as well as convenient shopping for residents.

Approving this Major PAD Amendment to allow a Comprehensive Sign Plan will allow the business uses operating within the Sycamore Farms Towne Center to effectively identify their establishments. This Comprehensive Sign Plan will contribute positively to the community. By utilizing the high standards established in this Comprehensive Sign Plan, Sycamore Farms Towne Center will become a desired regional destination known for unique dining and shopping experiences. Finally, this request will not detrimentally impact the appearance of the center nor adversely impact any surrounding property owners or businesses. We trust that you will agree with our analysis concerning this Major PAD Amendment. We respectfully request approval of this Major PAD Amendment / Comprehensive Sign Plan application and look forward to moving into the project implementation phase.

SYCAMORE FARMS
Towne Center

FREESTANDING SIGN CRITERIA



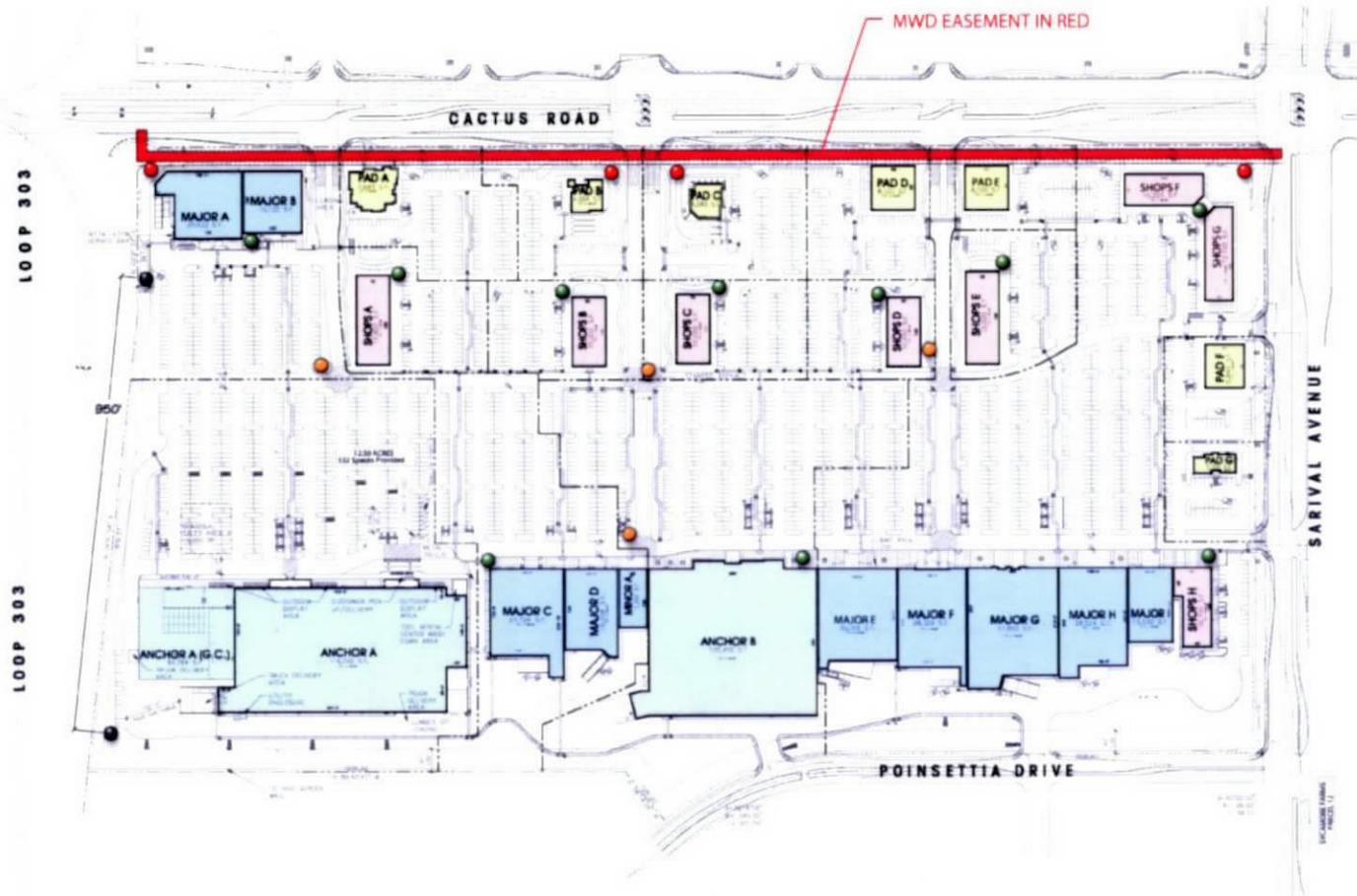
SYCAMORE FARMS
Towne Center



bleier
INDUSTRIES

Sycamore Farms Towne Center S.E.C. Cactus Rd. & Loop 303 Surprise, AZ Sign Location Plan Dan Horton Paul Bleier	2006-0-005 AS NOTED SP1	02/25/06
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-  ST-1 Freeway Pylon
-  ST-2 Multi-Tenant Monument Sign
-  ST-3 Center ID / Entry
-  ST-4 Vehicular Directional Sign (TYPICAL)
-  ST-5 Pedestrian Directory Sign (TYPICAL)

SYCAMORE FARMS
Towne Center



4000 WEST DESERT DRIVE AVE. • PHOENIX, ARIZONA 85028 • 602.944.3117 • FAX 602.944.1924 • SALES@BLEIERINDUSTRIES.COM



PROJECT	Sycamore Farms Towne Center S.E.C. Cactus Rd. & Loop 303 Surprise, AZ	DESIGN NO.	2006-D-005	DATE	02/21/08
DATE	02/21/08	AS NOTED	REVISION		
TITLE	Sign Location Plan	DESIGNED BY	Dan Horton	CHECKED BY	Paul Bleier
SCALE	AS SHOWN	DATE	02/21/08	BY	SP1 MWD

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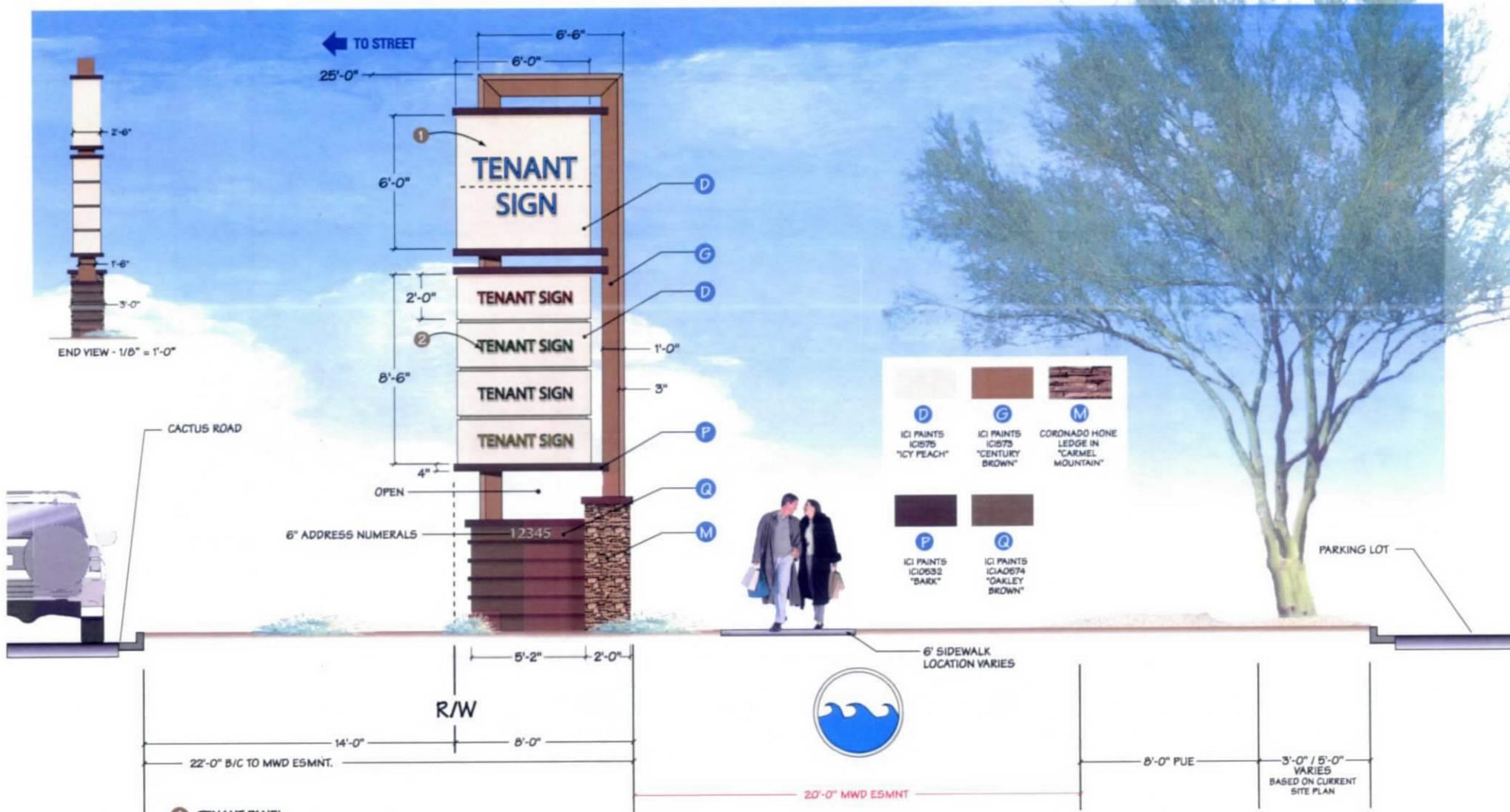
SYCAMORE FARMS

Towne Center

Freestanding Sign Matrix

SIGN	SIGN TYPE	FUNCTION	LOCATION	QUANTITY	HEIGHT	SIZE	ILLUMINATION	MATERIALS
ST 1 Multi-Tenant Freeway Pylon Sign	Pylon	Center ID and multi-tenant identification to freeway traffic	Oriented to Loop 303 Freeway	2	Seventy (70') feet to top of architectural embellishment	600 SF of Center ID and Multi-Tenant Sign Area Exclusive of Architectural Embellishments	Internal and ground illumination	Stone, Textured Aluminum, Perforated Metals, Powder Coat Finishes and Colored Acrylics
ST 2 Multi-Tenant Monument Sign	Monument	Multi-tenant identification to arterial roadway traffic	Placed along Cactus Road and Sarival Avenue	Cactus Road (4) Sarival Ave (3)	Twenty Five (25') feet to top of architectural embellishment	51 SF of Multi-Tenant Sign Area Exclusive of Architectural Embellishments	Internal and ground illumination	Stone, Textured Aluminum, Perforated Metals, Powder Coat Finishes and Colored Acrylics
ST 3 Center ID Entry Feature Wall	Wall Feature	Center Identification	NEC and NWC of the development and adjacent to the primary driveway entrance on Cactus Road	4	Entry Feature Wall TBD	75 SF of Center Identification Sign Area Exclusive of Architectural Embellishments and Wall Surface Background	Internal and ground illumination	Stone, Textured Aluminum, Perforated Metals, Powder Coat Finishes and Colored Acrylics
ST 4 Vehicular Directional	Monument	Vehicular Way Finding Within the Project	TBD	TBD	Six (6') feet to top of architectural embellishment	6 SF of Sign Area Exclusive of Architectural Embellishments	Internal and ground illumination	Stone, Textured Aluminum, Perforated Metals, Powder Coat Finishes and Colored Acrylics
ST 5 Pedestrian Directory	Kiosk	Pedestrian Way Finding Within the Project	TBD	TBD	Eight (8') feet to top of architectural embellishment	24 SF of Sign Area Exclusive of Architectural Embellishments	Internal and ground illumination	Stone, Textured Aluminum, Perforated Metals, Powder Coat Finishes and Colored Acrylics

Comprehensive Sign Plan subject to City of Surprise approval.



- TENANT PANEL**
800ma FLOURESCENT INTERNALLY ILLUMINATED, 2" DEEP PAN-FORMED INDIVIDUAL ALUMINUM TENANT PANELS WITH ROUTED COPY. TENANT PANELS TEXTURED AND PAINTED.
- TENANT COPY/GRAPHICS**
TENANT SIGNAGE WILL BE ROUTED WITH WHITE ACRYLIC BACK-UP, 1" FGO CLEAR ACRYLIC PUSH-THRU WITH FIRST SURFACE APPLIED 3M™ TRANSLUCENT VINYL PER TENANT'S CORPORATE COLORS.



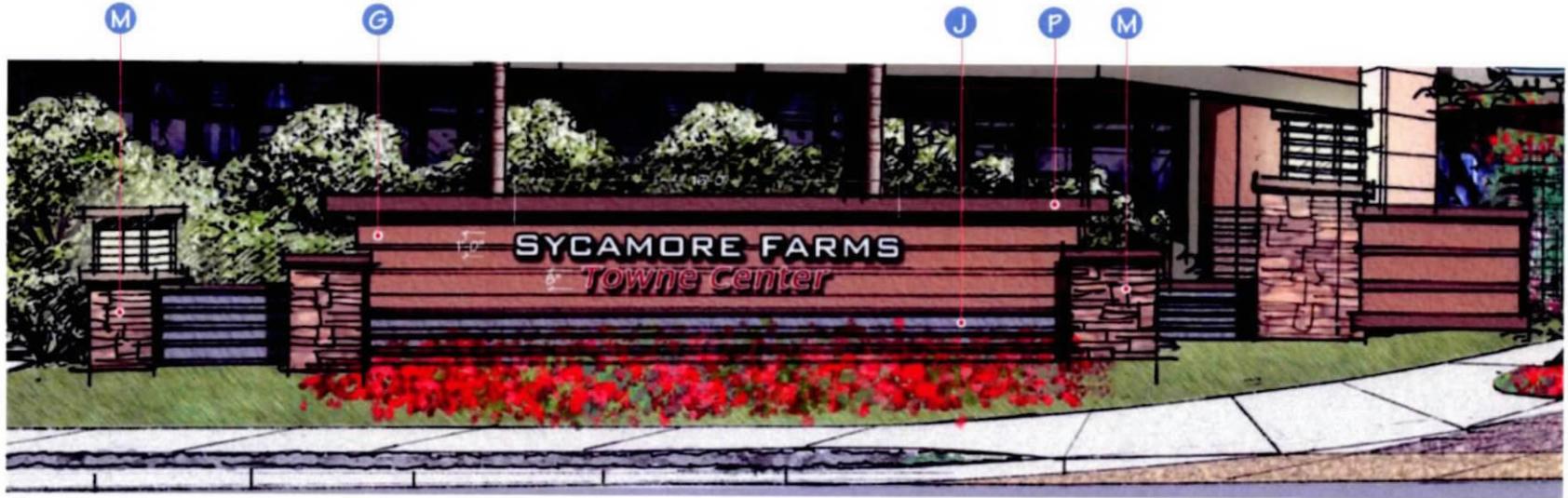
2040 WEST DESERT DOVE AVE. • PHOENIX, ARIZONA 85026 • 602.844.1117 • FAX 602.955.4726 • SALES@BLEIERINDUSTRIES.COM

Sycamore Farms Towne Center S.E.C. Cactus Rd. & Loop 303 Surprise, AZ	2006-0-006	02/2/08
1/4" = 1'-0"		
Monument Sign - MWD LOCATION		
5T 2 MWD 1		
Dan Horbin	Paul Bleier	

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ARCHITECTURAL DESIGN RENDERING - NTS



ST 3 - Center ID / Entry Sign Concept

G	M	P	Q	J
ICI PAINTS ICI575 "CENTURY BROWN"	CORONADO HONE LEDGE IN "CARMEL MOUNTAIN"	ICI PAINTS ICI532 "BARK"	ICI PAINTS ICIA0574 "OAKLEY BROWN"	BOARD-FORMED CONCRETE

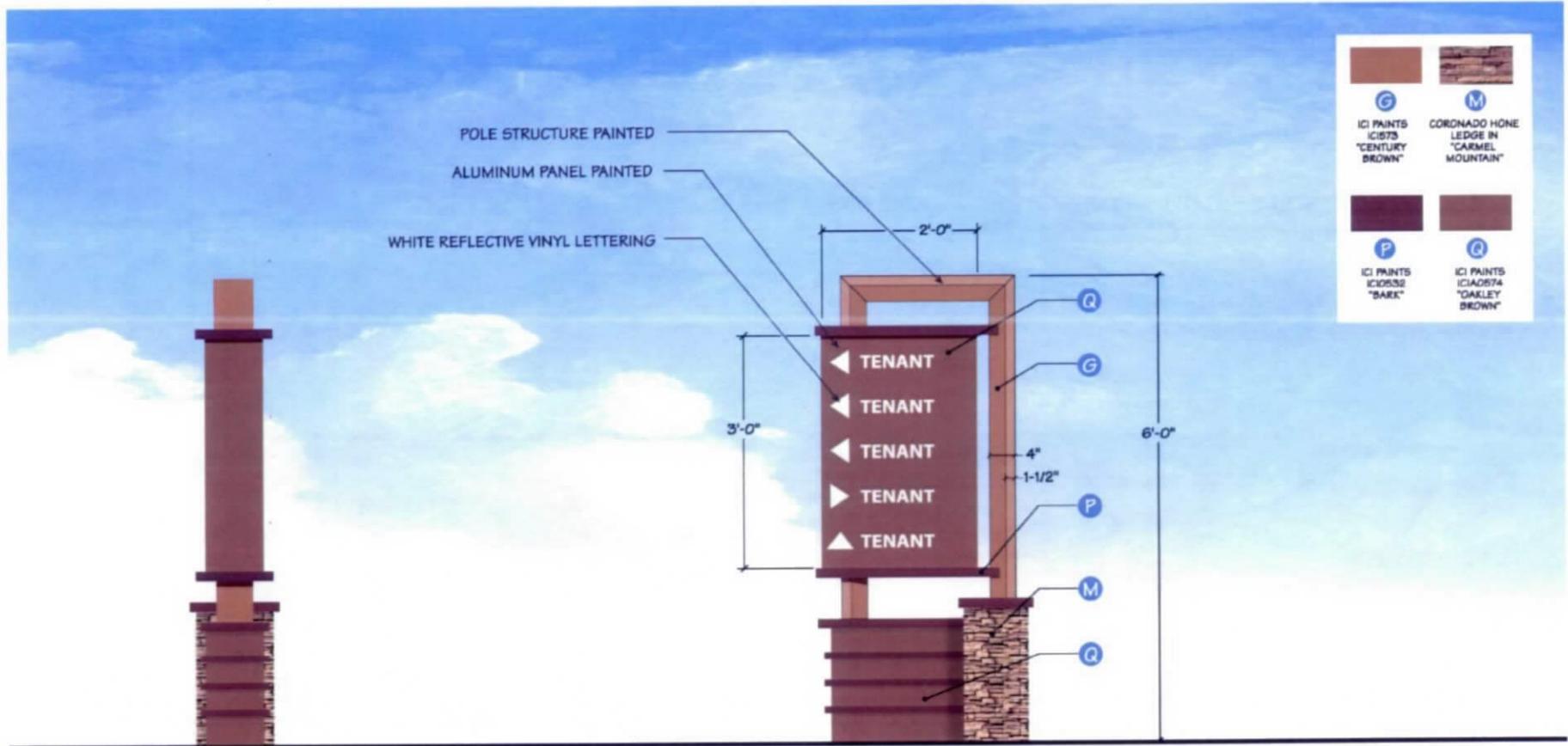


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PROJECT Sycamore Farms Towne Center S.E.C. Cactus Rd. & Loop 303 Surprise, AZ	PROJECT NO. 2006-D-006	DATE 02/21/06
DESIGNER Center ID / Entry Sign Concepts	SCALE NTS	REVISIONS
DESIGNED BY Dan Horton	DRAWN BY Paul Blaser	ST 3

bleier INDUSTRIES

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SIDE ELEVATION

ELEVATION:
VEHICULAR DIRECTIONAL
SCALE: 3/4"=1'-0"



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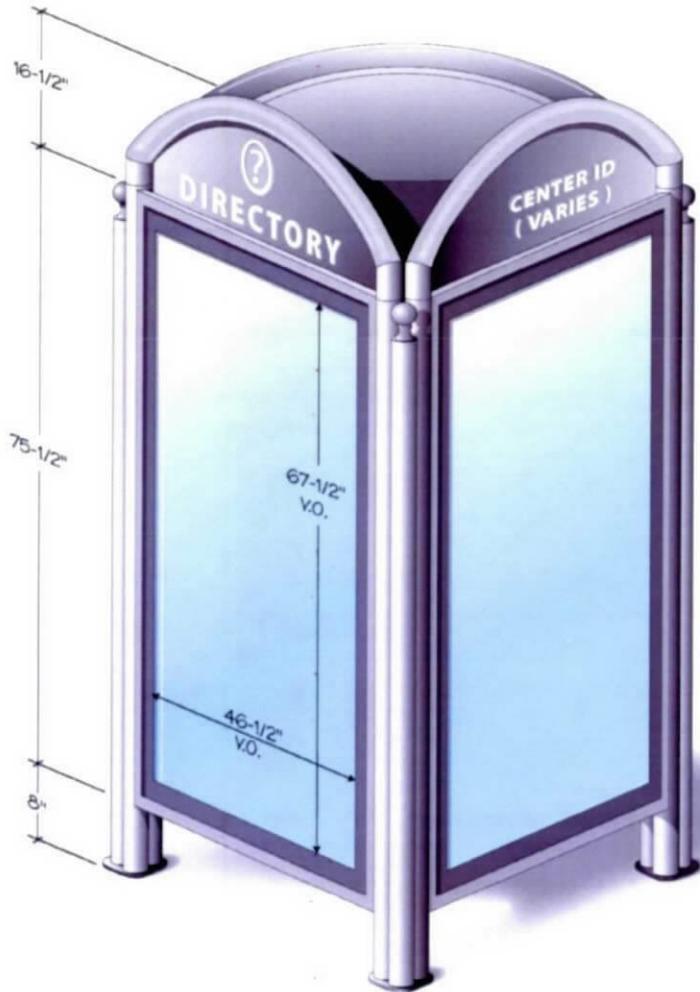
PROJECT	Sycamore Farms Towne Center S.E.C. Cactus Rd. & Loop 305 Surprise, AZ	
DATE	2006-0-005	02/21/06
DESCRIPTION	As Noted	
DESIGNED BY	Whisper Sign - MASTER	
DRAWN BY	Dan Horton	Paul Blaker

SCALE	5T 4
-------	------

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3 SIDED - 3 POST - PEDESTRIAN DIRECTORY

ISOMETRIC VIEW



SPECIFICATIONS

ELECTRICAL

BALLAST - 1190-12R (250 watts) OR 71A5793
 LAMPS - (1) 250 watts INDOOR / OUTDOOR
 VOLTS - 110-120
 AMPS - NORMAL DRAW OF 2.3 AMPS

LIGHT BOX SECTION INCL. DOOR / FRAMES

DOOR/FRAMES - EXTRUDED ALUMINUM WELDED AND PAINTED
 LIGHT BOX STRUCTURE FABRICATED STEEL (INDOOR),
 STAINLESS STEEL (OUTDOOR) AND PAINTED.

UPRIGHT TUBING

3" OUTSIDE DIAMETER STEEL TUBING / INDOOR.
 3" OUTSIDE DIAMETER STAINLESS TUBING / OUTDOOR.

ATTACHMENT OF TUBES TO LIGHT BOX

SCREW FROM INSIDE LIGHT BOX INTO STEEL TUBES.
 (3) THREE SCREWS PER TUBE

ELECTRICAL FEED

FROM LOWER CORNER OF LIGHT BOX DOWN INSIDE
 ONE TUBE THRU FLOOR PLATE AND CONNECTED
 BY INSTALLERS TO FLOOR PLUG.
 3 - PRONG PLUG SUPPLIED
 WITH LINE CORD / INDOOR.
 HARD WIRED / OUTDOOR.

GRAPHIC SIZE

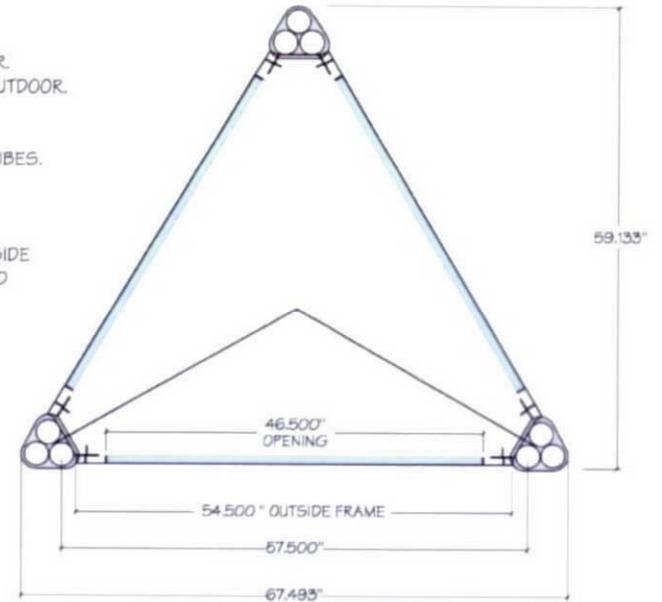
48" X 70"

VISUAL OPENING

46.50 X 67.50

NOTICE:

COLORS TBD



FOOT PRINT - 3 SIDED - 3 POST - DIRECTORY
 SCALE: 1/2" = 1'-0"

SYCAMORE FARMS
 Towne Center



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Sycamore Farms Towne Center S.E.C. Cactus Rd. & Loop 305 Surprise, AZ		2006-0-005	02/21/06
Pedestrian Directory		As Noted	
Den Horton	Phil Bleier	5T5	

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SYCAMORE FARMS
Towne Center

BUILDING SIGN CRITERIA

SYCAMORE FARMS Towne Center

General Requirements Building Signage

These criteria have been established for the purpose of maintaining a continuity of quality and aesthetics throughout Sycamore Farms Towne Center for the mutual benefit of all tenants, and to comply with the approved Comprehensive Sign Plan for the development, regulations of the City of Surprise Sign Ordinance, building and electrical codes of any governmental authority having jurisdiction. Conformance will be strictly enforced, and any non-compliant sign(s) installed by a Tenant shall be brought into conformance at the sole cost and expense of the Tenant. This criteria is subject to final approval by the City of Surprise as part of a Comprehensive Sign Plan submittal and amendment to the Sundance Community Master Plan. If a conflict is found to exist between these criteria and the final criteria approved by the City of Surprise, the latter shall prevail.

I. GENERAL REQUIREMENTS

- A. Tenant shall submit or cause to be submitted to Developer, for approval, prior to fabrication, four (4) copies of detailed drawings indicating the location, size, layout, design color, illumination materials and method of attachment.
- B. Tenant or Tenant's representative shall obtain all permits for signs and their installation.
- C. All signs shall be constructed and installed at Tenant's sole expense.
- D. Tenant shall be responsible for the fulfillment of all requirements and specifications, including those of the local municipality.
- E. All signs shall be reviewed for conformance with these criteria and overall design quality. Approval or disapproval of sign submittals based on aesthetics of design shall remain the sole right of Developer or Developer's authorized representative.
- F. Tenant shall be responsible for the installation and maintenance of Tenant's sign. Should Tenant's sign require maintenance or repair, Developer shall give Tenant thirty (30) days written notice to effect said maintenance or repair. Should Tenant fail to do the same, Developer may undertake repairs and Tenant shall reimburse Developer within ten (10) days from receipt of Developer's invoice.
- G. Advertising devices such as attraction boards, posters, banners and flags shall not be permitted.

II. SPECIFICATIONS - TENANT SIGNS

A. General Specifications

1. No animated, flashing or audible signs shall be permitted.
2. All signs, including temporary signs and their installation shall comply with all City of Surprise building and electrical codes.
3. No exposed raceways, crossovers or conduit shall be permitted. All tenant signage shall consist of individual letters and logos installed onto the building's wall surface. Tenant signage shall not include any background color, material and/or structure used to delineate tenant's signage. Developer shall have the sole and separate discretion in varying any provision of these specifications.
4. All cabinets, conductors, transformers and other equipment shall be concealed.
5. Temporary signs and painted lettering shall not be permitted except as approved by the Developer and the City of Surprise.
6. Any damage to the sign band face or roof deck resulting from Tenant's sign installation shall be repaired at Tenant's sole cost.
7. Upon removal of any sign by Tenant, any damage to the sign band face shall be repaired by Tenant or by Developer at Tenant's cost.

B. Location of Signs

1. All signs or devices advertising an individual use, business or building shall be attached to the building at the location directed by Developer.

III. DESIGN REQUIREMENTS

Individual illuminated letters and logos may include pan channel metal letters with acrylic sign faces, reverse pan channel "backlit" illuminated letters, or any combination thereof. The letters are to be mounted onto the building fascia. Electrical connections shall be concealed to remote and/or self-contained transformers. All signage shall be installed in compliance to the City of Surprise electrical code and UL 2161 / UL 48 specifications. Any sign installation found to be non-compliant shall be repaired immediately by the Tenant at Tenant's sole expense.

A. Sign Area

1. The maximum aggregate sign area per building elevation for each tenant shall be calculated by multiplying one and one-half (1.50) times the length of the storefront(s) and/or elevation(s) occupied

by the tenant without limitation as to maximum sign area and/or number of sign elements per building elevation. As a minimum allowance, each shop tenant and freestanding pad tenant shall be permitted a minimum of fifty (50) square feet of sign area per elevation upon which signage is placed.

B. Letter Height and Placement Restrictions

1. Tenant signage shall be installed in accordance with the approved Comprehensive Sign Plan in location(s) designated by the Developer and/or Developer's agents.
2. Majors and Pad tenants occupying less than 9999 SF shall be limited to a maximum letter height of thirty six (36") inches. Shop tenants shall be limited to a maximum letter height of twenty four (24") inches. Majors occupying 10000 SF through 49999 SF shall be limited to a maximum letter height of sixty (60") inches. Anchors occupying greater than 50000 SF shall be limited to a maximum letter height of seventy two (72") inches. Logos shall not be subject to maximum letter height restrictions herein established, however, shall be included in sign area computations. All national retailers shall be permitted to utilize their standard corporate identification program subject to sign area limitations contained in the approved Comprehensive Sign Plan. All signage shall be reviewed and approved by the developer and shall be appropriate to the surrounding building features, environment, and thematic design of Sycamore Farms Towne Center. Developer and the City of Surprise shall have discretion in varying any provision of these specifications.
3. Length of Sign on Wall Surface: In no event shall any sign exceed eighty (80%) percent of the building elevation and/or wall surface upon which it is placed. The available surface area of the sign band shall regulate letter height.
4. Shop tenant signage shall not exceed eighty (80%) percent of the Tenant's leased storefront length.

C. Letter Style or Logo Restrictions

1. Copy and/or logos utilized shall be Tenant's choice, subject to the approval of Developer and/or Developer's agents and the City of Surprise.

D. Illumination

1. Tenant building signage may be internally illuminated, backlit to create a silhouette, exposed neon and/or combination of lighting methods mentioned herein.

E. Under Canopy Blade Sign

1. Each Shop Tenant shall be required to install graphic copy, at Tenant's cost, on the under canopy blade sign furnished by the Developer in accordance to the specifications contained in this Comprehensive Sign Plan. Anchor, Majors and Pad Tenants shall have the option to do so. For cost efficiencies and design/construction uniformity, all under canopy blade signs will be manufactured by the Developer's project sign contractor and purchased in bulk by Developer. Each Tenant that is required to have a blade sign shall reimburse the Developer for the cost of the display and its installation thereof.
2. All under canopy blade sign copy shall consist of flat cut out graphics and shall be surface applied to both sides of the display. The Developer and/or Developer's Agents shall approve in writing all copy and layout prior to its installation. Each Shop Tenant shall furnish and install the approved copy for said display at Tenant's sole and separate expense. For convenience, Tenant can furnish the copy to Developer's project sign contractor for mounting and/or can provide the project's sign contractor with electronic art suitable for production. Tenant shall pay for all costs associated with the production and mounting of Tenant's blade sign copy.
3. The blade sign shall be suspended and/or projected using a mechanism consistent with other under canopy blade signs throughout the Sycamore Farms Towne Center as specified.

IV. GENERAL CONSTRUCTION REQUIREMENTS

- A. All exterior signs shall be secured by concealed fasteners, stainless steel, or nickel or cadmium plated.
- B. All signs shall be fabricated using full welded construction or similar method to conceal light leaks.
- C. All penetrations of the building structure required for sign installation shall be neatly sealed in a watertight condition.
- D. No labels or other identification shall be permitted on the exposed surface of signs except those required by local ordinance, which shall be applied in an inconspicuous location.
- E. Tenant shall be fully responsible for the operations of Tenant's sign contractors and shall indemnify, defend and hold Developer harmless for, from and against damages or liabilities on account thereof.

SYCAMORE FARMS Towne Center

Building Sign Matrix Anchor and Major Tenants

SIGN	SIGN TYPE	FUNCTION	LOCATION	HEIGHT	SIZE	ILLUMINATION	MATERIALS
Anchor Tenant with occupancy of 50,000 SF or greater	Wall Mounted Signs	Tenant Identification	All elevations that offer readability	72" Maximum Letter Height Exclusive of Logos	1.50 SF / Linear Foot of Building Street Frontage and/or Elevation Upon Which Signage is Placed	Interior, Backlit or a combination thereof.	Aluminum, Acrylic, Painted Metal, Flexface Material
Major Tenant with occupancy greater than 10,000 SF through 49,999 SF	Wall Mounted Signs	Tenant Identification	All elevations that offer readability	60" Maximum Letter Height Exclusive of Logos	1.50 SF / Linear Foot of Building Street Frontage and/or Elevation Upon Which Signage is Placed	Interior, Backlit or a combination thereof	Aluminum, Acrylic, Painted Metal, Flexface Material
Major Tenant with occupancy 9,999 SF or less	Wall Mounted Signs	Tenant Identification	All elevations that offer readability	36" Maximum Letter Height Exclusive of Logos	1.50 SF / Linear Foot of Building Street Frontage and/or Elevation Upon Which Signage is Placed	Interior, Backlit or a combination thereof	Aluminum, Acrylic, Painted Metal, Flexface Material
All Major Tenants	Under Canopy Blade Sign (Optional)	Tenant Identification	In front of tenant's leased space	Below architectural canopy, Maintain 8' Clearance AFF	8 SF	Non-illuminated	Aluminum, Acrylic, Painted Metal, Vinyl Graphics

Comprehensive Sign Plan subject to City of Surprise approval.



TYPICAL ANCHOR TENANT BUILDING SIGNAGE

ANCHOR A (NORTH)



TYPICAL ANCHOR TENANT BUILDING SIGNAGE

ANCHOR B (NORTH)

Building-Mounted Wall Sign. A permanent sign attached to, painted on, or erected against the wall or fascia of a building with the exposed face of the sign in a plane parallel to the face of the wall or fascia.

- a. The maximum aggregate sign area per suite or establishment shall be calculated by multiplying 1.5 times the length of the Anchor Tenant's business front footage without limitation as to maximum sign area and/or number of sign elements.
- b. For Anchor Tenants occupying more than fifty thousand (50,000) square feet of floor area, the overall spread of letters shall not exceed 80% of the business front footage. The maximum total letter height shall be no greater than seventy-two inches (72") exclusive of logos.

SYCAMORE FARMS
Towne Center



PROJECT: Sycamore Farms Towne Center S.E.C. Cactus Rd. & Loop 505 Surprise, AZ	PROJECT NO: 2006-D-006	DATE: 02/21/08	REVISION: REVISED
TYPICAL BUILDING SIGNAGE - ANCHORS	DESIGNED BY: Dan Horton	PAUL BLEIER	ELV A1

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SYCAMORE FARMS Towne Center

Building Sign Matrix Shop Tenants

SIGN	SIGN TYPE	FUNCTION	LOCATION	HEIGHT	SIZE	ILLUMINATION	MATERIALS
Shop Tenants	Wall Signs	Tenant ID	Wall surfaces and architectural features designed to accommodate signage.	24" Maximum Letter Height Exclusive of Logos Within Building Silhouette	1.5 SF / Linear Foot of Building Leased Frontage 50 SF Minimum Per Building Elevation Upon Which Signage is Placed	Interior, Backlit or a Combination thereof.	Aluminum, Acrylic, Painted Metal, Vinyl Graphics
Shop Tenants	Under Canopy Blade Sign (Mandatory)	Tenant ID	In front of tenant's leased space	Below architectural canopy. Maintain 8' Clearance AFF	8 SF	Non-Illuminated	Aluminum, Acrylic, Painted Metal, Vinyl Graphics

Comprehensive Sign Plan subject to City of Surprise approval.



TYPICAL SHOP TENANT BUILDING SIGNAGE

Building-Mounted Wall Sign. A permanent sign attached to, painted on, or erected against the wall or fascia of a building with the exposed face of the sign in a plane parallel to the face of the wall or fascia.

- The maximum aggregate sign area per suite or establishment shall be calculated by multiplying 1.5 times the length of the Pad and/or Shop Tenant's business front footage without limitation as to maximum sign area and/or number of sign elements. As a minimum allowance, tenants with less than 33 feet of business front footage shall be permitted a minimum of fifty (50) square feet of sign area.
- The overall spread of letters shall not exceed 80% of the business front footage. For Pad Tenants, the maximum total letter height shall be no greater than thirty-six (36") inches exclusive of logos. For Shop Tenants, the maximum total letter height shall be no greater than twenty-four (24") inches exclusive of logos.



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Sycamore Farms Towne Center S.E.C. Cactus Rd. & Loop 303 Surprise, AZ		2006-D-006 02/21/08	As Noted
Typical Building Signage - Shops		ELV 51	
Dan Horton	Paul Bleier		

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TYPICAL SHOP TENANT BUILDING SIGNAGE

Building-Mounted Wall Sign. A permanent sign attached to, painted on, or erected against the wall or fascia of a building with the exposed face of the sign in a plane parallel to the face of the wall or fascia.

- a. The maximum aggregate sign area per suite or establishment shall be calculated by multiplying 1.5 times the length of the Pad and/or Shop Tenant's business front footage without limitation as to maximum sign area and/or number of sign elements. As a minimum allowance, tenants with less than 33 feet of business front footage shall be permitted a minimum of fifty (50) square feet of sign area.
- b. The overall spread of letters shall not exceed 80% of the business front footage. For Pad Tenants, the maximum total letter height shall be no greater than thirty-six (36") inches exclusive of logos. For Shop Tenants, the maximum total letter height shall be no greater than twenty-four (24") inches exclusive of logos.



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PROJECT Sycamore Farms Towne Center S.E.C. Cactus Rd. & Loop 303 Surprise, AZ	DATE 02/21/06
TYPICAL BUILDING SIGNAGE - SHOPS	STATUS As Noted
DRAWN BY Dan Horton Paul Bleier	NO. / SHEET ELV 52

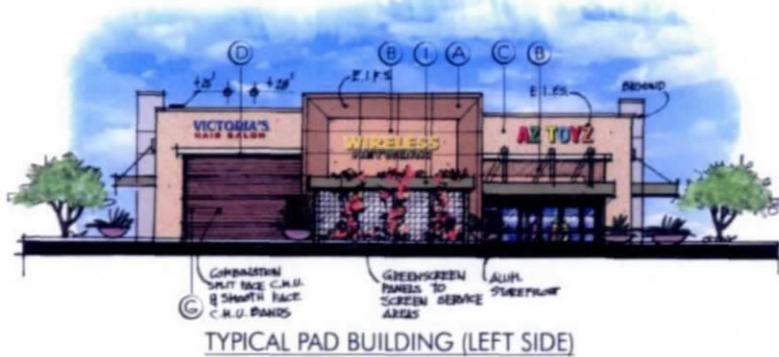
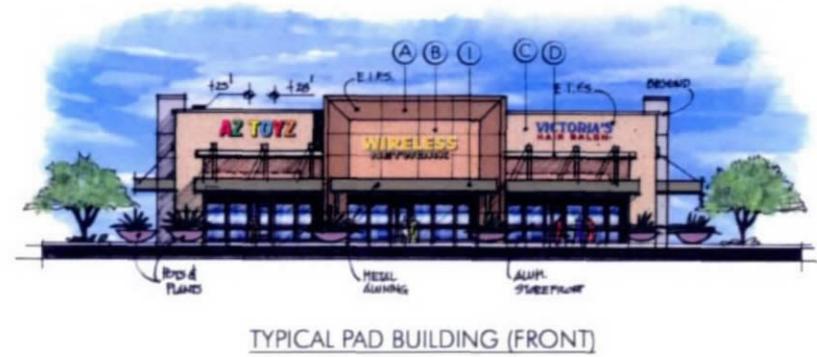
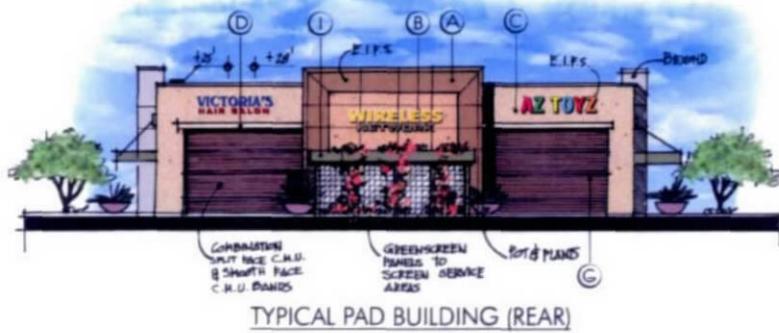
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SYCAMORE FARMS Towne Center

Building Sign Matrix Pad Tenants

SIGN	SIGN TYPE	FUNCTION	LOCATION	HEIGHT	SIZE	ILLUMINATION	MATERIALS
Pad Tenant	Wall Signs	Tenant ID	Wall surfaces and architectural features designed to accommodate signage.	36" Maximum Letter Height Exclusive of Logos Within Building Silhouette	1.5 SF / Linear Foot of Building Elevation 50 SF Minimum Per Elevation	Interior, Backlit, or a combination thereof.	Aluminum, Acrylic, Painted Metal, Vinyl Graphics
Pad Tenant	Under Canopy Blade Sign (Optional)	Tenant ID	In front of tenant's leased space	Below architectural canopy. Maintain 8' Clearance AFF	8 SF	Non-Illuminated	Aluminum, Acrylic, Painted Metal, Vinyl Graphics
Pad Tenant	Menu Signs	Menu Display and Pricing	Drive Thru	Per City of Surprise Ordinance	Per City of Surprise Ordinance	Interior and Ground Illumination	Aluminum, Acrylic, Painted Metal, Vinyl Graphics
Pad Tenant	Traffic Directionals	Vehicular	Driveways and Drive Thru as Required	Per City of Surprise Ordinance	Per City of Surprise Ordinance	Interior and Ground Illumination	Aluminum, Acrylic, Painted Metal, Vinyl Graphics
Pad Tenant	ATM	ATM	Wall or Freestanding	Per City of Surprise Ordinance	Per City of Surprise Ordinance	Interior and Ground Illumination	Aluminum, Acrylic, Painted Metal, Vinyl Graphics

Comprehensive Sign Plan subject to City of Surprise approval.



TYPICAL MULTI-TENANT PAD BUILDING SIGNAGE

Building-Mounted Wall Sign. A permanent sign attached to, painted on, or erected against the wall or fascia of a building with the exposed face of the sign in a plane parallel to the face of the wall or fascia.

- The maximum aggregate sign area per suite or establishment shall be calculated by multiplying 1.5 times the length of the Pad and/or Shop Tenant's business front footage without limitation as to maximum sign area and/or number of sign elements. As a minimum allowance, tenants with less than 33 feet of business front footage shall be permitted a minimum of fifty (50) square feet of sign area.
- The overall spread of letters shall not exceed 80% of the business front footage. For Pad Tenants, the maximum total letter height shall be no greater than thirty-six (36") inches exclusive of logos. For Shop Tenants, the maximum total letter height shall be no greater than twenty-four (24") inches exclusive of logos.

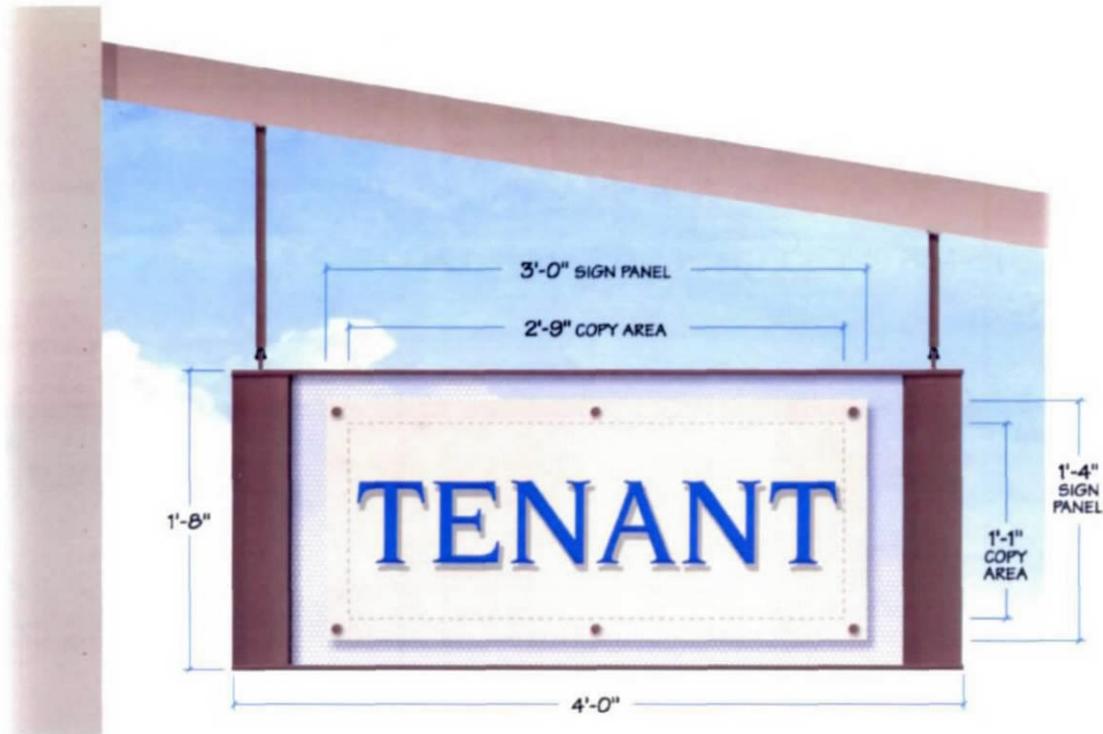


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PROJECT Sycamore Farms Towne Center S.E.C. Cactus Rd. & Loop 305 Surprise, AZ	DATE 2006-0-006 02/21/06	REVISIONS
TYPICAL BUILDING SIGNAGE - MULTI-TENANT PAD	SCALE As Noted	
DESIGNED BY Dan Horton	CHECKED BY Paul Bleier	PROJECT NO. ELV P1

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D/F BLADE SIGN - ELEVATION
SCALE: 1-1/2"=1'-0"



END VIEW
SCALE: 1-1/2"=1'-0"

Tenant copy to be FCO 1/4" thick sintra™ or aluminum.
 Tenant copy to be painted per tenant's corporate colors and flush mounted to background.
 Developer approval required for all layouts.



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PROJECT Sycamore Farms Towne Center S.E.C. Cactus Rd. & Loop 303 Surprise, AZ	PROJECT NO. 2006-0-005	DATE 02/21/06	REVISIONS
SCALE 1 1/2" = 1'-0"	DATE PLOTTED		
TYPICAL BLADE SIGN	DRAWN BY		
Dan Horton	Paul Bleier	BS-1	

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**CITY OF SURPRISE
COMMUNITY DEVELOPMENT DEPARTMENT**

SP08-081

Site Plan

for:

Pad B at Marley Park Square

PLANNING AND ZONING COMMISSION

Hearing Date: **August 5, 2008**

STAFF:	Dennis Dorch, 623.222.3134
LOCATION:	Generally on the southwest corner of Litchfield Road and Waddell Road.
DESCRIPTION OF THE REQUEST:	Approval of a Site Plan.
SUMMARY ANALYSIS:	The applicant is requesting Site Plan approval.

SUGGESTED MOTION:	I move to approve SP08-081, a Site Plan for Pad B at Marley Park Square, and to adopt staff's findings and stipulations 'a' and 'b.'
--------------------------	---

STIPULATIONS

REQUIRED ACTIONS. The applicant and/or owner shall comply with the following stipulations of Case SP08-081, Pad B at Marley Park Square.

- a. All parcel numbers shall be active prior to submittal of any building permit and shall stay active throughout the construction process until a Letter of Compliance and/or Certificate of Occupancy is issued. Any subdivision or lot split shall be reviewed and approved by the City of Surprise prior to recordation with Maricopa County.
- b. Applicant shall provide the International Building Code Occupancy Type prior to, or concurrent with, submittal of Building Permit application.

Vicinity Map





Arizona Department of Transportation
Intermodal Transportation Division

206 South Seventeenth Avenue Phoenix, Arizona 85007-3213

Janet Napolitano
Governor

Victor M. Mendez
Director

Sam Elters
State Engineer

May 8, 2008

Ms. Carol Dager
City of Surprise Planning Department
12425 West Bell Road, Suite D-100
Surprise, Arizona 85374

RE: **Marley Park Retail Pad B** / SP08-081/ 13953 W. Waddell Road

Dear Ms. Dager:

Thank you for your notification regarding the Site Plan on the above referenced subject. After a complete review, we have concurred that at this time the proposed project will not have impact on our highway facilities in this area.

ADOT does reserve the right to review and comment any further development plans, changes and or additions for this site, as to any impact they may have on the State Highway System.

Should you have any questions, you may contact me at 602-712-8876, or in writing at 205 S. 17th Avenue, Right of Way Project Management Section, MD 612E, Phoenix, Arizona 85007. Thanking you in advance for your cooperation.

Sincerely,

A handwritten signature in cursive script that reads "Annette Close".

Annette Close
Administrative Assistant III/Red Letter Coordinator
Right of Way Project Management
aclose@azdot.gov



2001 Award Recipient



DEPARTMENT OF THE AIR FORCE
AIR EDUCATION AND TRAINING COMMAND

24 April 2008

Mr. James R. Mitchell
Director, Community Initiatives Team
56th Fighter Wing
14185 West Falcon Street
Luke AFB AZ 85309-1629

Ms. Carol Dager
City of Surprise Planning Department
12425 West Bell Road
Surprise AZ 85374

Re: Case #SP08-081 Marley Park New Retail PAD B

Dear Ms. Dager

Thank you for the opportunity to provide comments on the Conditional Use Permit Application for the Marley Park New Retail PAD B. PAD B is located on 1.04 gross acres at the southwest corner of Litchfield and Waddell Roads. The application calls for the construction of a single-story 5,385 square foot building for retail use. This site is located inside the 1988 JLUS 65 Ldn, "high noise or accident potential zone," as defined by A.R.S. § 28-8461 and is located within the "territory in the vicinity of a military airport," also defined by A.R.S. § 28-8461.

As described, this Commercial building will not negatively impact the flying operations at Luke AFB. However, since a tenant has not been identified for this PAD, Luke AFB requests the opportunity to provide additional comments when a tenant has been established, to ensure the use follows the table of compatible uses identified by A.R.S. § 28-8481 for retail located inside the 65 Ldn. Since this area is located within the "territory in the vicinity of a military airport," it will be subjected to high noise from approximately 165 over flights a day, with some as low as 1,500 feet above ground level. We recommend you review the sound attenuation requirements found in A.R.S. § 28-8482. In addition, a strong notification program on the part of the applicant would be essential to inform potential tenants about Luke AFB operations. We also recommend a review of the Luke AFB web site at <http://www.luke.af.mil>, Community Interests and Community Initiatives links, for further information.

If there are any questions, please contact my Community Planner, Mr. Bob Dubsy, at (623) 856-6195.

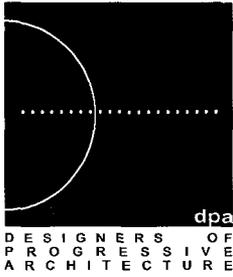
Sincerely

A handwritten signature in black ink, appearing to read "J. Mitchell", written over a horizontal line.

JAMES R. MITCHELL

cc:

Colonel Henry M. Reed III, Vice Commander, 56th Fighter Wing



RECEIVED

JUN 26 2008

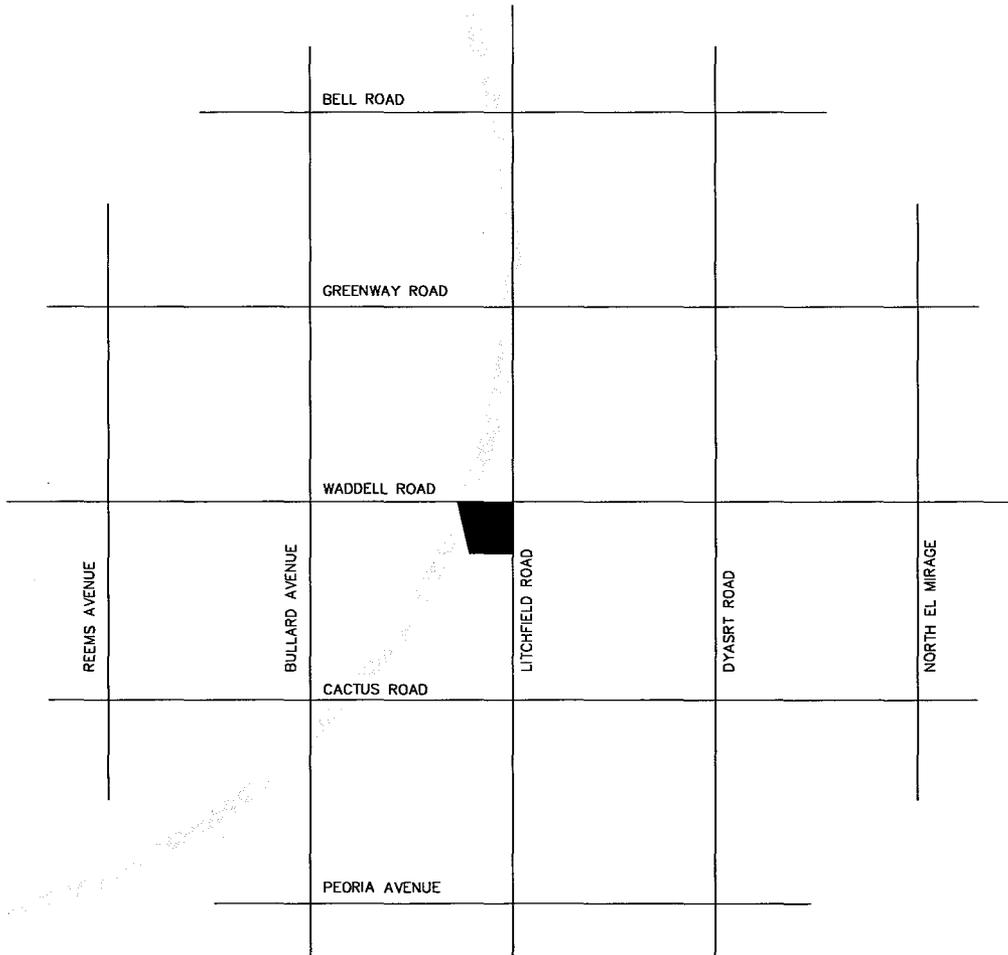
COMMUNITY
DEVELOPMENT

25 June 2008

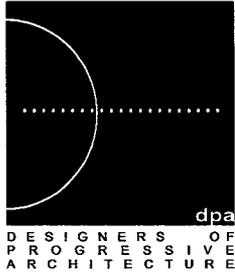
Community Development Department
Planning and Zoning
12425 W Bell Road
Surprise, Arizona 85374-9002

3-MILE RADIUS VICINITY MAP

New Retail Pad Building – Litchfield/Waddell



TAC Narrative.doc



Location and project description:

This project is located at the SWC of Litchfield Road and Waddell Road within the City of Surprise, Arizona. The parcel is listed as 501-39-008 - Pad B within the Maricopa County Assessor and is a stand-alone property within a proposed commercial development. The site is currently zoned as P.A.D., (with an underlying commercial zoning) and will not require any rezoning to permit the construction of a new retail pad building.

Historical Data:

This site, located at the intersection of two major arterial roads, was reserved for commercial development as part of the Marley Park PAD Master Plan. In the Master Plan, the site was situated to allow for neighborhood vehicular and pedestrian access to alleviate the need for entering onto a major arterial road from the neighborhood to get to the commercial area. The site was envisioned as a neighborhood commercial center, serving both the Marley Park residences and surrounding neighborhoods.

Operational aspect of use:

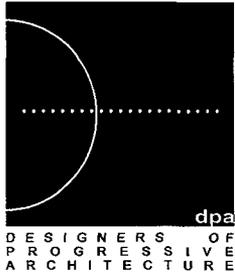
The new retail pad site is part of an overall development proposal prepared by Marley Park L.L.C., which consists of two major anchors, several retail shops, a three-story office, several garden offices and independent pads along the frontage of Litchfield and Waddell Roads. The proposed use of the new pad building is retail. This use is approved based on the underlying commercial zoning district. Based on the proposed uses of the site, ample surface parking is provided according to the current parking ratios indicated in the Surprise Zoning Ordinance. All surface parking will be screened from street and adjacent residential view by the buildings on site or site screening walls, as well as the existing open space buffers. The current developer's site plan has TAC and developer approval, as well as site and building permits.

Infrastructure:

Currently there are eight access points to the overall site. Four are located from Waddell Road to the north, and four site entrances are from Litchfield Road to the east. These entrances have been located and detailed per City of Surprise engineering standards. City Services currently exist in Waddell Road for water, sewer and fire protection. Retention capacity for storm water will be provided on site. An underground retention system and small street side retention basins along the Waddell Road frontage will accommodate the commercial center's surface runoff. All major utilities will be brought to the retail pad limits under the overall center construction. Garbage enclosures will be provided as shown on the attached site plan. The extension of services into the proposed site is shown on the site and civil engineering plans submitted with this application.

Phasing:

NA



Project and Design Information:

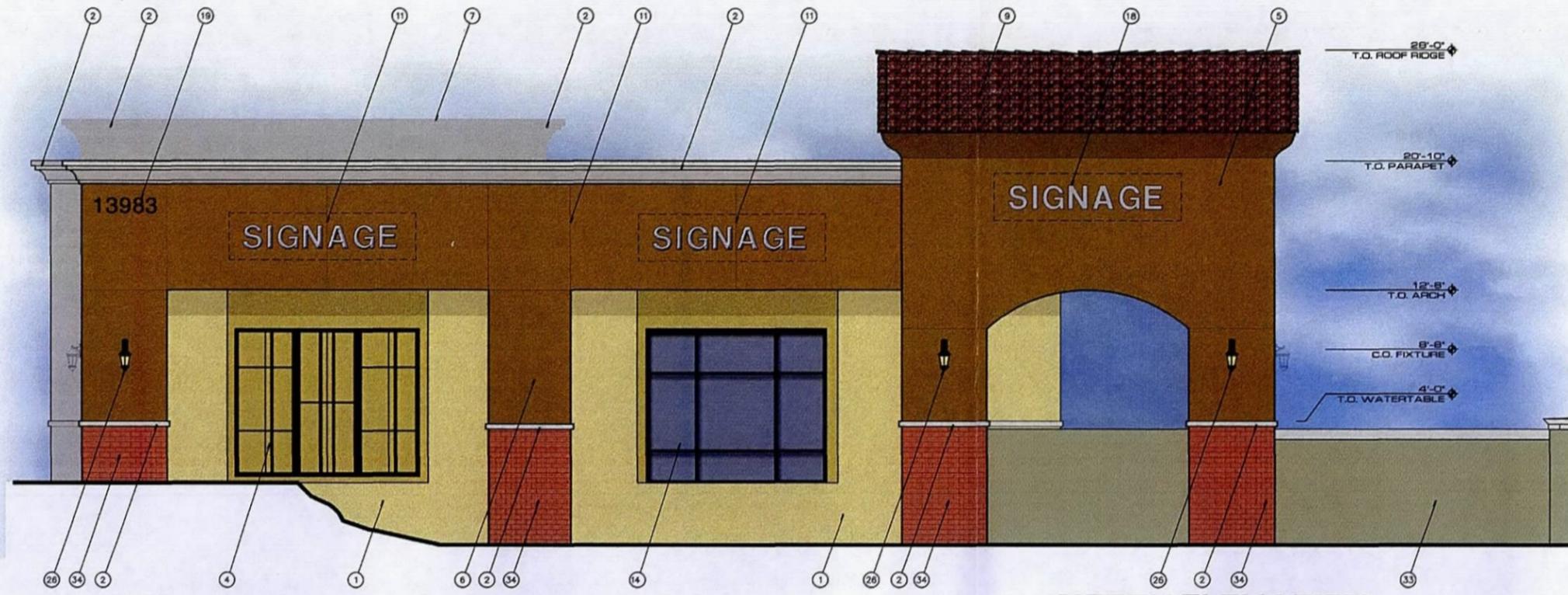
Overall Site

All of the structures located within the commercial development have been designed with a central architectural theme and will be concordant throughout the proposed development. Shops and pad buildings are positioned forward on the site to provide a building face on the major arterial roads, with parking screened behind buildings or site screening walls. There are three distinct zones within the commercial development. The garden offices are located on the southwest corner of the site. The offices provide direct pedestrian access from the west and the south. The three-story office sits on the southeast corner of the site. There is a proposed outdoor plaza that frames the entry into the three-story office from the street side. The remainder of the site is retail shops and pads. An outdoor plaza is proposed between Shops D and E to allow for vibrant outdoor activity and to provide a pedestrian connection from the frontage along Litchfield Road. Major Shops A and B are visually the largest buildings in the retail portion of the commercial center. They are designed to be more prominent focal points of the center, to help draw people into the site and orient them to the provided parking. Key corners of all of the shops buildings are strengthened by prominent vertical elements with overhanging roof structure, providing a strong central design theme to the building ensemble. Metal and wood trellis and awnings provide variety and encourage eye movement along the building façades.

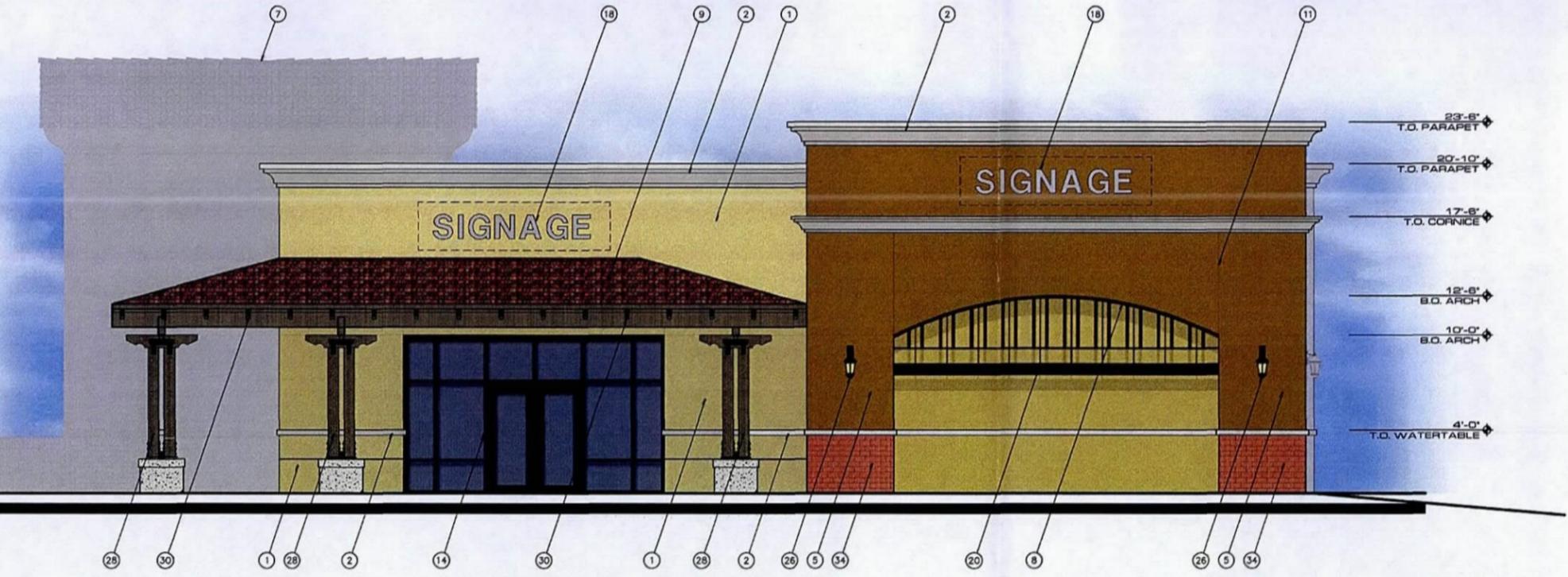
New Retail Pad Building

The proposal of the new retail pad compliments the overall development's design theme with its use of materials, strong colors, and a hierarchy of masses. The exterior material palette is composed of smooth texture E.I.F.S. over framed structure, roof tiles, and brick. The building placement screens parking from the street perspective thus producing an inviting pedestrian oriented building. The landscape will screen the building elements from the street perspective, and also give a pleasant view for all the surrounding residents. To provide visual interest from the street perspective, trellis or awnings adorn every face of the building. The main entry utilizes a covered extension from the building that takes advantage of the diverse material palette with its use of roof tile to visually tie the most prominent vertical element on the building to the rest of the development. This arrangement will provide a recessed entry as well as strong shadow lines and shading for the main entry storefront system. The exterior window openings of the retail pad are generous in size to provide views into and out of the building. The openings are recessed as well to provide shadow lines and shading coefficient. The architectural design of the retail pad is intended to blend with and compliment the proposed retail portion of the commercial development south of the proposed pad. It is our belief that the utilization of these materials will allow the project to be architecturally harmonious with the overall development.

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NORTH ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

KEY NOTES

THE KEY NOTES LISTED ARE REPRESENTATIVE OF THE PROJECT AS A WHOLE. NOT ALL KEYNOTES APPLY TO EVERY DRAWING. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL WORK WITH THE APPLICABLE TRADES.

NOTES:	SPECIFICATION SECTION:
1. 1" E.J.F.S. WITH SMOOTH FINISH, I.C.B.O. REPORT# ESR-1607. SEE SPECIFICATIONS. PAINT DEC781, 'COCHISE.'	00 72 40
2. 1" E.J.F.S. WITH SMOOTH FINISH, I.C.B.O. REPORT# ESR-1607. SEE SPECIFICATIONS. PAINT DE6227, 'MUSLIN.'	00 72 40
3. 1" E.J.F.S. WITH SMOOTH FINISH, I.C.B.O. REPORT# ESR-1607. SEE SPECIFICATIONS. PAINT DE6223, 'MISSION TRAIL.'	00 72 40
4. 1" E.J.F.S. WITH SMOOTH FINISH, I.C.B.O. REPORT# ESR-1607. SEE SPECIFICATIONS. PAINT DEA176, 'IRON RIVER.'	00 72 40
5. 1" E.J.F.S. WITH SMOOTH FINISH, I.C.B.O. REPORT# ESR-1607. SEE SPECIFICATIONS. PAINT DE811, 'SMORES.'	00 72 40
6. 1" E.J.F.S. WITH SMOOTH FINISH, I.C.B.O. REPORT# ESR-1607. SEE SPECIFICATIONS. PAINT DE728, 'ADOBE.'	00 72 40
7. LINE OF ROOF BEYOND.	
8. LINE OF POP-OUT ARCH.	
9. CONCRETE ROOFING TILES.	07 32 16
10. CONTROL JOINT.	08 24 00
11. ACCENT REVEAL.	08 24 00
12. CORNICE TYPE 'A'.	08 24 00
13. CORBEL AT ARCH.	08 24 00
14. ALUMINUM STOREFRONT SYSTEM.	08 41 13
15. HOLLOW METAL DOOR AND FRAME.	07 72 00
16. ROOF VENT TYPE 'V2'.	05 50 00/ 06 10 00
17. SUSPENDED WOOD AND STEEL CANOPY.	
18. 24" HIGH LETTER SIGNAGE LOCATION. UNDER SEPARATE PERMIT.	
19. BUILDING ADDRESS SIGN LOCATION PER CITY OF SURPRISE STANDARDS.	
20. LATTICE GRILLE.	05 50 00
21. FIRE DEPARTMENT CONNECTION.	21 00 00
22. KNOX BOX.	10 44 00
23. ROOF DRAIN SCUPPER.	05 50 00
24. LANDSCAPE TRELIS.	05 50 00
25. BRICK VENEER COLUMN.	04 21 13
26. SURFACE MOUNTED LIGHT FIXTURE.	26 50 00
27. S.E.S. CABINET.	26 20 00
28. WOOD POST COLUMN.	06 10 00
29. GLUE-LAM ROOF BEAM.	06 10 00
30. OUTRIGGERS.	06 10 00
31. MASONRY CONTROL JOINT.	04 05 23
32. METAL ROOF AWNING.	06 10 00/ 07 81 00
33. SCREEN WALL.	04 22 00
34. 8"X4"X12" HOLLOW BRICK STRETCHER, COLOR #90.	04 21 13

CHAMPION

NEW RETAIL BLDG-PAD B
MARLEY PARK SQUARE
 13983 WADELL ROAD
 SURPRISE, ARIZONA 85378

PACKAGE 5B



approved 13 June 2010

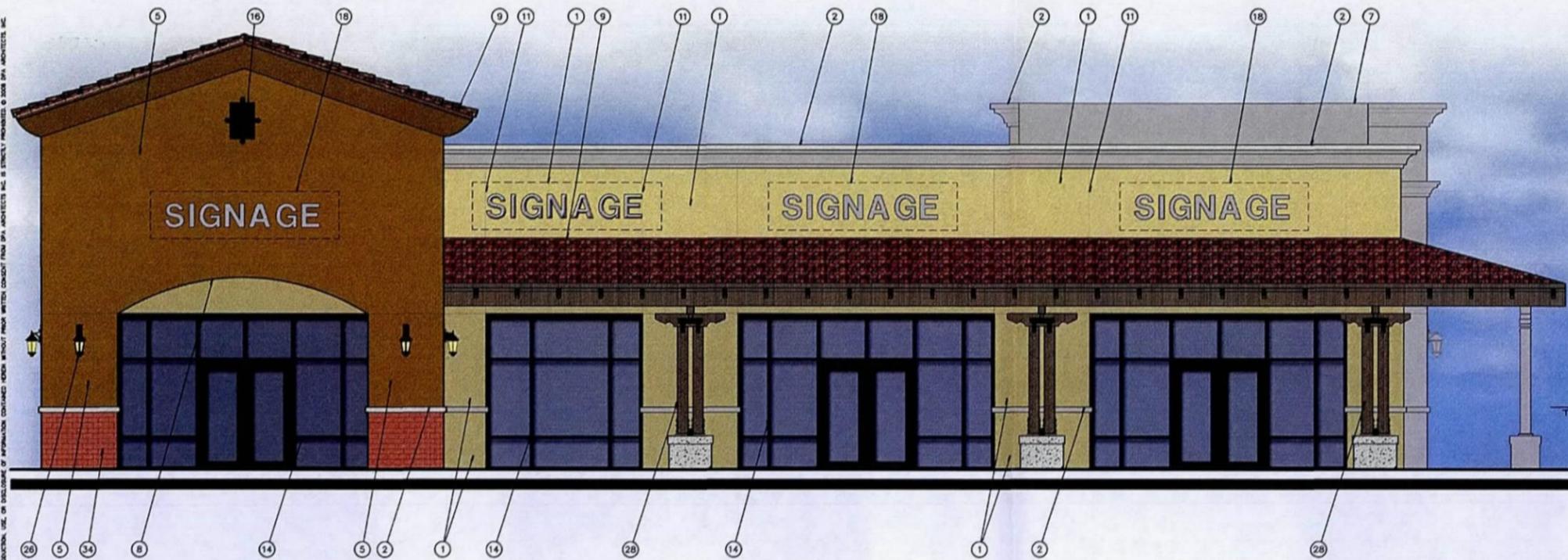
dpa
 DESIGNERS OF
 PROGRESSIVE
 ARCHITECTURE
 7272 a rd in school rd ste 214
 Scottsdale, Arizona 85251
 telephone 480 941 4222
 www.dpaaarchitects.com

drawn by: yan
 project no: 06077
 date: 2 may 2008

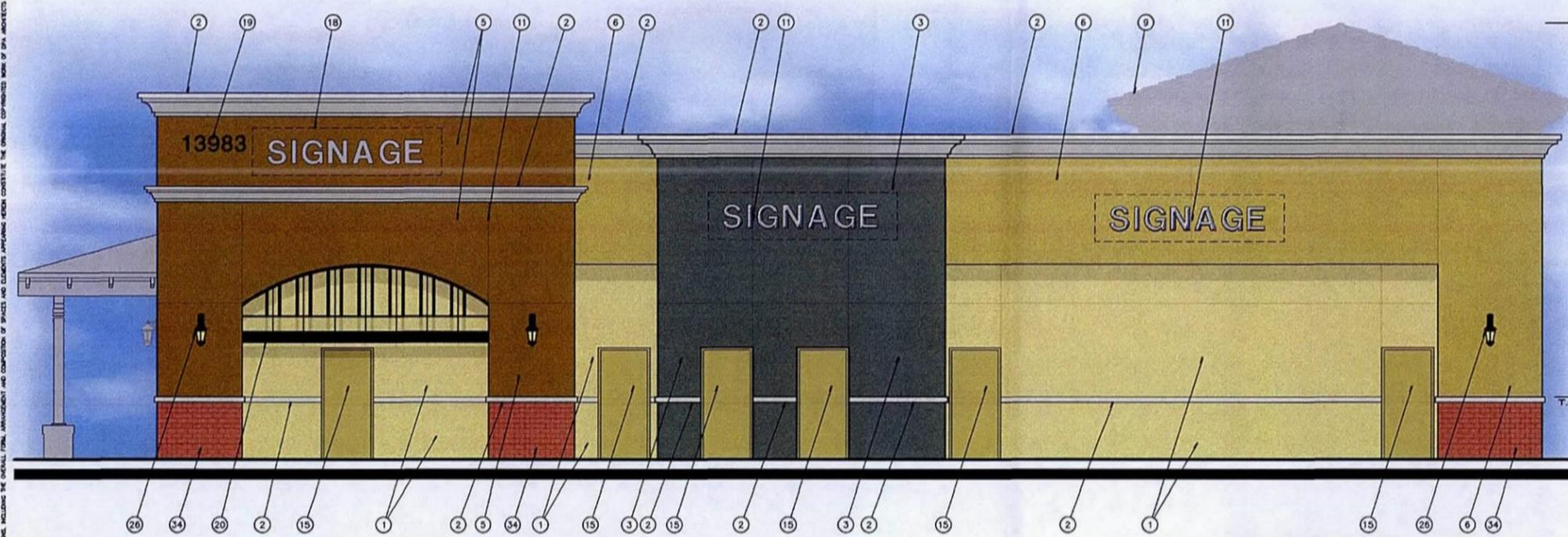
BUILDING ELEVATIONS
 APN # 501-38-008A
 PLAT # PP07-140

A
3.1

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WEST ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"

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16. ROOF VENT TYPE 'V2'.	05 50 00/ 06 10 00
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31. MASONRY CONTROL JOINT.	04 05 23
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33. SCREEN WALL.	04 22 00
34. 8"X4"X12" HOLLOW BRICK STRETCHER, COLOR #80.	04 21 13

CHAMPION
NEW RETAIL BLDG-PAD B
 MARLEY PARK SQUARE
 13983 WADELL ROAD
 SURPRISE, ARIZONA 85378

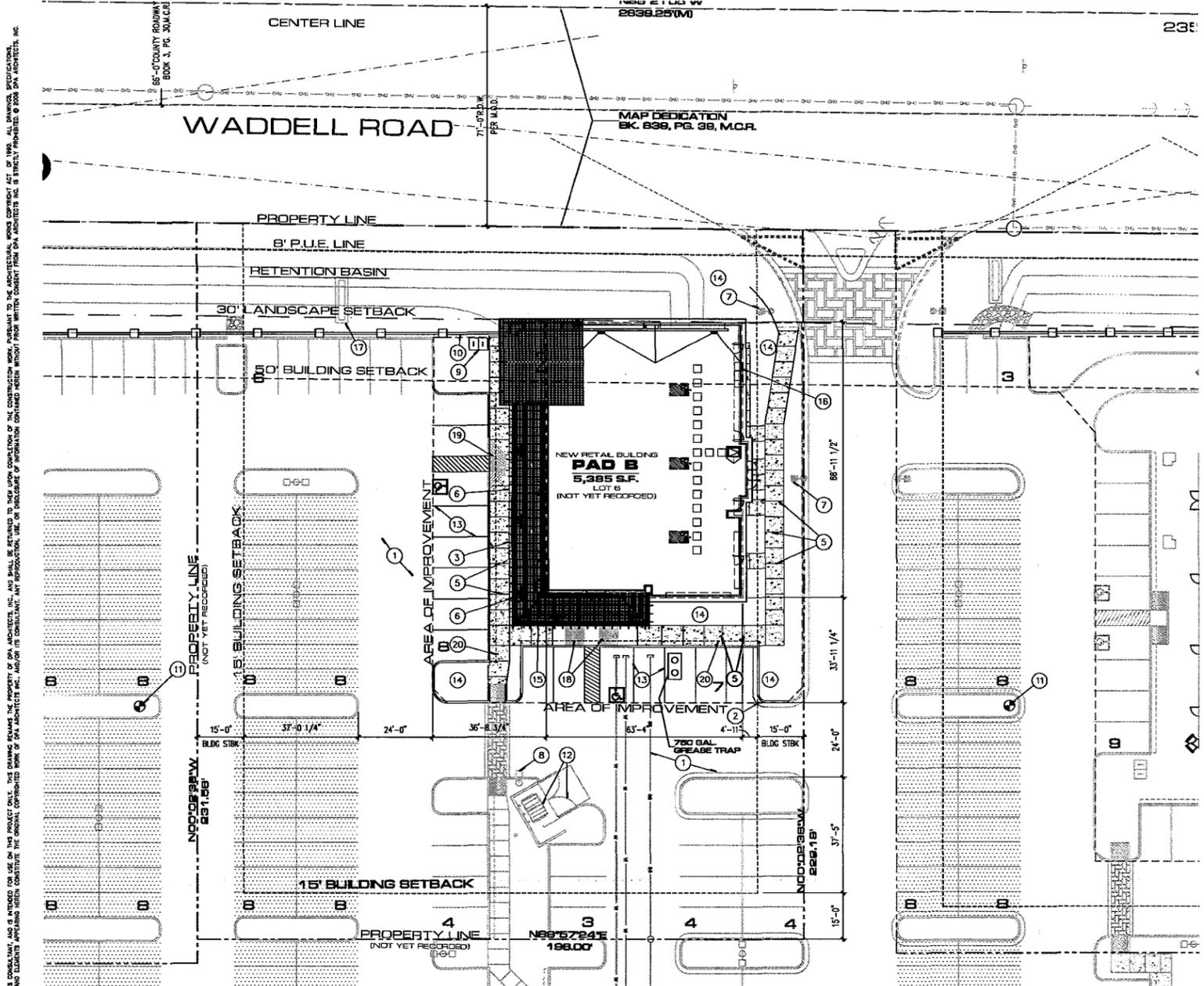
PACKAGE 5B



CHAMPION ARCHITECTS, INC.
 25766 N. 25TH AVENUE
 SUITE 100
 SCOTTSDALE, ARIZONA 85251
 TELEPHONE 480 941 4222
 WWW.CHAMPIONARCHITECTS.COM

drawn by: ym
 project no: 06077
 date: 2 may 2006

A 3.2



GENERAL NOTES

- ALL PROPOSED DEVELOPMENT PHASES DEPICTED ON THIS SITE PLAN SHALL BE PROVIDED A MINIMUM OF TWO (2) SEPARATE POINTS OF UNOBSTRUCTED ACCESS WITH A MINIMUM WIDTH OF TWENTY FEET, INSTALLED AND MAINTAINED PURSUANT TO THE REQUIREMENTS OF THE CITY OF SURPRISE.
- ALL ACCESSIBLE PARKING SPACES MEET THE REQUIREMENTS FOR VAN ACCESSIBLE SPACES SITE WIDE.

KEY NOTES

- NOTES:
- ASPHALTIC CONCRETE PAVING. 32 12 16
 - CAST-IN-PLACE CONCRETE CURB (AND GUTTER). 32 16 00
 - 6" INTEGRALLY COLORED CONCRETE RIBBON CURB. SEE DETAIL 10/A1.2. 03 30 00
 - INTEGRALLY COLORED CONCRETE SIDEWALK WITH DECORATIVE SCORING. SEE DETAIL 3/A1.3. 32 16 00
 - INTEGRALLY COLORED CONCRETE SIDEWALK ON GRADE. SEE DETAIL 1/A1.2. 32 16 00
 - INTEGRALLY COLORED EXPOSED AGGREGATE CONCRETE BAND WITH 3/8" ANGULAR STONE (GREY IN COLOR). 32 16 00
 - EXISTING DECORATIVE SITE LIGHT FIXTURE. BASE IS SQUARE, LAMP IS CIRCULAR. 16 00 00
 - EXISTING POLE MOUNTED SITE LIGHT FIXTURE. 16 00 00
 - BIKE RACK. SEE DETAIL 1/A1.3. 04 22 00 / 03 30 00
 - EXISTING RETAINING WALL. 04 22 00 / 03 30 00
 - EXISTING FIRE HYDRANT. 04 22 00 / 03 30 00
 - EXISTING REFUSE ENCLOSURE AND APRON. SEE DETAIL 7/A1.3. 04 22 00 / 03 30 00

KEY NOTES

- NOTES:
- PARKING STRIPING. 32 17 23
 - LANDSCAPING PER LANDSCAPE DRAWINGS. 32 80 00
 - FDC LOCATION. FIRE DEPARTMENT CONNECTION SHALL BE INSTALLED SO THAT THE TOP OF THE FDC IS BETWEEN 18" TO 48" IN HEIGHT. 32 16 00
 - ELECTRICAL UTILITY CABINET. PAINT. 26 00 00
 - PROPOSED MONUMENT SIGN UNDER SEPARATE PERMIT. 32 16 00
 - INTEGRALLY COLORED ACCESSIBLE CONCRETE RAMP. SEE DETAIL 5/A1.2. 32 16 00
 - INTEGRALLY COLORED ACCESSIBLE CONCRETE FLARE RAMP. SEE DETAIL 4/A1.2. 32 16 00
 - 2" PARKING OVER-HANGS. 32 16 00
 - INTEGRALLY COLORED CONCRETE SIDEWALK WITH DECORATIVE SCORING. SEE DETAIL 2/A1.2. 32 16 00
 - ROOF DRAIN OVERFLOW DAYLIGHT LOCATION. DAYLIGHT TO BE 12" A.F.S. 32 16 00
 - DECORATIVE CONCRETE PAVERS OVER 4" SAND SETTING BED OVER 95% COMPACTED SUBGRADE. PROVIDE 1/8" MORTARED JOINTS. STYLE / COLOR DUBLIN COBBLE MODULAR, VICTORIAN BLEND. 32 16 00



LEGAL DESCRIPTION

A PARCEL OF LAND LYING WITHIN SECTION 16, TOWNSHIP 3 NORTH, RANGE 1 WEST, OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION, A MARICOPA COUNTY HIGHWAY DEPARTMENT (MCHD) BRASS CAP FLUSH, BEARS SOUTH 00°02'03.4" EAST (BASIS OF BEARING), A DISTANCE OF 2633.82 FEET; THENCE ALONG THE EAST LINE OF SAID SECTION, SOUTH 00°02'34" EAST, A DISTANCE OF 110.34 FEET; THENCE LEAVING SAID EAST LINE, SOUTH 89°57'26" WEST, A DISTANCE OF 55.00 FEET, TO THE POINT OF BEGINNING.

THENCE SOUTH 00°02'34" EAST A DISTANCE OF 1209.73 FEET;

THENCE SOUTH 29°57'26" WEST A DISTANCE OF 990.14 FEET;

THENCE NORTH 11°36'21" WEST A DISTANCE OF 1297.14 FEET;

THENCE SOUTH 29°21'05" EAST A DISTANCE OF 51.24 FEET;

THENCE SOUTH 83°38'27" EAST A DISTANCE OF 60.30 FEET;

THENCE SOUTH 89°21'05" EAST A DISTANCE OF 1099.06 FEET;

THENCE SOUTH 44°41'50" EAST A DISTANCE OF 56.91 FEET, TO THE POINT OF BEGINNING.

PROJECT DATA

PROJECT DESCRIPTION:
THIS SUBMITTAL IS PACKAGE FIVE B (5B) OF THE OVERALL DEVELOPMENT OF MARLEY PARK SQUARE. THIS PACKAGE INCLUDES A RETAIL SHELL BUILDING AND ASSOCIATED HARDSCAPE, LANDSCAPE, AND ALL UTILITIES. ALL TENANT IMPROVEMENTS WILL BE UNDER SEPARATE PERMIT.

PROJECT ADDRESS: 13983 W. WADDELL RD. SURPRISE, ARIZONA 85371

APN: 501-39-008 A

SECTION TOWNSHIP RANGE: 16, 3N, 1W

JURISDICTION: CITY OF SURPRISE

ZONING: PA1

PACKAGE 5B SITE AREA: 45,153 S.F. (1.04 ACRES)

PACKAGE 5B IMPROVEMENT AREA: 14,507 S.F.

TOTAL BUILDING AREA: 5,385 S.F.

BUILDING COVERAGE: 11.9%

OCCUPANCY: TYPE A2, M, U

BUILDING HEIGHT ALLOWED: 35'-0" TWO STORES A.F.F. PER CITY OF SURPRISE ZONING REGULATIONS

ACTUAL HEIGHT: 28'-0"

CONSTRUCTION TYPE: V-B, FULLY SPRINKLERED

- APPLICABLE CODES:**
- 2006 INTERNATIONAL BUILDING CODE
 - 2006 INTERNATIONAL FIRE CODE
 - 2006 INTERNATIONAL ELECTRIC CODE
 - 2006 INTERNATIONAL MECHANICAL CODE
 - 2006 INTERNATIONAL PROPERTY MAINTENANCE CODE
 - 2006 INTERNATIONAL PLUMBING CODE
 - ICC/ANSI 117.1A 2003 (ADA)
 - 38-301.01 SMOKE-FREE ARIZONA ACT

OVERALL SITE PARKING DATA

SITE AREA	1,406,243 S.F. (32.28 ACRES)
TOTAL BUILDING AREA	278,162 S.F.
% COVERAGE	19.84%
% OPEN SPACE	25.5%
% LANDSCAPE	35.3%
REGULAR PARKING PROVIDED	862 SPACES
REGULAR PARKING REQUIRED	1,108 SPACES
ACCESSIBLE PARKING PROVIDED	60 SPACES
ACCESSIBLE PARKING REQUIRED	28 SPACES
COMPACT SPACES PROVIDED	347 SPACES
COMPACT SPACES ALLOWED (30%)	352 SPACES
TOTAL PARKING PROVIDED	1,269 SPACES
PARKING RATIO	4.94 / 1,000

PAD B PARKING DATA

SITE AREA	45,153 S.F. (1.04 ACRES)
TOTAL BUILDING AREA	5,385 S.F.
% COVERAGE	11.9%
REGULAR PARKING PROVIDED	37 SPACES
REGULAR PARKING REQUIRED	34 SPACES
RESTAURANT (1346 S.F. X .65/50 RETAIL (4039 S.F. / 250)	18 SPACES
	16 SPACES
ACCESSIBLE PARKING PROVIDED	2 SPACES
ACCESSIBLE PARKING REQUIRED	2 SPACES
COMPACT SPACES PROVIDED	32 SPACES
COMPACT SPACES ALLOWED (30%)	10.2 SPACES

PROJECT TEAM

OWNER
MP PARK SQUARE, L.L.P.
10450 NORTH 74TH STREET
SUITE 100
SCOTTSDALE, ARIZONA 85258
T 480.751.5197
F 480.322.8313
MICHAEL WECHSLER

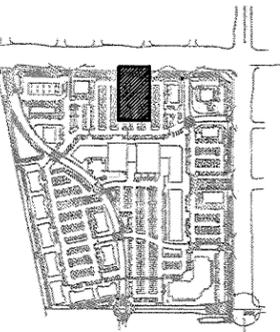
PROJECT COORDINATOR
FM GROUP, INC.
15974 NORTH 77TH STREET
SCOTTSDALE, ARIZONA 85260
T 602.277.7577
F 602.277.8888
TIMOTHY BURMER

ARCHITECT
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7272 EAST INDIAN SCHOOL ROAD
SUITE 214
SCOTTSDALE, ARIZONA 85251
T 480.941.4222
F 480.941.3888
JOHN S. SZAFRAN, A.I.A.

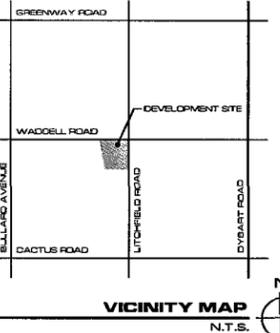
CIVIL ENGINEER
NORMAN ENGINEERING GROUP, INC.
7330 NORTH 18TH STREET
SUITE A200
PHOENIX, ARIZONA 85020
T 602.371.0397
F 602.861.3473
KEN ZELL, P.E.

LANDSCAPE ARCHITECT
THE DESIGN ELEMENT
1230 WEST WASHINGTON STREET
SUITE 202
TEMPE, ARIZONA 85281
T 602.244.1970
F 602.244.1971
DAN MALDONADO, RLA, ASLA

ELECTRICAL ENGINEER
MCGREW ENGINEERING, INC.
16605 NORTH 28TH AVENUE
SUITE 104
PHOENIX, ARIZONA 85053
T 602.331.0114
F 602.331.0127
JERRY LARSON



OVERALL DEVELOPMENT MAP
N.T.S.



VICINITY MAP
N.T.S.

SITE PLAN
SP08-0081
APN # 501-39-008C
PLAT # PP07-140
#CS07-140

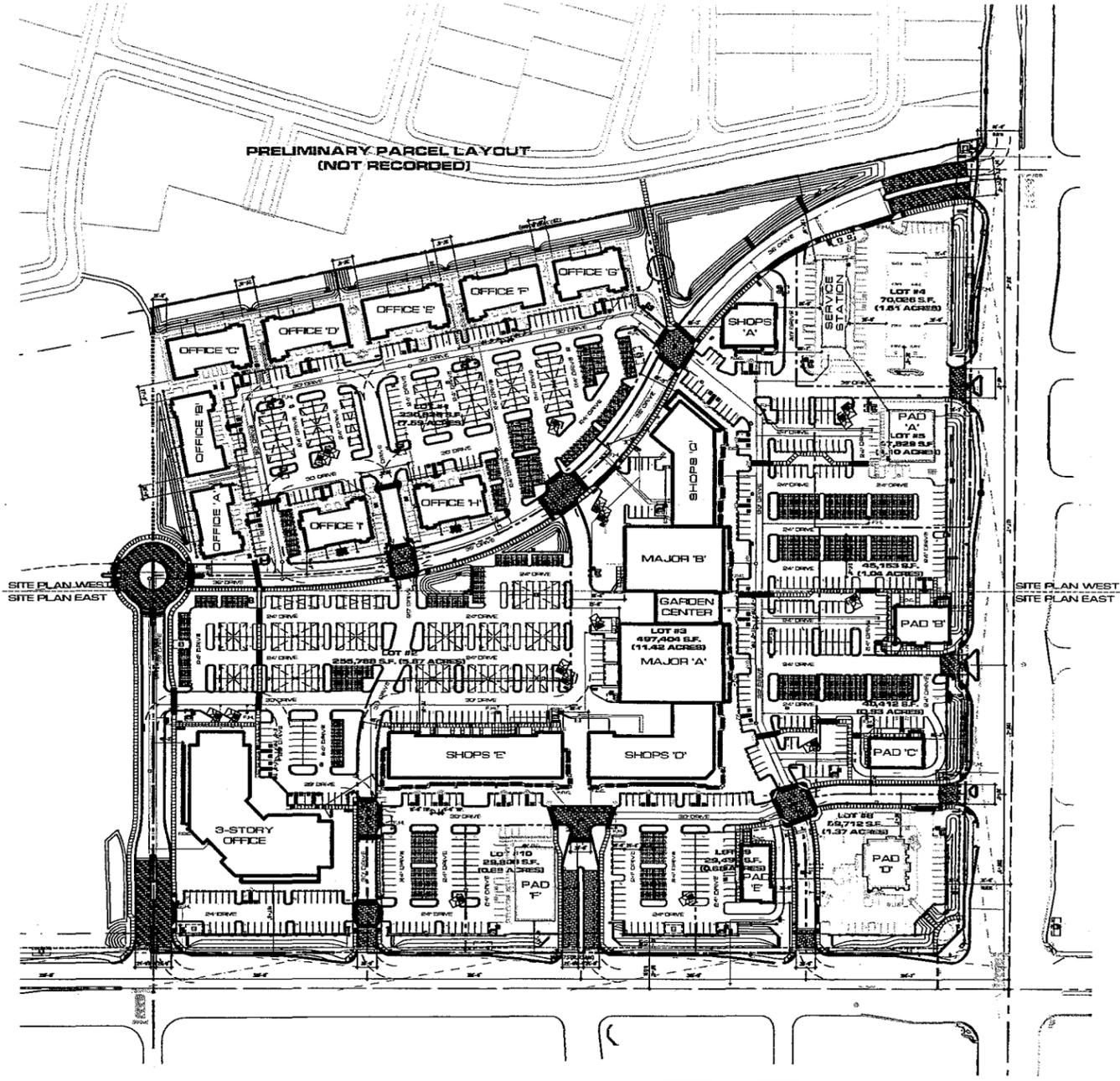
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CHAMPION
NEW RETAIL BLDG-PAD B
MARLEY PARK SQUARE
13983 WADDELL ROAD
SURPRISE, ARIZONA 85378



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**PRELIMINARY PARCEL LAYOUT
(NOT RECORDED)**

GENERAL NOTES

- AREAS PROVIDED ARE CALCULATED PER 1996 BUILDING OWNERS AND MANAGERS ASSOCIATION STANDARDS. THIS AREA IS COMPUTED BY MEASURING TO THE OUTSIDE FINISHED SURFACE OF PERMANENT OUTER BUILDING WALLS, WITHOUT ANY DEDUCTIONS.
- ALL PARKING IS UNDER A CROSS ACCESS AGREEMENT.
- ALL PROPOSED DEVELOPMENT PHASES DEPICTED ON THIS SITE PLAN SHALL BE PROVIDED A MINIMUM OF TWO (2) SEPARATE POINTS OF UNOBSTRUCTED ACCESS WITH A MINIMUM WIDTH OF TWENTY FEET AND CAPABLE OF SUPPORTING 75,000 POUNDS IN ALL WEATHER CONDITIONS, INSTALLED AND MAINTAINED PURSUANT TO THE REQUIREMENTS OF THE CITY OF SURPRISE.
- ALL SIGNS AND CENTER LINE ELEMENTS APPROVED THROUGH SEPARATE REVIEW.
- ALL SCREEN WALLS TO BE A MAXIMUM HEIGHT OF 3'-0".
- ALL ACCESS ROADS AND ALL TURNING RADII, INCLUDING PARKING AISLE ISLANDS SHALL COMPLY WITH REQUIREMENTS OF WB-50.
- ALL ACCESS WAYS INTO THE CONSTRUCTION SITE SHALL HAVE THE REQUIRED FIRE DEPARTMENT ACCESS SIGNAGE INSTALLED UNTIL THE ROADS OR THE ACCESS INTO THE AREA IS HARD SURFACED.
- THREE POINTS OF ACCESS, 26 FEET WIDE, ONE WITHIN A MIN. 15 FEET AND A MAX OF 30 FEET FROM BUILDINGS IN EXCESS OF 30 FEET IN HEIGHT POSITIONED PARALLEL TO THE ENTIRE MAIN ENTRANCE SIDE OF THE BUILDING AS REQUIRED BY INTERNATIONAL FIRE CODE APPENDIX D105.
- FIRE ACCESS ROUTES SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE EXTERIOR WALLS AND WITHIN 150 FEET TO THE CENTER OF THE FURTHEST ROOMS ON THE SECOND LEVEL AS MEASURED ALONG NORMAL PEDESTRIAN ROUTES.
- ALL FIRE ACCESS LANES SHALL BE IDENTIFIED BY FIRE LANE SIGNS AND/OR FIRE LANE STRIPING PER THE CITY OF SURPRISE FIRE DEPARTMENT EMERGENCY ACCESS GUIDELINES.



OVERALL SITE PARKING DATA

ACCESSIBLE PARKING PROVIDED	82 SPACES
ACCESSIBLE PARKING REQUIRED	28 SPACES
REGULAR PARKING PROVIDED	856 SPACES
COMPACT SPACES PROVIDED	347 SPACES
COMPACT SPACES ALLOWED (30%)	352 SPACES
TOTAL PARKING PROVIDED	1,263 SPACES
TOTAL PARKING REQUIRED	1,108 SPACES
PARKING RATIO	4.94 / 1,000
TOTAL COVERED PARKING PROVIDED	288 SPACES

3 STORY OFFICE PARKING DATA

REGULAR PARKING PROVIDED	231 SPACES
REGULAR PARKING REQUIRED	248 SPACES
ACCESSIBLE PARKING PROVIDED	10 SPACES
ACCESSIBLE PARKING REQUIRED	8 SPACES
COMPACT SPACES PROVIDED	71 SPACES
COMPACT SPACES ALLOWED (30%)	74 SPACES
PARKING RATIO (BASED ON U.F.A. OF 75,000 S.F.)	4.73 / 1,000
TOTAL PARKING SPACES PROVIDED	312 SPACES
COVERED PARKING PROVIDED:	126 SPACES

RETAIL PARKING DATA (INCLUDES PADS)

REGULAR PARKING PROVIDED	437 SPACES
REGULAR PARKING REQUIRED	646 SPACES
ACCESSIBLE PARKING PROVIDED	36 SPACES
ACCESSIBLE PARKING REQUIRED	13 SPACES
COMPACT SPACES PROVIDED	192 SPACES
COMPACT SPACES ALLOWED (30%)	192 SPACES
PARKING RATIO	4.64 / 1,000
TOTAL PARKING SPACES PROVIDED	665 SPACES
COVERED PARKING PROVIDED:	14 SPACES

GARDEN OFFICE PARKING DATA

REGULAR PARKING PROVIDED	168 SPACES
REGULAR PARKING REQUIRED	214 SPACES
ACCESSIBLE PARKING PROVIDED	16 SPACES
ACCESSIBLE PARKING REQUIRED	7 SPACES
COMPACT SPACES PROVIDED	84 SPACES
COMPACT SPACES ALLOWED (30%)	86 SPACES
PARKING RATIO	5.58 / 1,000
TOTAL PARKING SPACES PROVIDED	288 SPACES
COVERED PARKING PROVIDED:	88 SPACES

OWNER/DEVELOPER

MP PARK SQUARE L.L.P.
 10450 NORTH 74TH STREET, SUITE 100
 SCOTTSDALE, ARIZONA 85258
 MICHAEL WECHSLER
 480.751.5197

LEGEND

- REPRESENTS COVERED PARKING SPACES
- REPRESENTS 8'-0" WIDE COMPACT SPACES

OVERALL BUILDING AREA

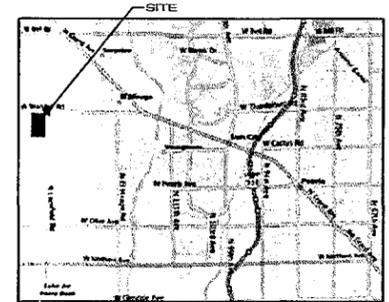
SITE AREA	1,406,243 S.F. (32.28 ACRES)
TOTAL BUILDING AREA	278,162 S.F.

RETAIL BUILDING AREA

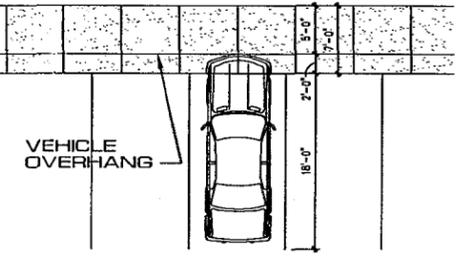
SERVICE STATION	5,544 S.F.
PAD A	5,500 S.F.
PAD B	5,385 S.F.
PAD C	3,946 S.F.
PAD D	4,479 S.F.
PAD E	4,187 S.F.
PAD F	7,000 S.F.
SHOP A	5,170 S.F.
SHOP B	12,535 S.F.
MAJOR B	15,242 S.F.
GARDEN CENTER	5,000 S.F.
MAJOR A	19,248 S.F.
SHOP C	16,180 S.F.
SHOP E	18,000 S.F.
TOTAL	127,426 S.F.

OFFICE BUILDING AREA

GARDEN OFFICE A	6,132 S.F.
GARDEN OFFICE B	7,170 S.F.
GARDEN OFFICE C	7,170 S.F.
GARDEN OFFICE D	9,194 S.F.
GARDEN OFFICE E	9,194 S.F.
GARDEN OFFICE F	7,170 S.F.
GARDEN OFFICE G	6,132 S.F.
GARDEN OFFICE H	6,132 S.F.
GARDEN OFFICE I	6,132 S.F.
3-STORY OFFICE	86,310 S.F.
TOTAL	150,738 S.F.



VICINITY MAP



S/W @ PARKING STALL

TAC # SP06-374

CHAMPION

MARLEY PARK SQUARE
 S/W LITCHFIELD AND WADDELL
 SURPRISE, ARIZONA 85379

dpa
 DESIGNERS OF
 PROGRESSIVE
 ARCHITECTURE
 7272 N. Indian School Rd. #214
 Scottsdale, Arizona 85251
 telephone 480.941.4822
 www.zpsarchitects.com

drawn by: bsp
 project no: 06077
 date: 7 January 2008





NORTH ELEVATION



NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION

**CITY OF SURPRISE
COMMUNITY DEVELOPMENT DEPARTMENT**

SP08-046

**Site Plan
for:**

Quik Trip at Marley Park Square

PLANNING AND ZONING COMMISSION

Hearing Date: August 5, 2008

STAFF:	Dennis Dorch, 623.222.3134
LOCATION:	Generally on the southwest corner of Litchfield Road and Waddell Road.
DESCRIPTION OF THE REQUEST:	Approval of a Site Plan.
SUMMARY ANALYSIS:	The applicant is requesting Site Plan approval.

SUGGESTED MOTION:	I move to approve SP08-046, a Site Plan for Quik Trip at Marley Park Square, and to adopt staff's findings and stipulations 'a' and 'b.'
--------------------------	---

City of Surprise
Planning and Zoning Division

EXECUTIVE SUMMARY

SP08-046
Quik Trip at Marley Park Square

APPLICANT:	Chris Kyro Quik Trip Corporation 1116 E. Broadway Rd. Tempe, AZ 85285 P: 480-446-6322 F: 918-615-7401 Ckyro@quiktrip.com
OWNER:	Rick Lyons Marley Park Square, LLC. 10450 N. 74 St. #100 Scottsdale, AZ 85250 P: 480-922-9212 F: 480-922-9213
HEARING DATE:	August 5, 2008
STAFF:	Dennis Dorch
LOCATION:	Generally on the southwest corner of Litchfield Road and Waddell Road.
DESCRIPTION of the REQUEST:	Approval of a Site Plan.
STAFF RECOMMENDATION:	Approval
SUMMARY ANALYSIS:	The proposed use of a gasoline station and convenience market is consistent with the Marley Park PAD .

HISTORY

1. On October 25, 2000, the City Council approved the Marley Park Planned Area Development.
2. On April 17, 2007, the Planning and Zoning Commission approved the Marley Park Plaza master site plan (SP06-374).
3. The applicants submitted the subject site plan application on February 20, 2008.

STAFF ANALYSIS**Proposal:**

The applicant is requesting approval of a site plan to develop a convenience grocery store with gasoline on Waddell Road, west of Litchfield Road within the Marley Park Square project. The project will feature a new 5100-square-foot retail convenience grocery store oriented towards Waddell Road with 10 gasoline dispensing pumps and a canopy in front of the store.

It should be noted that in a typical neighborhood commercial zone, a gasoline service station/convenience market would require a Conditional Use Permit. However, the Marley Park PAD lists this use as "permitted", eliminating the need for a Conditional Use Permit.

Circulation:

Access to the site will be primarily from Waddell Road to the north. The site will be easily accessed from other projects within the Marley Park Square by both vehicular and pedestrian connections.

Architecture:

The design of the Quik Trip combines corporate identity with the established commercial and residential character found in Marley Park. Architecturally, the building reflects some elements of the Craftsman period along with a hint of Spanish Colonial architecture. Similar to other Marley Park projects, the colors and forms conform to the established neighborhood character, but still display distinct building identities.

Materials:

Unique to this Quik Trip is the deviation of materials from the corporate standard to common building materials found in Marley Park. Building and canopy wall materials consist of an exterior finish system that resembles stucco and accent brick. Wall details include the use of brick based pilasters and trim elements that differentiate changes in color or material. Lattice screens are used to enhance the horizontal movement in the walls and provide some depth and relief to the elevations. Similarly, a red banding wraps around the building, while a heavily detailed cornice caps the roof parapets and building pilasters. The roof profile of both structures are comprised primarily of parapets, while a clay tile roof has been added over the store's main entrance enabling it to visually connect with the existing residential neighborhood.

Urban Design:

The applicant was accommodating in terms of modifying building colors, roof profiles and materials where architecturally appropriate. Superior urban design qualities evident in this structure are the execution of four sided architecture on the building and the continuing use of brick on the canopy bases. In addition, blending in with the existing community as opposed to imposing a strong corporate identity, contributes to the character of shopping center and continues to adhere to the overall design guidelines set forth in the previously approved Marley Park Square master site plan.

Landscape: The landscape design is consistent with the landscaping approved on the Marley Park Square master site plan.

Departmental Review:

All departments have recommended approval of the project subject to all stipulations.

Traffic Division: No Comments.

Fire Department: The Fire Department initially submitted comments on hydrant and Fire Department Connection locations, as well as fire flow requirements. These comments have been addressed.

Planning Division: The Planning Division had minor comments on the architecture and landscape plans. These were addressed by the applicant. The project is consistent with the approved Marley Park Plaza master site plan.

Building Safety Division: The Building Safety Division provided standard comments.

Water Services Department: The Water Services Department provided standard comments.

Engineering Department: The Engineering Department had no comments.

FINDINGS

1. Staff finds that the proposed Site Plan complies with Section 125-33 Procedures for site plan approval of the Surprise Municipal Code.

STIPULATIONS

REQUIRED ACTIONS. The applicant and/or owner shall comply with the following stipulations of Case SP08-046, Quik Trip at Marley Park Square.

- a. All parcel numbers shall be active prior to submittal of any building permit and shall stay active throughout the construction process until a Letter of Compliance and/or Certificate of Occupancy is issued. Any subdivision or lot split shall be reviewed and approved by the City of Surprise prior to recordation with Maricopa County.
- b. Applicant shall provide the International Building Code Occupancy Type prior to, or concurrent with, submittal of Building Permit application.

Vicinity Map





DEPARTMENT OF THE AIR FORCE
AIR EDUCATION AND TRAINING COMMAND

4 March 2008

Mr. James R. Mitchell
Director, Community Initiatives Team
56th Fighter Wing
14185 West Falcon Street
Luke AFB AZ 85309-1629

Ms. Carol Dager
City of Surprise Planning Department
12425 West Bell Road
Surprise AZ 85374

Re: Case #SP08-046 Quik Trip #466

Dear Ms. Dager

Thank you for the opportunity to provide comments on the Site Plan Application for the Quik Trip #466 facility. Quik Trip will be located on 1.61 gross acres west of the southwest corner of Litchfield and Waddell Roads at 14057 West Waddell Road. Plans call for the construction of a 5,544 square foot convenience store with a 9,879 square foot fueling canopy. The site is inside the 1988 JLUS 65 Ldn, "high noise or accident potential zone," as defined by .R.S. § 28-8461 and is within the "territory in the vicinity of a military airport," also defined by A.R.S. § 28-8461.

As described, this Quik Trip facility will not negatively impact the flying operations at Luke AFB. Since this site is located within the "territory in the vicinity of a military airport," it will be subjected to noise from approximately 165 over flights a day, with some as low as 1,500 feet above ground level. We recommend you review the sound attenuation requirements found in A.R.S. § 28-8482. In addition, a strong notification program on the part of the applicant is essential to inform the tenant about Luke AFB operations. We also recommend a review of the Luke AFB web site at <http://www.luke.af.mil>, Community Interests and Community Initiatives links, for further information.

If there are any questions, please contact my Community Planner, Mr. Bob Dubsy, at (623) 856-6195.

Sincerely

A handwritten signature in black ink, appearing to read "JRM", is written over a horizontal line.

JAMES R. MITCHELL

cc:

Colonel Henry M. Reed III, Vice Commander, 56th Fighter Wing



Arizona Department of Transportation
Intermodal Transportation Division

206 South Seventeenth Avenue Phoenix, Arizona 85007-3213

Janet Napolitano
Governor

Victor M. Mendez
Director

Sam Elters
State Engineer

April 16, 2008

Ms. Carol Dager
City of Surprise Planning Department
12425 West Bell Road, Suite D-100
Surprise, Arizona 85374

RE: **Quiktrip #466**/ SP08-046/ 14057 W. Waddell Road

Dear Ms. Dager:

Thank you for your notification regarding the Site Plan on the above referenced subject. After a complete review, we have concurred that at this time the proposed project will not have impact on our highway facilities in this area.

ADOT does reserve the right to review and comment on all development plans for this site as to any impact they may have on the State Highway System.

Should you have any questions please feel free to contact me at 602-712-8876, or in writing at 205 S. 17th Avenue, Right of Way Project Management Section MD 612E, Phoenix, Arizona 85007. Thanking you in advance for your cooperation.

Sincerely,

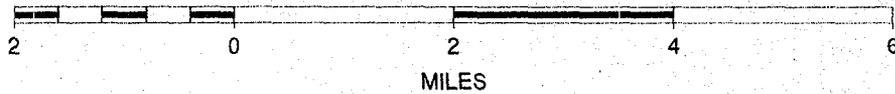
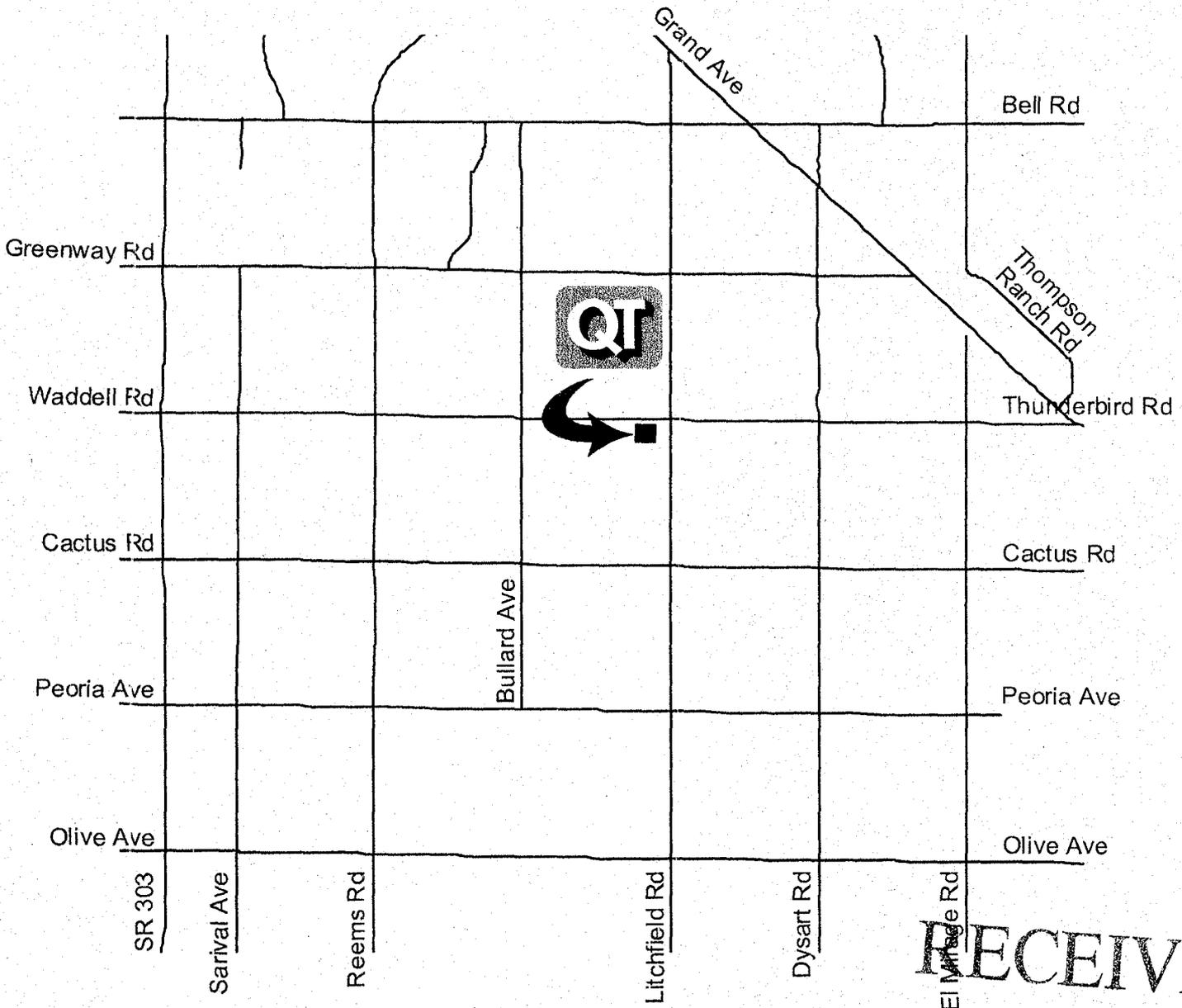
Annette Close
Administrative Assistant III
Right of Way Project Management
aclose@azdot.gov



QuikTrip 466

14057 West Waddell Road

VICINITY MAP



RECEIVED

JUL 09 2008

COMMUNITY
DEVELOPMENT



TECHNICAL ADVISORY COMMITTEE PROJECT NARRATIVE

Proposed QuikTrip #466 14057 West Waddell Surprise, Arizona

1. Project Description

QuikTrip Corporation is under contract to purchase approximately 1.81 ± acres of vacant property along Waddell Road, west of Litchfield Road in Surprise, Arizona. QuikTrip proposes to develop a convenience grocery store with gasoline on the property. The development of this site will generally be consistent with the design and architecture of other QuikTrip facilities throughout the Phoenix Valley, but will be modified as appropriate for this location to be in conformance with the overall design of the Marley Park Square.

2. Location

The property is located west of the southwest corner of Waddell Road and Litchfield Road in Surprise, Arizona. The property consists of a portion of the parcel having current Maricopa County Assessor's parcel number 501-39-008C.

3. Site Use

The property is currently zoned PAD, per the Marley Park 160 PAD Amendment, for the city of Surprise. The entire property is currently vacant.

The proposed QuikTrip development will include construction of a new 5100 +/- square foot retail convenience grocery store oriented towards Waddell Road with 10 gasoline dispensing pumps and a canopy in front of the store. The parking lot will consist entirely of concrete pavement, and the entire development will be extensively landscaped.

4. Uses Adjacent to the Site

All property surrounding the site and across Waddell and Litchfield Roads is zoned PAD.

The property surrounding the site to the South and to the East is currently vacant, but will be developed commercially as part of the Marley Park Square project. The property to the West of the site is vacant, but has proposed residential. To the North, across Waddell, there is commercial use, and just to the Northwest, is residential.

5. Occupancy

Currently the property is vacant. The proposed QuikTrip facility will be operated 24 hours a day, 7 days a week and be occupied by a minimum of two employees at all times.

6. Summary

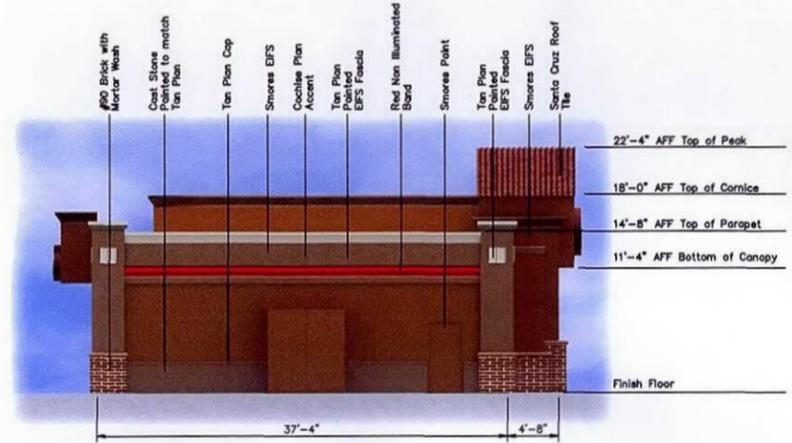
QuikTrip believes the proposed development will bring a new and aesthetically pleasing facility to the vacant property along a major thoroughfare in a developing area of Surprise, and provide much needed fueling to the surrounding area in Surprise.

Our project team will consist of the following:

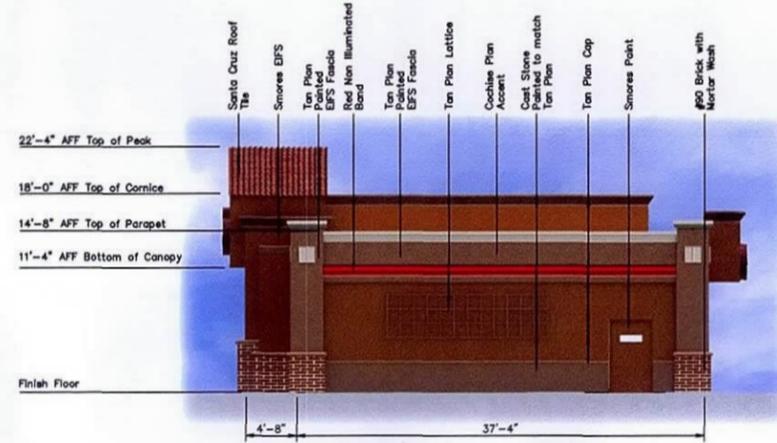
<u>Developer</u> QuikTrip Corporation Attn: Jarod Mendez, Real Estate Project Manager 1116 E. Broadway Road Tempe, AZ 85282 (602) 369-8933 (918) 615-7030 – fax	<u>Architect</u> KDR/JMS Architects Attn: Kim Filuk 4001 N. 3 rd St., Suite 130 Phoenix, AZ 85012 (602) 234-1868 (602) 234-1413
<u>Civil Engineer</u> Norman Engineering Attn: Ken Zell 7330 N. 16th Street Suite A200 Phoenix, AZ 85020 (602) 371-0397 (602) 861-3473 – fax	<u>Landscape Architect</u> Waibel & Associates Attn: Janet Waibel 1013 E. Buena Vista Drive Tempe, AZ 85282 (480) 893-3849 (480) 893-3846 – fax



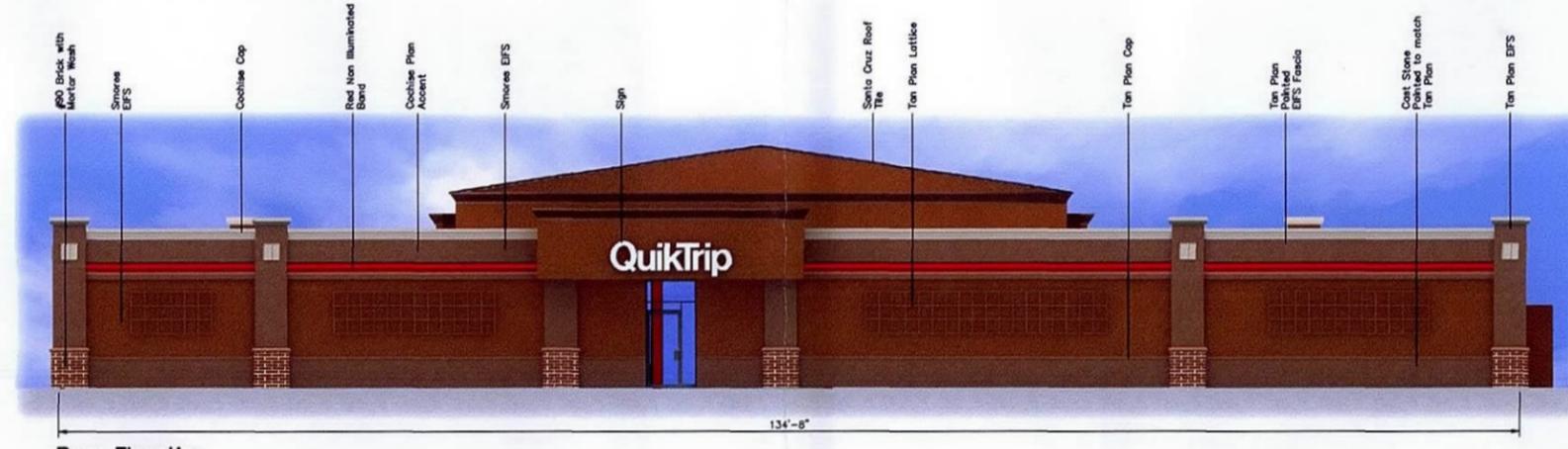
Front Elevation



Left Elevation



Right Elevation



Rear Elevation



QuikTrip.
 4705 South 129th East Ave.
 Tulsa, OK 74134-7008
 P.O. Box 3475
 Tulsa, OK 74101-3475
 (918) 615-7700

Building Elevations

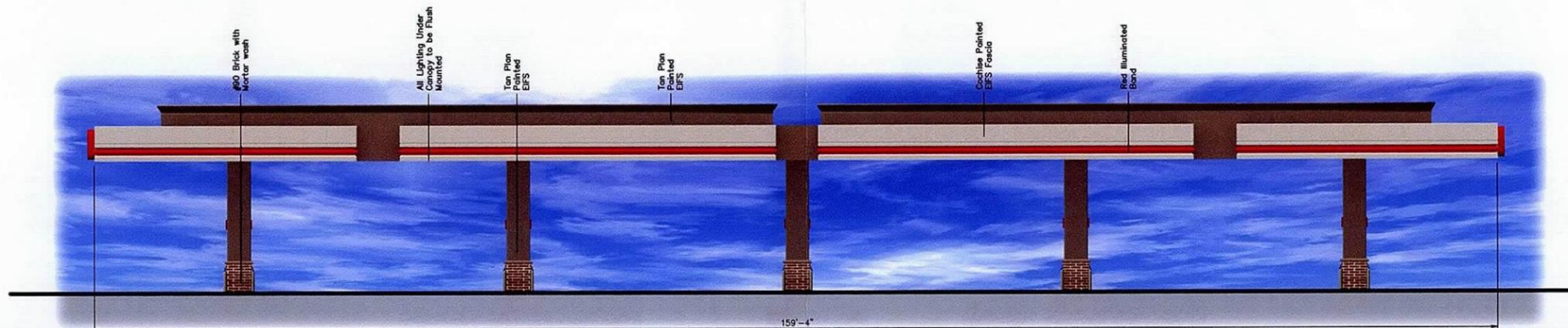
QuikTrip Store No. :466

Litchfield Rd and Waddell Rd

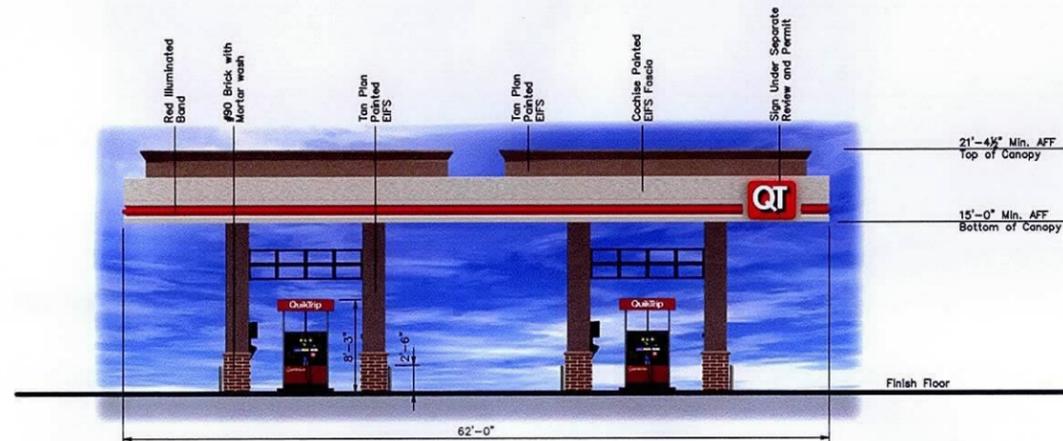
Surprise, AZ

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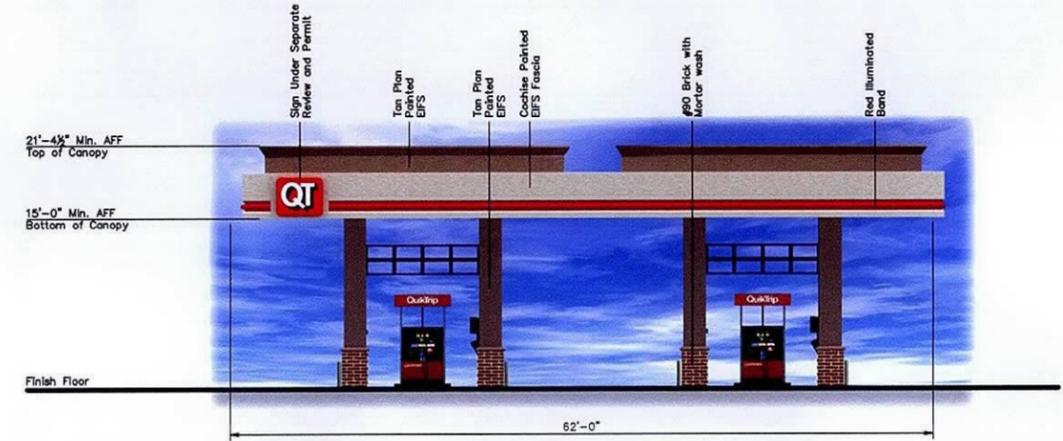
Presentation Exhibit PHX 5000 Store	
STORE NO.: 466	SHEET 1 OF 1
SCALE: 1/18" = 1'-0"	
DRAWN BY: JCK	
ISSUE DATE: 07/09/08	
SERIAL NUMBER: 0466BEL00-14	



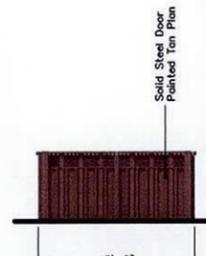
Front Elevation



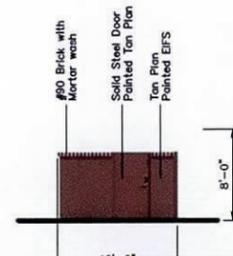
Left Elevation



Right Elevation



Trash Enclosure Front



Trash Enclosure Side



QuikTrip
 4705 South 129th East Ave.
 Tulsa, OK 74134-7008
 P.O. Box 3475
 Tulsa, OK 74101-3475
 (918) 615-7700

Gas Canopy Elevations

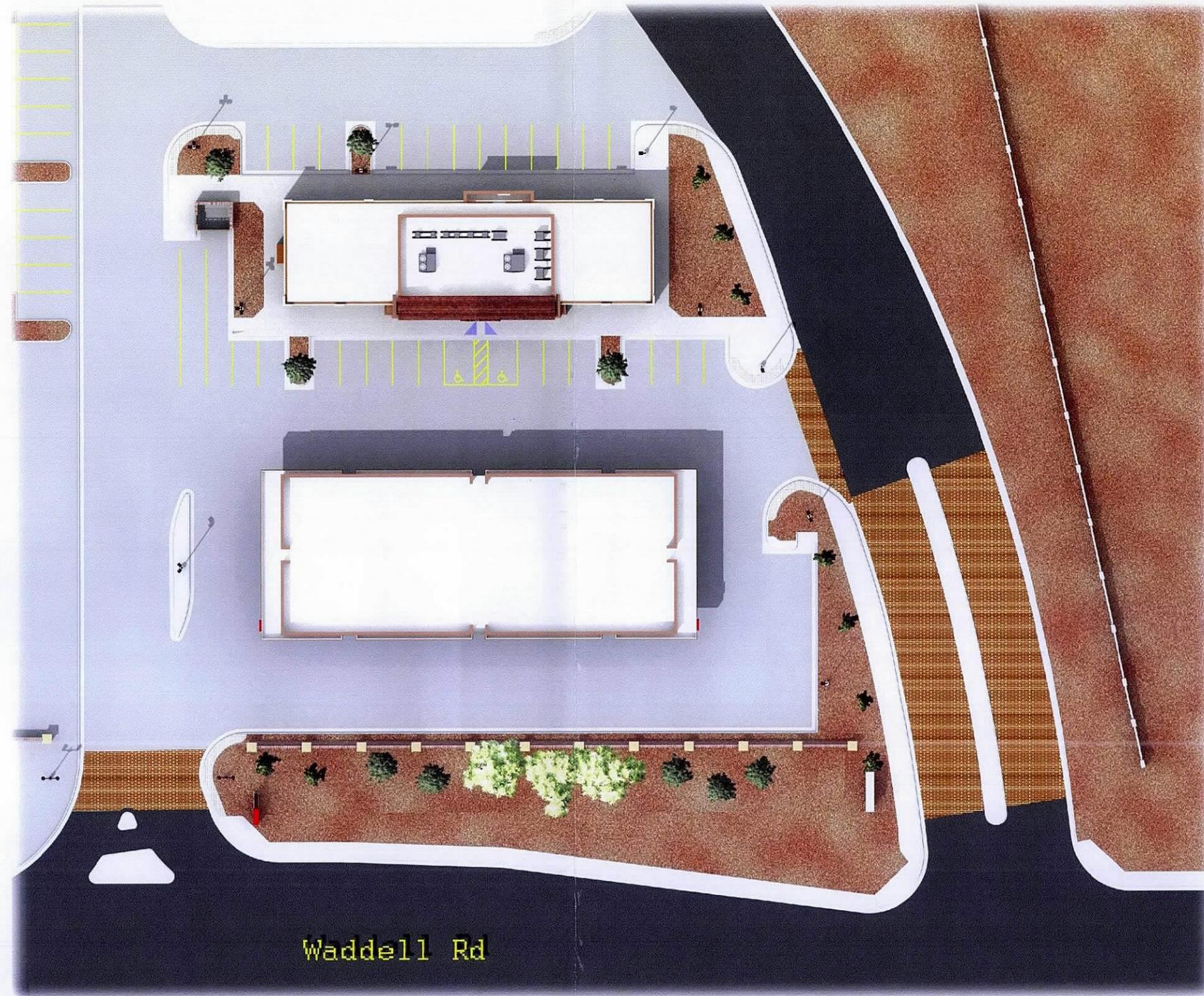
QuikTrip Store No. :466

Litchfield Rd and Waddell Rd

Suprise, AZ

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Presentation Exhibit PHX DS10 Gas Canopy		1
STORE NO.:	466	
SCALE:	1/16" = 1'-0"	
DRAWN BY:	JCK	
ISSUE DATE:	07/09/08	
SERIAL NUMBER:	0466GEL00-07	OF 1



Waddell Rd



QuikTrip.
 4705 South 129th East Ave.
 Tulsa, OK 74134-7008
 P.O. Box 3475
 Tulsa, OK 74101-3475
 (918) 615-7700

Site Plan

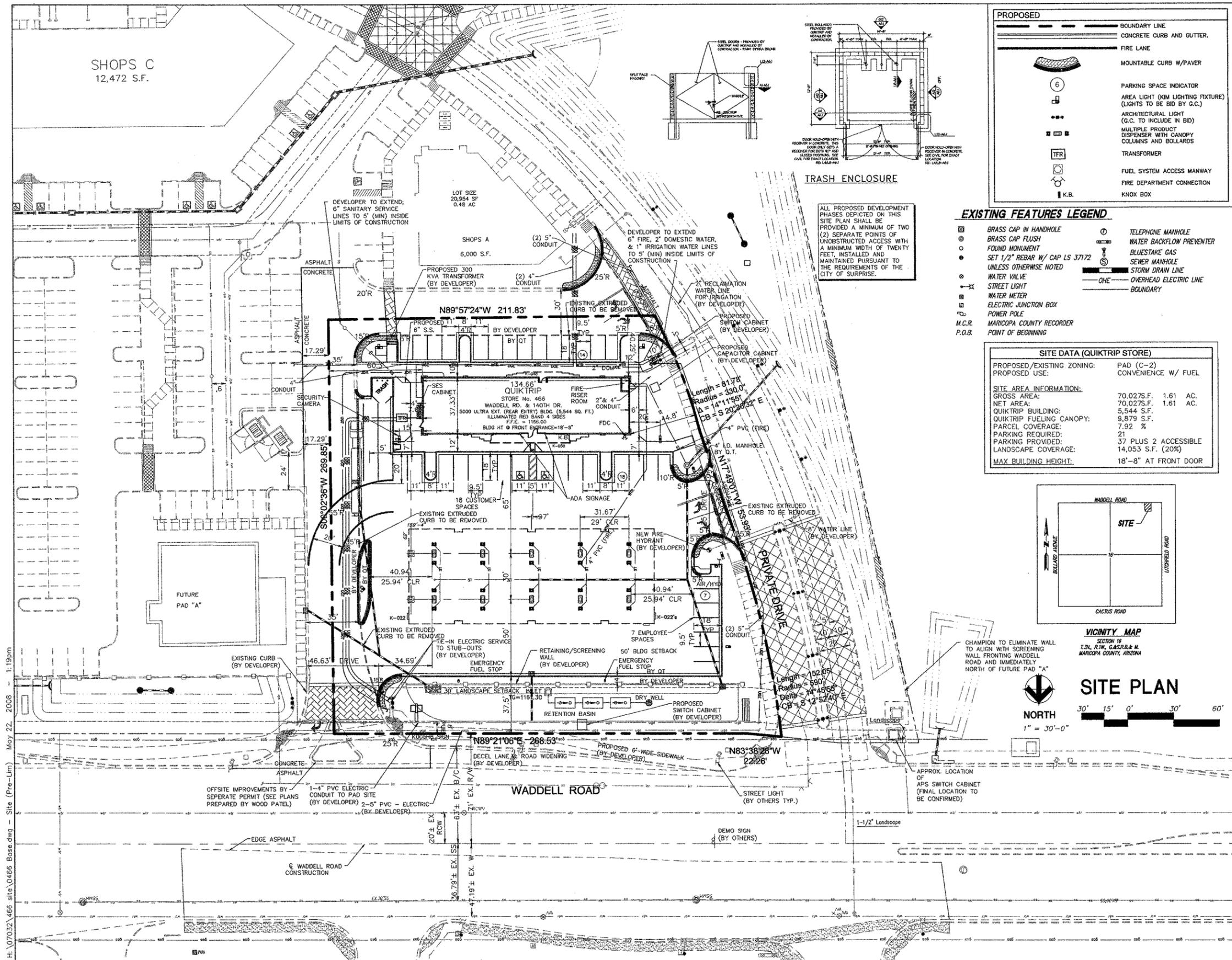
QuikTrip Store No. :466

Litchfield Rd and Waddell Rd

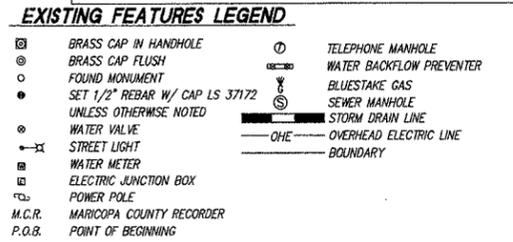
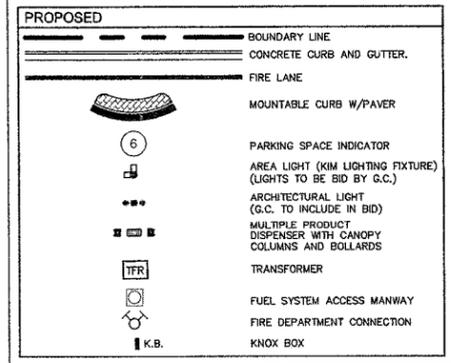
Surprise, AZ

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Presentation Exhibit 5000 QuikTrip Store	
STORE NO.:	466
SCALE:	NTS
DRAWN BY:	JRH
ISSUE DATE:	07/09/08
SERIAL NUMBER:	0466SLP00-01
SHEET	1
OF	1

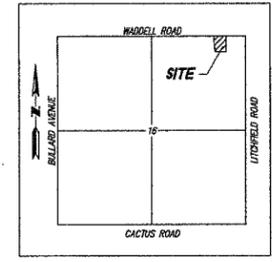


H:\07032\466 site\0466 Base.dwg - Site (Pre-Lim) May 22, 2008 1:19pm



SITE DATA (QUIKTRIP STORE)

PROPOSED/EXISTING ZONING:	PAD (C-2)
PROPOSED USE:	CONVENIENCE W/ FUEL
SITE AREA INFORMATION:	
GROSS AREA:	70,027.5 F. 1.61 AC.
NET AREA:	70,027.5 F. 1.61 AC.
QUIKTRIP BUILDING:	5,544 S.F.
QUIKTRIP FUELING CANOPY:	9,879 S.F.
PARCEL COVERAGE:	7.92 %
PARKING REQUIRED:	21
PARKING PROVIDED:	37 PLUS 2 ACCESSIBLE
LANDSCAPE COVERAGE:	14,053 S.F. (20%)
MAX BUILDING HEIGHT:	18'-8" AT FRONT DOOR



CHAMPION TO ELIMINATE WALL TO ALIGN WITH SCREENING WALL FRONTING WADDELL ROAD AND IMMEDIATELY NORTH OF FUTURE PAD "A"

APPROX. LOCATION OF APS SWITCH CABINET (FINAL LOCATION TO BE CONFIRMED)



GENERAL CONSTRUCTION NOTES

PROJECT DESCRIPTION
CONSTRUCTION OF A CONVENIENCE STORE WITH GASOLINE TO ACCOMMODATE 10 FUEL DISPENSERS

PROJECT MANAGER
Chris Kyro - QuikTrip Corporation
1116 E. Broadway Rd.
Tempe, AZ 85282
PHONE (480) 446-6337
FAX (480) 921-1927

CONSTRUCTION TYPE
TYPE V-B

NOTE
ALL PROPOSED DEVELOPEMENT PHASES DEPICTED ON THIS SITE PLAN SHALL BE PROVIDED A MINIMUM OF TWO (2) SEPARATE POINTS OF UNOBSTRUCTED ACCESS WITH A MINIMUM WIDTH OF TWENTY FEET, INSTALLED AND MAINTAINED PURSUANT TO THE REQUIREMENTS OF THE CITY OF SURPRISE.

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No.	Revision	Date

4001 N. Third St. Suite 130
Phoenix, AZ 85012
0 602-234-1868
1 602-234-1413

KDF/JMS Architects, LLC
John Smates Architects, LLC
KDF Project No. 07038

EXPIRES 12/31/08

PRELIMINARY SITE PLAN

DRAWN BY: RHW	SHEET
DESIGNED BY: JCP	1
CHECKED BY: JCP	
ISSUE DATE: 1/09/08	
	OF 3

SURPRISE, ARIZONA
14057 W WADDELL RD
QuikTrip Store No. : 466
SP08-046



QuikTrip.
 4705 South 129th East Ave.
 Tulsa, OK 74134-7008
 P.O. Box 3475
 Tulsa, OK 74101-3475
 (918) 615-7700

Perspective

QuikTrip Store No. :466

Litchfield Rd and Waddell Rd Surprise, AZ

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Presentation Exhibit 4800 QuikTrip Store	
STORE NO.:	466
SCALE:	1/16" = 1'-0"
DRAWN BY:	JCK
ISSUE DATE:	07/09/08
SERIAL NUMBER:	0486SPE09-02
SHEET	1
OF	1

**CITY OF SURPRISE
COMMUNITY DEVELOPMENT DEPARTMENT**

CUP08-082

**Conditional Use Permit
for:**

Pad E at Marley Park Square

PLANNING AND ZONING COMMISSION

Hearing Date: August 5, 2008

STAFF:

Dennis Dorch, 623.222.3134

LOCATION:

Generally on the southwest corner of Litchfield Road and Waddell Road.

**DESCRIPTION OF
THE REQUEST:**

Approval of a Conditional Use Permit.

SUMMARY ANALYSIS:

The applicant is requesting Conditional Use Permit approval for a 4,213-square-foot building with a drive-through.

SUGGESTED MOTION:

I move to approve CUP08-082, a Conditional Use Permit for Pad E at Marley Park Square, and to adopt staff's findings and stipulations 'a' and 'b.'

City of Surprise
Planning and Zoning Division

EXECUTIVE SUMMARY

CUP08-082
PAD E at Marley Park Square

APPLICANT:	John Szafran Yvette Nelson DPA Architects, Inc. 7272 E. Indian School Rd. Scottsdale, AZ P: 480-941-4222 F: 480-941-3888 Ynelson@DPAarchitects.com
OWNER:	Michael Wechsler MP Park Square, LLP. 10450 N. 74 St. #100 Scottsdale, AZ 85250 P: 480-751-5197 F: 480-922-9213
HEARING DATE:	August 5, 2008
STAFF:	Dennis Dorch
LOCATION:	Generally on the southwest corner of Litchfield Road and Waddell Road.
DESCRIPTION of the REQUEST:	Approval of a Conditional Use Permit.
STAFF RECOMMENDATION:	Approval
SUMMARY ANALYSIS:	The proposed retail building is consistent with the previously approved Marley Park PAD and Marley Park Square Master Site Plan.

HISTORY

1. On October 25, 2000, the City Council approved the Marley Park Planned Area Development.
2. On April 17, 2007, the Planning and Zoning Commission approved the Marley Park Square master site plan (SP06-374).
3. The applicants submitted the subject site plan application on April 1, 2008.

STAFF ANALYSIS

Proposal:

The applicant is requesting approval of a Conditional Use Permit to allow the construction of a 4,213-square-foot retail building on Litchfield Road, east of Waddell Road within the Marley Park Square project. The project will accommodate a coffee vendor with a drive-through, as well as other retail uses. The retail users are unknown at this time.

The project requires a conditional use permit due to the inclusion of the drive-through feature. There is adequate stacking for the driveway and the speaker box is far removed from any residential uses. There are no special stipulations required for this project.

Circulation:

Access to the site will be primarily from Litchfield Road to the east. There is a driveway access point (right in, right out only) to the immediate north of the project site. The site will be easily accessed from other projects within the Marley Park Square by both vehicular and pedestrian connections.

Architecture:

The architecture of Retail Pads B, C, and E of Marley Park Square reflect the diverse architectural themes set forth in the approved Marley Park PAD. Evident in the design is the eclectic mix of contemporary and traditional styles that incorporate elements of both Craftsman and Spanish Colonial architecture. Building form, detail and color combined with architectural character, provide the buildings with cohesive design qualities found in the vernacular of the existing Marley Park residential neighborhood.

Materials:

Common to other retail buildings in Surprise, each building's material is primarily comprised of an exterior finish system that resembles stucco. Detailing along the stucco walls consist of recesses and stucco scoring. These details provide depth and interest along the building envelope. Similar to other Marley Park buildings, the stucco has been accentuated with brick at the base of select pilasters. Brick has been applied to "porch" columns as well. The roof profiles consist of heavily detailed stucco parapets and clay tile roofing. Clay tile is also used as roofing material for the covered walkway, which provides shade and visual relief to the building elevations.

ITEM 6

Contemporary elements and materials include the use of landscaped green screens, as well as using metal for lattice and trellis work. Spanish Colonial details are incorporated into the design through the use of iron embellishments, classical arches and heavy timber brackets. In contrast, Craftsman details appear in the form of slightly curved arches, exposed rafter tails, lattice motifs, trellis work and double wood posts mounted on simulated stone column bases. In addition, lantern inspired decorative lighting continues the overall theme and conveys architectural relevance.

Urban Design:

Due to the prominent location of these buildings along two major arterials, maintaining proper street frontage is essential in establishing neighborhood character and an attractive view corridor. Notable urban design features of this site consist of incorporating four-sided architecture and continuing the village theme of the adjacent residential community. The applicant has continued to maintain good street frontage through building orientation and has continued to adhere to the overall design guidelines set forth in the previously approved Marley Park Square master site plan.

Landscape: The landscape design is consistent with the landscaping approved on the Marley Park Square master site plan.

Departmental Review:

All departments have recommended approval of the project subject to all stipulations.

Traffic Division: No comments.

Fire Department: The Fire Department initially submitted comments on hydrant and Fire Department connection locations, as well as fire flow requirements. These comments have been addressed.

Planning Division: The Planning Division had minor comments on the architecture and landscape plans, which were addressed. The project is consistent with the approved Marley Park Plaza master site plan.

Building Safety Division: The Building Safety Division provided standard comments.

Water Services Department: The Water Services Department provided standard comments.

Engineering Department: The Engineering Department had no comments.

FINDINGS

1. Staff finds that the proposed Conditional Use Permit for a restaurant with a drive-through does comply with the intent of the approved Waddell Property-Marley Park Planned Area Development case PAD00-091.
 - **The PAD provides for general/neighborhood commercial uses at the project site. The proposed project is consistent with the list of commercial uses.**

2. Staff finds that the proposed use is consistent with the policies, objectives, and land use map of the Surprise General Plan and is consistent with the purpose of the zoning district in which the site is located.
 - **The Marley Park Planned Area Development was approved with a designated commercial land use on the subject corner. The General Plan 2020 land use map illustrates a low-density residential land use classification, which allows for commercial and residential uses.**

3. Staff finds that the proposed use will not be materially detrimental to the health, safety, or general welfare of persons residing or working within the neighborhood of the proposed use, or have an adverse effect on the property, adjacent properties, the surrounding neighborhood, or the city when consideration is given to the character and size of the use and hours of operation.
 - **The subject restaurant with drive-through is setback substantially from any future residential dwellings. Impacts on noise, smell, and lighting are found to be negligible.**

4. Staff finds that the proposed site is adequate in size and shape to accommodate the intended use and requirements are met for the PAD zoning district, including but not limited to: setbacks, walls, landscaping, and buffer yards;
 - **Staff found that all setbacks, landscaping requirements, walls, and buffers comply with the approved Marley Park Planned Area Development. The buildings fit appropriately within the parcel.**

5. Staff finds that the proposed site has adequate access to public streets and highways to carry the type and quantity of traffic which may be generated by the subject use, and that on-site circulation is adequate to permit driveways, parking, and loading requirements in a manner which is safe and efficient.
 - **There is existing access from Litchfield Road to the east and Waddell Road to the north. The Traffic Division has reviewed the Traffic Impact Analysis and is recommending approval of all ingress/egress points shown on the site plan. The adjacent arterials are designed to contain the traffic generated from the commercial site.**

6. Staff finds that the adequate conditions or stipulations have been incorporated into the approval of the conditional use permit to insure that any anticipated detrimental effects can be mitigated.
- **Stipulations have been added to this report. Staff is recommending the project for approval, subject to all the stipulations.**
7. Review of conditional use permits shall include, but not limited to, examination of the following factors, where applicable.
- a. Ingress and egress to property and proposed structures, pedestrian and vehicular circulation with particular reference to fire protection.
 - **The subject project has two points of immediate access from Litchfield Road and Waddell Road. Additional internal access can be utilized through the rest of the Marley Park Square master site.**
 - b. Off-street parking and loading.
 - **It was reviewed and found the project has enough parking to sustain the proposed use.**
 - c. Impact on public services, including schools, recreation, and utilities.
 - **The site is substantially setback from any residential dwelling. Impacts on noise, smell, and lighting were reviewed and found to be of minimal impact.**
 - d. Screening and buffering of uses.
 - **The site has adequate buffering and screening to minimize impacts to surrounding uses. Other commercial buildings, parking, and landscaping separate this site from the adjacent residential community.**
 - e. Signage
 - **Signage design and placement will be formally reviewed and approved at the time of building permit.**
 - f. Exterior lighting with reference to adjacent properties.
 - **Lighting was reviewed by staff. It was found that all foot-candles will be at zero along any adjacent residential or commercial property lines.**
 - g. Storm-water retention and landscaping.
 - **The Engineering Department reviewed the retention and drainage on the site and found it to be in compliance with the Surprise Municipal Code. The landscaping proposed meets the city's standards regarding species, quantity, placement, and size.**
 - h. Site and building design.
 - **It is of staff's opinion that the project is designed appropriately and is consistent with the Marley Park Planned Area Development and Planning and Design Guidelines.**

- i. Drainage or nuisance arising from noise, smoke, odor, dust, vibration, or illumination.
 - **The Engineering Department reviewed the retention and drainage on the site and found it to be in compliance with the Surprise Municipal Code. Environmental impacts were reviewed and shall be checked at the time of Certificate of Occupancy in reference to dust control.**
- j. Volume or character of traffic.
 - **A Traffic Impact Analysis was reviewed and approved by staff. It was found that the existing streets and proposed access will not negatively impact circulation. The surrounding streets are designed to handle the capacity generated from the proposed use.**

Granting of a conditional use permit:

No conditional use permit shall be given for a use that is not listed in Chapter 125 as a conditional use or is not deemed by the commission as equivalent to a listed conditional use in the particular district in which it is proposed to be located. The Planning and Zoning Commission may place any conditions which are deemed necessary to mitigate potential impacts and insure compatibility of the use with surrounding development and the city as a whole, and which are required to preserve the public health, safety, and general welfare. These conditions may include but are not limited to:

1. Requirements for setbacks, open space, buffers, fences or walls, and landscaping to mitigate conflicts from visual, noise, lighting, and similar impacts associated with the use.
 - a. **Setbacks, open space, buffers, fences/walls, and landscaping have all been reviewed and found to comply with the approved Marley Park Planned Area Development.**
2. Dedication of street or other public rights-of-way, and control in location of access points and on-site circulation to mitigate traffic impacts from increased volumes or nature of traffic activity associated with the use.
 - a. **Existing rights-of-way are adjacent and north of the subject parcel. No further rights-of-way are requested at this time.**
3. Regulations pertaining to hours of operation, methods of operation, and phasing of the development of the site to mitigate impacts to surrounding properties and neighborhoods.
 - a. **No specific conditions are necessary to mitigate impacts.**

The commission may grant the application by motion, imposing such conditions and safeguards as it deems necessary, or it may deny the application. If an application is denied, the denial shall constitute a finding that the applicant has not shown that the conditions required for approval exist.

STIPULATIONS

REQUIRED ACTIONS. The applicant and/or owner shall comply with the following stipulations of Case CUP08-082, Pad C at Marley Park Square.

- a. All parcel numbers shall be active prior to submittal of any building permit and shall stay active throughout the construction process until a Letter of Compliance and/or Certificate of Occupancy is issued. Any subdivision or lot split shall be reviewed and approved by the City of Surprise prior to recordation with Maricopa County.
- b. Applicant shall provide a revised site plan that demonstrates in the drive-through aisle a minimum of 60 feet of stacking space between the speaker/order box and the entrance to the drive-through aisle.

Vicinity Map





Arizona Department of Transportation

Intermodal Transportation Division

206 South Seventeenth Avenue Phoenix, Arizona 85007-3213

Janet Napolitano
Governor

Victor M. Mendez
Director

Sam Elters
State Engineer

May 8, 2008

Ms. Carol Dager
City of Surprise Planning Department
12425 West Bell Road, Suite D-100
Surprise, Arizona 85374

RE: **Marley Park Retail Pad E** / CUP08-082/ 13670 N. Litchfield Road

Dear Ms. Dager:

Thank you for your notification regarding the Use Permit on the above referenced subject. After a complete review, we have concurred that at this time the proposed project will not have impact on our highway facilities in this area.

ADOT does reserve the right to review and comment any further development plans, changes and or additions for this site, as to any impact they may have on the State Highway System.

Should you have any questions, you may contact me at 602-712-8876, or in writing at 205 S. 17th Avenue, Right of Way Project Management Section, MD 612E, Phoenix, Arizona 85007. Thanking you in advance for your cooperation.

Sincerely,

Annette Close
Administrative Assistant III/Red Letter Coordinator
Right of Way Project Management
aclose@azdot.gov



2001 Award Recipient



DEPARTMENT OF THE AIR FORCE
AIR EDUCATION AND TRAINING COMMAND

24 April 2008

Mr. James R. Mitchell
Director, Community Initiatives Team
56th Fighter Wing
14185 West Falcon Street
Luke AFB AZ 85309-1629

Ms. Carol Dager
City of Surprise Planning Department
12425 West Bell Road
Surprise AZ 85374

Re: Case #CUP08-082 Marley Park New Retail PAD E

Dear Ms. Dager

Thank you for the opportunity to provide comments on the Conditional Use Permit Application for the Marley Park New Retail PAD E. PAD E is located on 0.68 gross acres at the southwest corner of Litchfield and Waddell Roads. The application calls for the construction of a single-story 4,213 square foot building for retail use. This site is located inside the 1988 JLUS 65 Ldn, "high noise or accident potential zone," as defined by A.R.S. § 28-8461 and is located within the "territory in the vicinity of a military airport," also defined by A.R.S. § 28-8461.

As described, this Commercial building will not negatively impact the flying operations at Luke AFB. However, since a tenant has not been identified for this PAD, Luke AFB requests the opportunity to provide additional comments when a tenant has been established, to ensure the use follows the table of compatible uses identified by A.R.S. § 28-8481 for retail located inside the 65 Ldn. Since this area is located within the "territory in the vicinity of a military airport," it will be subjected to high noise from approximately 165 over flights a day, with some as low as 1,500 feet above ground level. We recommend you review the sound attenuation requirements found in A.R.S. § 28-8482. In addition, a strong notification program on the part of the applicant would be essential to inform potential tenants about Luke AFB operations. We also recommend a review of the Luke AFB web site at <http://www.luke.af.mil>, Community Interests and Community Initiatives links, for further information.

If there are any questions, please contact my Community Planner, Mr. Bob Dubsky, at (623) 856-6195.

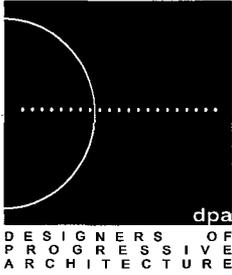
Sincerely

A handwritten signature in black ink, appearing to read "J. Mitchell", is written over a horizontal line.

JAMES R. MITCHELL

cc:

Colonel Henry M. Reed III, Vice Commander, 56th Fighter Wing



RECEIVED

JUN 26 2008

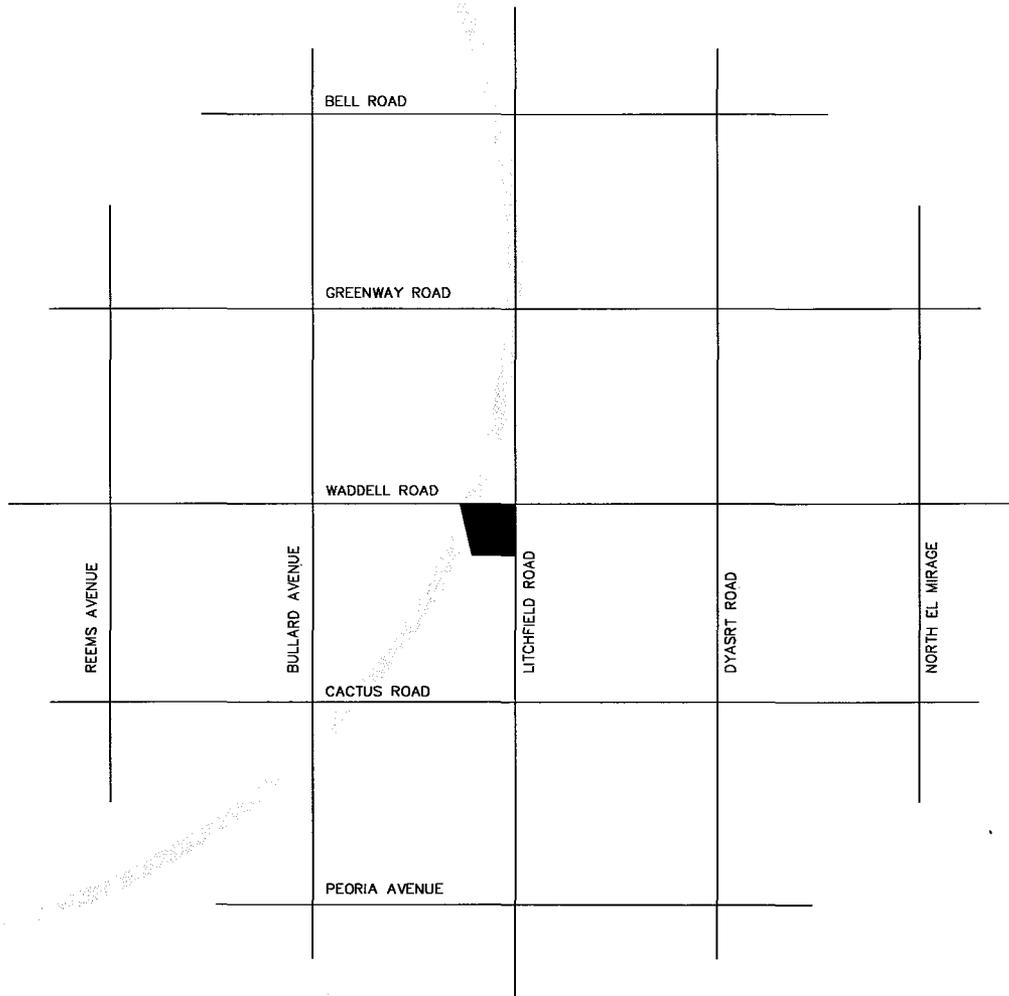
COMMUNITY
DEVELOPMENT

25 June 2008

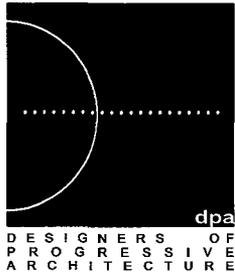
Planner, City of Surprise
12425 W Bell Road
Surprise, Arizona 85374-9002

3-MILE RADIUS VICINITY MAP

New Retail Pad Building – Litchfield/Waddell



TAC Narrative.doc



Location and project description:

This project is located at the SWC of Litchfield Road and Waddell Road within the City of Surprise, Arizona. The parcel is listed as 501-39-008 –A within the Maricopa County Assessor. Pad E is a stand-alone property within a proposed commercial development. The site is currently zoned as P.A.D., (with an underlying commercial zoning) and will not require any rezoning to permit the construction of a new retail pad building.

Historical Data:

This site, located at the intersection of two major arterial roads, was reserved for commercial development as part of the Marley Park PAD Master Plan. In the Master Plan, the site was situated to allow for neighborhood vehicular and pedestrian access to alleviate the need for entering onto a major arterial road from the neighborhood to get to the commercial area. The site was envisioned as a neighborhood commercial center, serving both the Marley Park residences and surrounding neighborhoods.

Operational aspect of use:

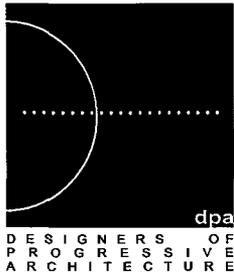
The Pad C site is part of an overall development prepared by Marley Park L.L.C., which consists of two major anchors, several retail shops, a three-story office, several garden offices and independent pads along the frontage of Litchfield and Waddell Roads. The proposed use of the new pad building is retail. This use is approved based on the underlying commercial zoning district. Based on the proposed use of the site, ample surface parking is provided according to the current parking ratios indicated in the Surprise Zoning Ordinance. All surface parking will be screened from street and adjacent residential view by the buildings on site or site screening walls, as well as the existing open space buffers. The current developer's site plan has TAC and developer approval, as well as site and building permits.

Infrastructure:

Currently there are eight access points to the overall site. Four are located from Waddell Road to the north, and four site entrances are from Litchfield Road to the east. These entrances have been located and detailed per City of Surprise engineering standards. City Services currently exist in Waddell Road for water, sewer and fire protection. Retention capacity for storm water will be provided on site. An underground retention system and small street side retention basins along the Waddell Road frontage will accommodate the commercial center's surface runoff. All major utilities will be brought to the retail pad limits under the overall center construction. Garbage enclosures will be provided as shown on the attached site plan. The extension of services into the proposed site is shown on the site and civil engineering plans submitted with this application.

Phasing:

NA



Project and Design Information:

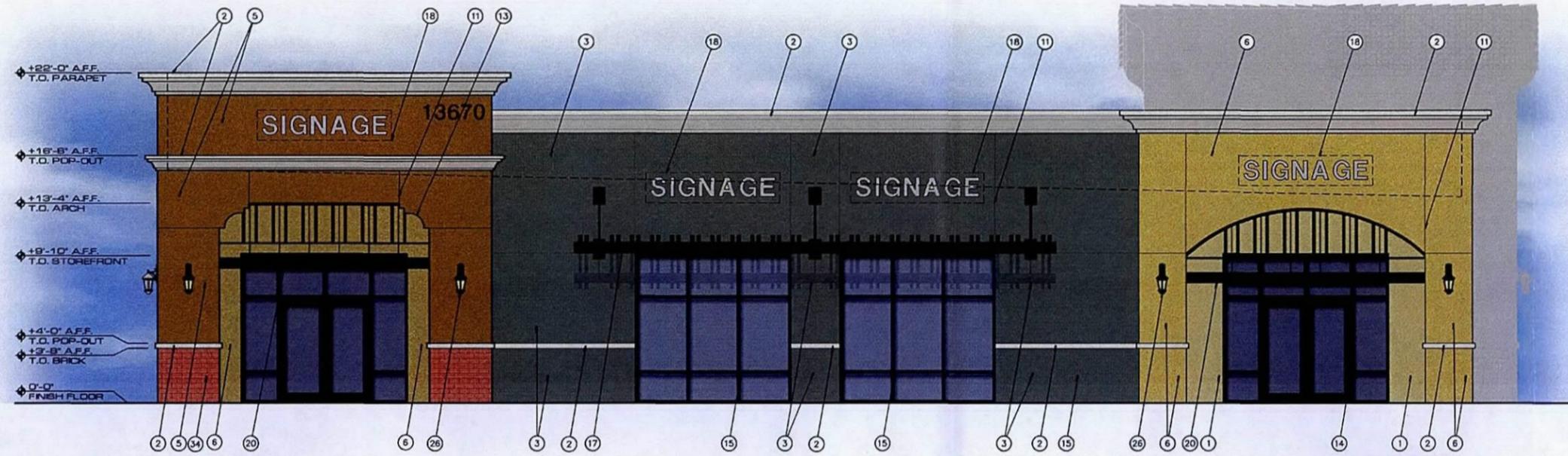
Overall Site

All of the structures located within the commercial development have been designed with a central architectural theme and will be concordant throughout the proposed development. Shops and pad buildings are positioned forward on the site to provide a building face on the major arterial roads, with parking screened behind buildings or site screening walls. There are three distinct zones within the commercial development. The garden offices are located on the southwest corner of the site. The offices provide direct pedestrian access from the west and the south. The three-story office sits on the southeast corner of the site. There is a proposed outdoor plaza that frames the entry into the three-story office from the street side. The remainder of the site is retail shops and pads. An outdoor plaza is proposed between Shops D and E to allow for vibrant outdoor activity and to provide a pedestrian connection from the frontage along Litchfield Road. Major Shops A and B are visually the largest buildings in the retail portion of the commercial center. They are designed to be more prominent focal points of the center, to help draw people into the site and orient them to the provided parking. Key corners of all of the shops buildings are strengthened by prominent vertical elements with overhanging roof structure, providing a strong central design theme to the building ensemble. Metal and wood trellis and awnings provide variety and encourage eye movement along the building façades.

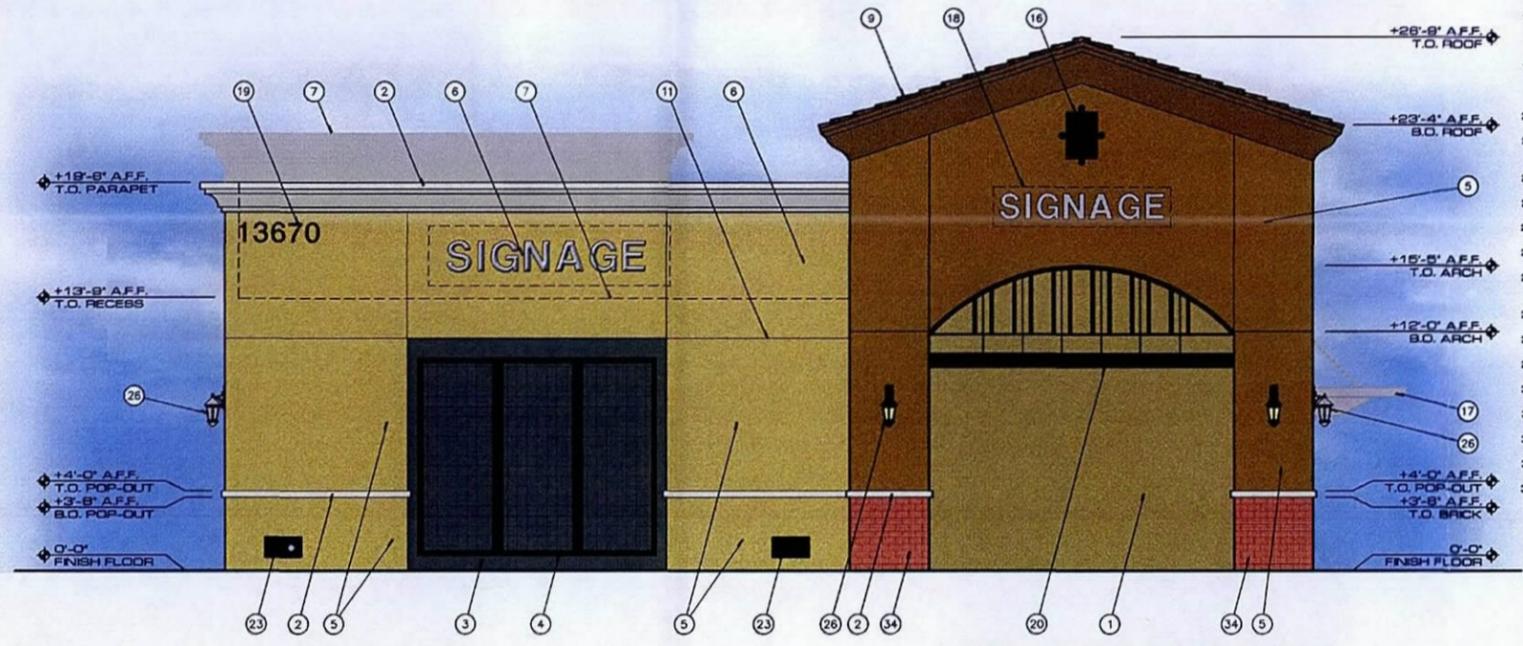
New Retail Pad Building

The proposal of the new retail pad compliments the overall development's design theme with its use of materials, strong colors, and a hierarchy of masses. The exterior material palette is composed of smooth texture E.I.F.S. over framed structure, roof tiles, and brick veneer. The landscape will screen the building and the drive thru elements from the street perspective, and also give a pleasant view for all the surrounding residents. To provide visual interest from the street perspective trellis or awnings adorn every face of the building. The main entries utilize covered extensions from the building that take advantage of the diverse material palette with its use of roof tile and color to visually tie the most prominent vertical element on the building to the rest of the development. This arrangement will provide a recessed entry as well as strong shadow lines and shading for the main entry storefront system. The exterior window openings of the retail pad are generous in size to provide views into and out of the building. The openings are recessed as well to provide shadow lines and shading coefficient. The architectural design of the retail pad is intended to blend with and compliment the proposed retail portion of the commercial development west of the proposed pad. It is our belief that the utilization of these materials will allow the project to be architecturally harmonious with the overall development.

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SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"

KEY NOTES

THE KEY NOTES LISTED ARE REPRESENTATIVE OF THE PROJECT AS A WHOLE. NOT ALL KEYNOTES APPLY TO EVERY DRAWING. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL WORK WITH THE APPLICABLE TRADES.

NOTES:	SPECIFICATION SECTION:
1. 1" EIFS WITH SMOOTH FINISH, I.C.B.O. REPORT# ESR-1807.SEE SPECIFICATIONS. PAINT DEC781, "COO-HSE."	00 72 40
2. 1" EIFS WITH SMOOTH FINISH, I.C.B.O. REPORT# ESR-1807.SEE SPECIFICATIONS. PAINT DE8227, "MUSLIN."	00 72 40
3. 1" EIFS WITH SMOOTH FINISH, I.C.B.O. REPORT# ESR-1807.SEE SPECIFICATIONS. PAINT DE8223, "MISSION TRAIL."	00 72 40
4. 1" EIFS WITH SMOOTH FINISH, I.C.B.O. REPORT# ESR-1807.SEE SPECIFICATIONS. PAINT DEA176, "IRON RIVER."	00 72 40
5. 1" EIFS WITH SMOOTH FINISH, I.C.B.O. REPORT# ESR-1807.SEE SPECIFICATIONS. PAINT DE8111, "SMORES."	00 72 40
6. 1" EIFS WITH SMOOTH FINISH, I.C.B.O. REPORT# ESR-1807.SEE SPECIFICATIONS. PAINT DE726, "ADOBE."	00 72 40
7. LINE OF ROOF BEYOND.	
8. LINE OF POP-OUT ARCH.	
9. CONCRETE ROOFING TILES.	07 32 18
10. CONTROL JOINT.	09 24 00
11. ACCENT REVEAL.	09 24 00
12. CORNICE TYPE 'A'.	09 24 00
13. CORBEL AT ARCH.	09 24 00
14. ALUMINUM STOREFRONT SYSTEM.	09 41 13
15. HOLLOW METAL DOOR AND FRAME.	07 72 00
16. ROOF VENT TYPE 'V2'.	05 50 00/ 06 10 00
17. SUSPENDED WOOD AND STEEL CANOPY.	
18. 24" HIGH LETTER SIGNAGE LOCATION. UNDER SEPARATE PERMIT.	
19. BUILDING ADDRESS SIGN LOCATION PER CITY OF SURPRISE STANDARDS.	
20. LATTICE GRILLE.	05 50 00
21. FIRE DEPARTMENT CONNECTION.	21 00 00
22. KNOX BOX.	10 44 00
23. ROOF DRAIN SCUPPER.	05 50 00
24. LANDSCAPE TRELIS.	05 50 00
25. BRICK VENEER COLUMN.	04 21 13
26. SURFACE MOUNTED LIGHT FIXTURE.	26 50 00
27. S.E.S. CABINET.	26 20 00
28. WOOD POST COLUMN.	06 10 00
29. GLUE-LAM ROOF BEAM.	06 10 00
30. OUTRIGGERS.	06 10 00
31. MASONRY CONTROL JOINT.	04 05 23
32. METAL ROOF AWNING.	06 10 00/ 07 61 00
33. SCREEN WALL.	04 22 00
34. 8"X4"X12" HOLLOW BRICK STRETCHER, COLOR #90.	04 21 13

CHAMPION

NEW RETAIL BLDG-PAD E
MARLEY PARK SQUARE
13670 NORTH LITCHFIELD
SURPRISE, ARIZONA 85378

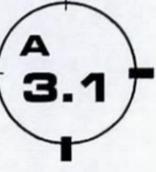


revised 10 June 2010

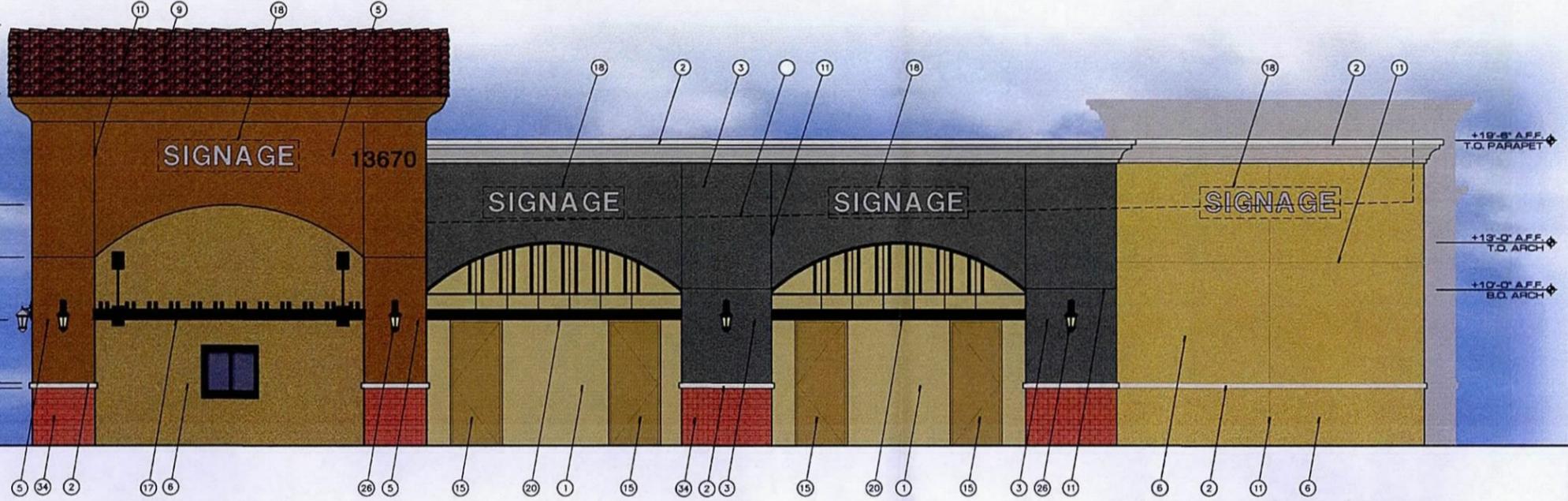


drawn by: yan
project no: 08077
date: 2 may 2008

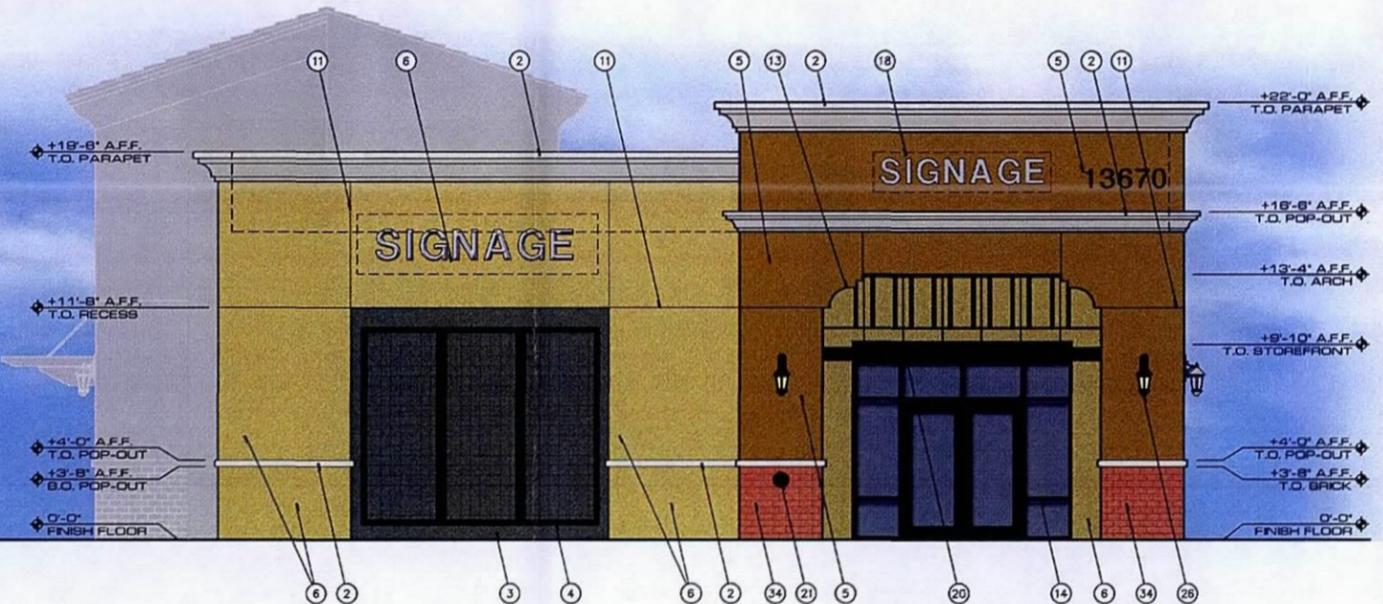
BUILDING ELEVATIONS



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NORTH ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"

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4. 1" EJ.F.S. WITH SMOOTH FINISH, I.C.B.O. REPORT# ESR-1607.SEE SPECIFICATIONS. PAINT DEA178, "IRON RIVER."	00 72 40
5. 1" EJ.F.S. WITH SMOOTH FINISH, I.C.B.O. REPORT# ESR-1607.SEE SPECIFICATIONS. PAINT DE611, "SMORES."	00 72 40
6. 1" EJ.F.S. WITH SMOOTH FINISH, I.C.B.O. REPORT# ESR-1607.SEE SPECIFICATIONS. PAINT DE726, "ADOBLE."	00 72 40
7. LINE OF ROOF BEYOND.	
8. LINE OF POP-OUT ARCH.	
9. CONCRETE ROOFING TILES.	07 32 18
10. CONTROL JOINT.	09 24 00
11. ACCENT REVEAL.	09 24 00
12. CORNICE TYPE 'A'.	09 24 00
13. CORBEL AT ARCH.	09 24 00
14. ALUMINUM STOREFRONT SYSTEM.	08 41 13
15. HOLLOW METAL DOOR AND FRAME.	07 72 00
16. ROOF VENT TYPE 'V2'.	05 50 00/ 06 10 00
17. SUSPENDED WOOD AND STEEL CANOPY.	
18. 24" HIGH LETTER SIGNAGE LOCATION. UNDER SEPARATE PERMIT.	
19. BUILDING ADDRESS SIGN LOCATION PER CITY OF SURPRISE STANDARDS.	
20. LATTICE GRILLE.	05 50 00
21. FIRE DEPARTMENT CONNECTION.	21 00 00
22. KNOX BOX.	10 44 00
23. ROOF DRAIN SCUPPER.	05 50 00
24. LANDSCAPE TRELLIS.	05 50 00
25. BRICK VENEER COLUMN.	04 21 13
26. SURFACE MOUNTED LIGHT FIXTURE.	26 50 00
27. S.E.S. CABINET.	26 20 00
28. WOOD POST COLUMN.	08 10 00
29. GLUE-LAM ROOF BEAM.	06 10 00
30. OUTRIGGERS.	06 10 00
31. MASONRY CONTROL JOINT.	04 05 23
32. METAL ROOF AWNING.	06 10 00/ 07 81 00
33. SCREEN WALL.	04 22 00
34. 8"X4"X12" HOLLOW BRICK STRETCHER, COLOR #90.	04 21 13

CHAMPION
NEW RETAIL BLDG-PAD E
MARLEY PARK SQUARE
13670 NORTH LITCHFIELD
SURPRISE, ARIZONA 85378

PACKAGE
5E

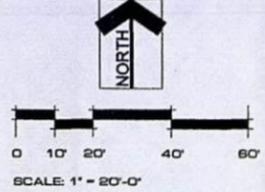
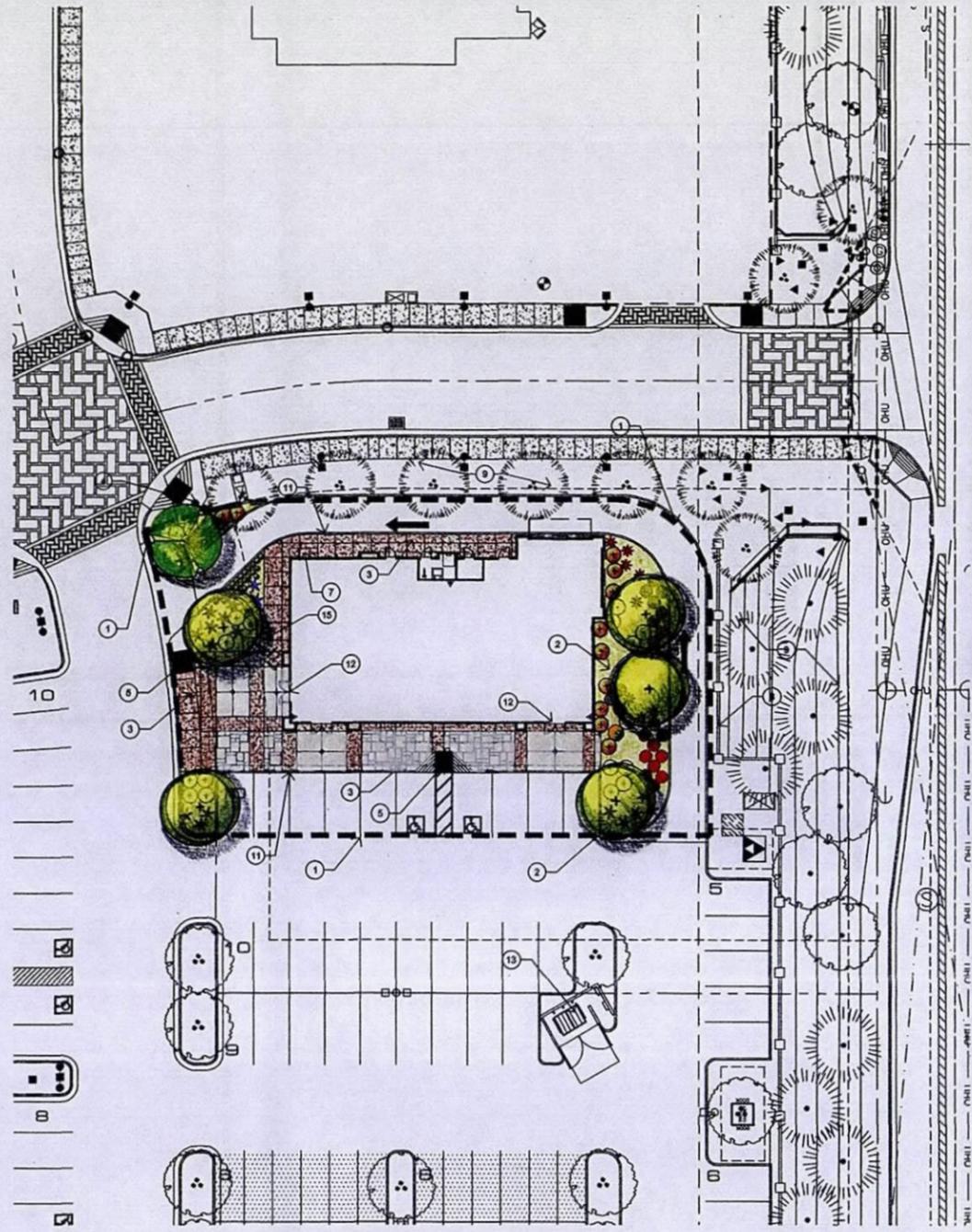
REGISTERED ARCHITECT
 25796
 STATE OF ARIZONA
 12 MAY 2008
 DPA ARCHITECTS, INC.
 ARCHITECT, U.S.A.

expires: 30 June 2010

dpa
 DESIGNERS OF
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drawn by: yan
 project no: 08077
 date: 2 may 2008

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PLANT LEGEND

SYMBOL	COMMON NAME	SIZE	REMARKS
TREES			
	1 DESERT MUSEUM PARKINSONIA HYBRID	36" BOX	HIGH BREAKING
	5 'HERITAGE' LIVE OAK QUERCUS VIRGINIANA	36" BOX	STANDARD TRUNK
SHRUBS			
	8 VALENTINE BUSH EREMOPHILA MACULATA	5 GALLON	
	23 GREEN CLOUD SAGE LEUCOPHYLLUM V. 'GREEN CLOUD'	5 GALLON	
ACCENTS			
	21 RED YUCCA HESPERALOE PARVIFLORA	5 GALLON	
	8 TWIN FLOWERED AGAVE AGAVE GEMINIFLORA	5 GALLON	
RESLANDSCAPER			
	21 GOLD MOUND LANTANA LANTANA SP.	1 GALLON	50 / 50 MIX
	44 KATE RUELLIA RUELLIA BRITTONIANA 'KATE'	1 GALLON	
LANDSCAPE MATERIAL			
	1 DECOMPOSED GRANITE COLOR: TABLE MESA	1/2" SCREENED 2" MIN DEPTH	GRANITE TO MATCH COLOR AND SIZE OF ADJACENT DEVELOPMENT

KEYNOTES

- 1 LIMIT OF CONSTRUCTION
- 2 DECOMPOSED GRANITE TYP. SEE LEGEND
- 3 5'-0" WIDE MINIMUM CONCRETE SIDE WALK WHERE WALK OCCURS ADJACENT TO PARKING 7'-0" MINIMUM TO ACCOMMODATE 2' OVERHANG
- 4 POLE LIGHT - SEE ELECTRICAL
- 5 ACCESSIBLE RAMP - SEE CIVIL
- 6 ARCHITECTURAL STRUCTURE OVERHEAD
- 7 BES LOCATION
- 8 EXISTING SCREEN WALL TO REMAIN
- 9 EXISTING LANDSCAPE TO REMAIN
- 10 DECORATIVE CROSSWALK - SEE ARCH PLANS
- 11 8" CURB - SEE CIVIL
- 12 BUILDING ENTRY
- 13 REFUSE CONTAINER - BY OTHERS
- 14 FIRE HYDRANT
- 15 BICYCLE RACK

SHEET INDEX

SHEET NUMBER	DESCRIPTION
L.1	LANDSCAPE PLAN
L.2	IRRIGATION PLAN
L.3	LANDSCAPE DETAILS
L.4	IRRIGATION DETAILS
L.5	LANDSCAPE SPECS
L.6	IRRIGATION SPECS

GENERAL NOTES

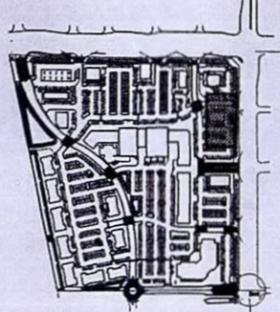
- A. ALL CHANGES TO BE APPROVED BY THE CITY OF SURPRISE COMMUNITY DEVELOPMENT DEPARTMENT.
- B. SIGNS REQUIRE A SEPARATE PERMIT.
- C. ALL UTILITY BOXES AND STRUCTURES ARE TO BE SCREENED FROM VIEW.
- D. PLANT MATERIAL IS NOT TO BE LOCATED WITHIN 3 FEET OF ANY FIRE HYDRANT OR FIRE DEPARTMENT CONNECTION.
- E. TREES IN PAVED AREAS ARE TO HAVE DEEP ROOT BARRIERS.
- F. ALL PLANT MATERIAL SIZES ARE TO BE CONSISTANT WITH ANA STANDARDS.
- G. ALL PLANT MATERIAL LOCATED WITHIN AASHTO VISIBILITY TRIANGLES ARE TO BE MAINTAINED NO HIGHER THAN 2 FEET HIGH, AND HANG NO LOWER THAN 7 FEET FROM GROUND ELEVATION.

OVERALL SITE DATA

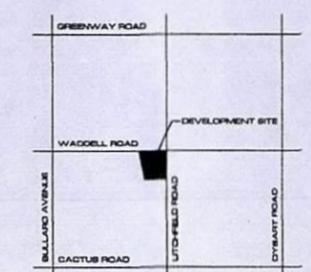
SITE AREA	1,406,243 S.F. (32.28 ACRES)
TOTAL BUILDING AREA	278,162 S.F.
% COVERAGE	19.84%
% OPEN SPACE	25.5%
% LANDSCAPE	35.3%
REGULAR PARKING PROVIDED	862 SPACES
REGULAR PARKING REQUIRED	1,108 SPACES
ACCESSIBLE PARKING PROVIDED	60 SPACES
ACCESSIBLE PARKING REQUIRED	28 SPACES
COMPACT SPACES PROVIDED	347 SPACES
COMPACT SPACES ALLOWED (30%)	352 SPACES
TOTAL PARKING PROVIDED	1,289 SPACES
PARKING RATIO	4.94 / 1,000

PAD BUILDING E

SITE AREA	28,808 S.F. (0.66 ACRES)
TOTAL BUILDING AREA	4,213 S.F.
% COVERAGE	14.6%
REGULAR PARKING PROVIDED	25 SPACES
REGULAR PARKING REQUIRED	25 SPACES
RESTAURANT (842 S.F. X .85/50)	11 SPACES
RETAIL (4038 S.F. / 850)	14 SPACES
ACCESSIBLE PARKING PROVIDED	2 SPACES
ACCESSIBLE PARKING REQUIRED	1 SPACES
COMPACT SPACES PROVIDED	0 SPACES
COMPACT SPACES ALLOWED (30%)	8 SPACES
PARKING RATIO	5.58 / 1,000



OVERALL DEVELOPMENT MAP
N.T.S.



VICINITY MAP
N.T.S.

the design element
landscape architecture

the design element, p.l.c.
1230 west washington street
suite 202
tempe, arizona 85281
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www.thedesignelement.com

drawn by: JA
project no: 06077
date: 2 may 2008

LANDSCAPE PLAN
CU008-082
APN # 501-39-008C
PLAT # PP07-140
#CS07-140



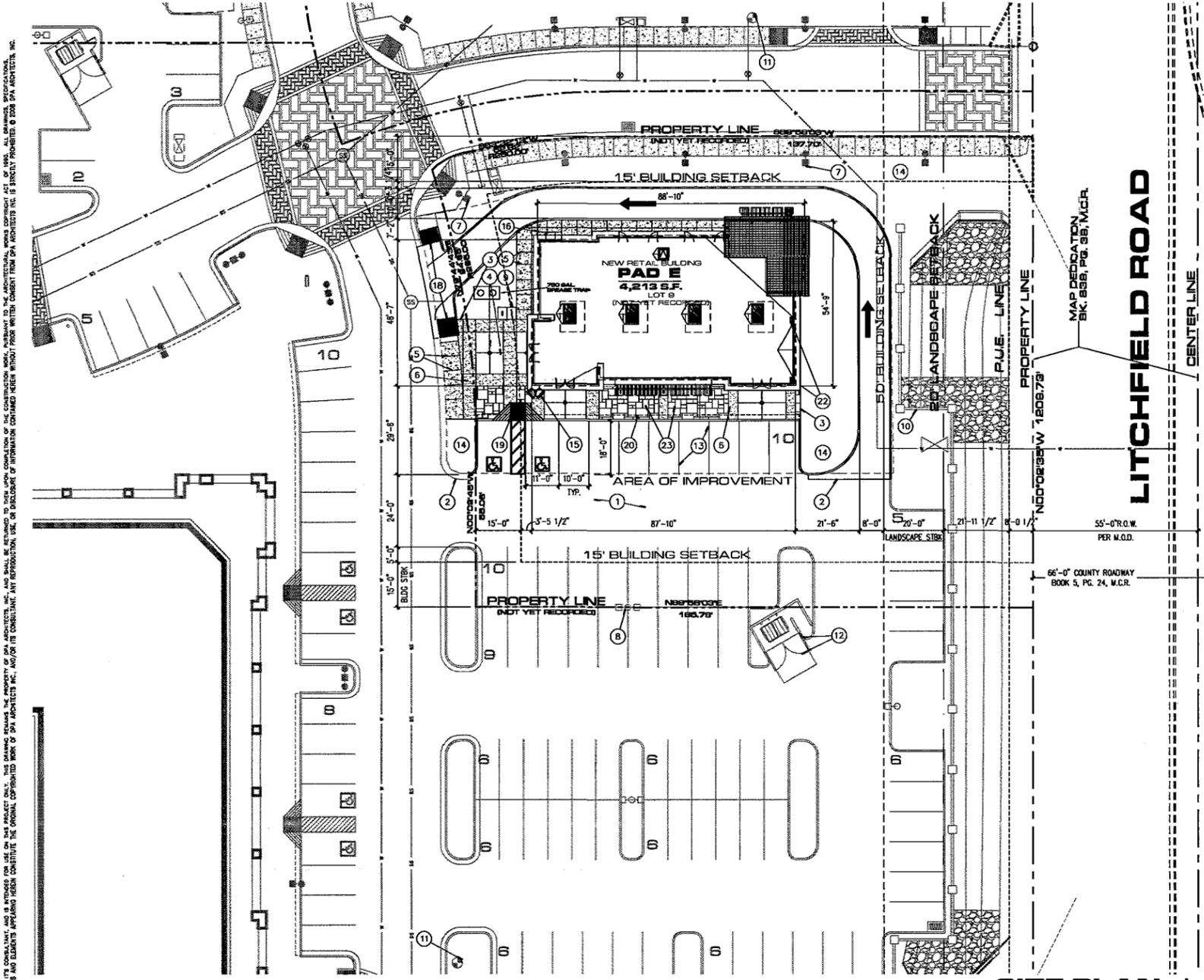
CHAMPION

NEW RETAIL BLDG-PAD E
MARLEY PARK SQUARE
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SURPRISE, ARIZONA 85379

PACKAGE
5E



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LEGAL DESCRIPTION

A PARCEL OF LAND LYING WITHIN SECTION 16, TOWNSHIP 3 NORTH, RANGE 1 WEST, OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION, A MARICOPA COUNTY HIGHWAY DEPARTMENT (MCHD) BRASS CAP FLUSH, BEARS SOUTH 00°02'03" EAST (BASIS OF BEARING), A DISTANCE OF 2633.62 FEET; THENCE ALONG THE EAST LINE OF SAID SECTION, SOUTH 00°02'34" EAST, A DISTANCE OF 110.34 FEET; THENCE LEAVING SAID EAST LINE, SOUTH 89°57'26" WEST, A DISTANCE OF 55.00 FEET, TO THE POINT OF BEGINNING; THENCE SOUTH 00°02'34" EAST A DISTANCE OF 1209.73 FEET; THENCE SOUTH 29°57'26" WEST A DISTANCE OF 990.14 FEET; THENCE NORTH 11°36'21" WEST A DISTANCE OF 1297.14 FEET; THENCE SOUTH 29°21'05" EAST A DISTANCE OF 51.24 FEET; THENCE SOUTH 83°39'27" EAST A DISTANCE OF 60.30 FEET; THENCE SOUTH 89°21'05" EAST A DISTANCE OF 1089.06 FEET; THENCE SOUTH 44°41'50" EAST A DISTANCE OF 56.91 FEET, TO THE POINT OF BEGINNING.

PROJECT DATA

PROJECT DESCRIPTION:
THIS SUBMITTAL IS PACKAGE FIVE E (5E) OF THE OVERALL DEVELOPMENT OF MARLEY PARK SQUARE. THIS PACKAGE INCLUDES A RETAIL SHELL BUILDING AND ASSOCIATED HARDSCAPE, LANDSCAPE, AND ALL UTILITIES. ALL TENANT IMPROVEMENTS WILL BE UNDER SEPARATE PERMIT.

PROJECT ADDRESS: 13670 N. LITCHFIELD RD. SURPRISE, ARIZONA 85379
APN: 501-39-008 A
SECTION TOWNSHIP, RANGE: 16, 3N, 1W
JURISDICTION: CITY OF SURPRISE
ZONING: PAD
PACKAGE 5E SITE AREA: 45,153 S.F. (1.04 ACRES)
PACKAGE 5E IMPROVEMENT AREA: 13,991 S.F.
TOTAL BUILDING AREA: 5,395 S.F.
BUILDING COVERAGE: 11.9%
OCCUPANCY: TYPE A2, M, B
BUILDING HEIGHT ALLOWED: 35'-0" TWO STORIES A.F.F. PER CITY OF SURPRISE ZONING REGULATIONS
ACTUAL HEIGHT: 26'-8"
CONSTRUCTION TYPE: V-B, FULLY SPRINKLERED

APPLICABLE CODES:

- 2006 INTERNATIONAL BUILDING CODE
- 2006 INTERNATIONAL FIRE CODE
- 2006 INTERNATIONAL ELECTRIC CODE
- 2006 INTERNATIONAL MECHANICAL CODE
- 2006 INTERNATIONAL PROPERTY MAINTENANCE CODE
- 2006 INTERNATIONAL PLUMBING CODE
- ICC/ANSI 117.1A 2003 (ADA)
- 36-301.01 SMOKE-FREE ARIZONA ACT

OVERALL SITE PARKING DATA

SITE AREA	1,406,243 S.F. (32.28 ACRES)
TOTAL BUILDING AREA	278,162 S.F.
% COVERAGE	19.84%
% OPEN SPACE	25.5%
% LANDSCAPE	35.3%
REGULAR PARKING PROVIDED	862 SPACES
REGULAR PARKING REQUIRED	1,108 SPACES
ACCESSIBLE PARKING PROVIDED	60 SPACES
ACCESSIBLE PARKING REQUIRED	28 SPACES
COMPACT SPACES PROVIDED	347 SPACES
COMPACT SPACES ALLOWED (30%)	352 SPACES
TOTAL PARKING PROVIDED	1,269 SPACES
PARKING RATIO	4.94 / 1,000

PAD E PARKING DATA

SITE AREA	28,809 S.F. (0.66 ACRES)
TOTAL BUILDING AREA	4,213 S.F.
% COVERAGE	14.6%
REGULAR PARKING PROVIDED	25 SPACES
REGULAR PARKING REQUIRED	25 SPACES
RESTAURANT (842 S.F. X .65/50 RETAIL (4039 S.F. /250))	11 SPACES
	14 SPACES
ACCESSIBLE PARKING PROVIDED	2 SPACES
ACCESSIBLE PARKING REQUIRED	1 SPACES

GENERAL NOTES

- ALL PROPOSED DEVELOPMENT PHASES DEPICTED ON THIS SITE PLAN SHALL BE PROVIDED A MINIMUM OF TWO (2) SEPARATE POINTS OF UNOBSTRUCTED ACCESS WITH A MINIMUM WIDTH OF TWENTY FEET, INSTALLED AND MAINTAINED PURSUANT TO THE REQUIREMENTS OF THE CITY OF SURPRISE.
- ALL ACCESSIBLE PARKING SPACES MEET THE REQUIREMENTS FOR VAN ACCESSIBLE SPACES SITE WIDE.

NOTES:

- ASPHALTIC CONCRETE PAVING. 32 12 16
- CAST-IN-PLACE CONCRETE CURB (AND GUTTER). 32 16 00
- 8" INTEGRALLY COLORED CONCRETE RIBBON CURB. SEE DETAIL 10/A1.2. 03 30 00
- INTEGRALLY COLORED CONCRETE SIDEWALK WITH DECORATIVE SCORING. SEE DETAIL 9/A1.2. 32 16 00
- INTEGRALLY COLORED CONCRETE SIDEWALK ON GRADE. SEE DETAIL 1/A1.2. 32 16 00
- INTEGRALLY COLORED EXPOSED ASGREGATE CONCRETE BAND WITH 3/8" ANGULAR STONE (GREY IN COLOR). 32 16 00
- EXISTING DECORATIVE SITE LIGHT FIXTURE. BASE IS SQUARE, LAMP IS CIRCULAR. 16 00 00
- EXISTING POLE MOUNTED SITE LIGHT FIXTURE. 16 00 00
- BIKE RACK. SEE DETAIL 1/A1.3. 04 22 00 / 03 30 00
- EXISTING RETAINING WALL. 04 22 00 / 03 30 00
- EXISTING FIRE HYDRANT. 04 22 00 / 03 30 00
- EXISTING REFUSE ENCLOSURE AND APRON. SEE DETAIL 7/A1.3. 04 22 00 / 03 30 00

KEY NOTES

NOTES:

- PARKING STRIPPS. 32 17 23
- LANDSCAPING PER LANDSCAPE DRAWINGS. 32 90 00
- FDC LOCATION. FIRE DEPARTMENT CONNECTION SHALL BE INSTALLED SO THAT THE TOP OF THE FDC IS BETWEEN 18" TO 48" IN HEIGHT. 32 16 00
- ELECTRICAL UTILITY CABINET. PAINT. 26 00 00
- PROPOSED MONUMENT SIGN UNDER SEPARATE PERMIT. 32 16 00
- INTEGRALLY COLORED ACCESSIBLE CONCRETE RAMP. SEE DETAIL 5/A1.2. 32 16 00
- INTEGRALLY COLORED ACCESSIBLE CONCRETE FLARE RAMP. SEE DETAIL 4/A1.2. 32 16 00
- 2" PARKING OVERHANGS. 32 16 00
- INTEGRALLY COLORED CONCRETE SIDEWALK WITH DECORATIVE SCORING. SEE DETAIL 9/A1.2. 32 16 00
- ROOF DRAIN OVERFLOW DAYLIGHT LOCATION. DAYLIGHT TO BE 12" A.F.S. 32 16 00
- DECORATIVE CONCRETE PAVERS OVER 4" SAND SETTING BED OVER 85% COMPACTED SUBGRADE. PROVIDE 1/8" MORTARED JOINTS. STYLE/ COLOR: OUBLIN COBBLE MODULAR, VICTORIAN BLEND. 32 16 00



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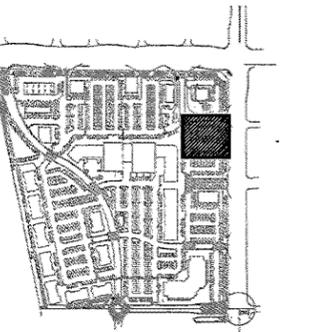
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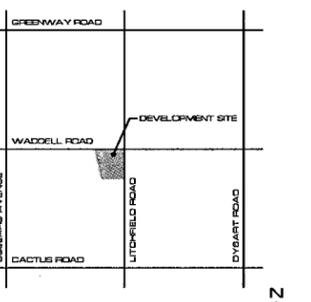
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 DAN MALDONADO, RLA, ASLA

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 JERRY LARSON



OVERALL DEVELOPMENT MAP
N.T.S.



VICINITY MAP
N.T.S.

OVERALL DEVELOPMENT PLAN
CUP008-082
 APN # 501-39-008C
 PLAT # PP07-140
 #CS07-140

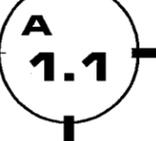
CHAMPION

NEW RETAIL BLDG-PAD E
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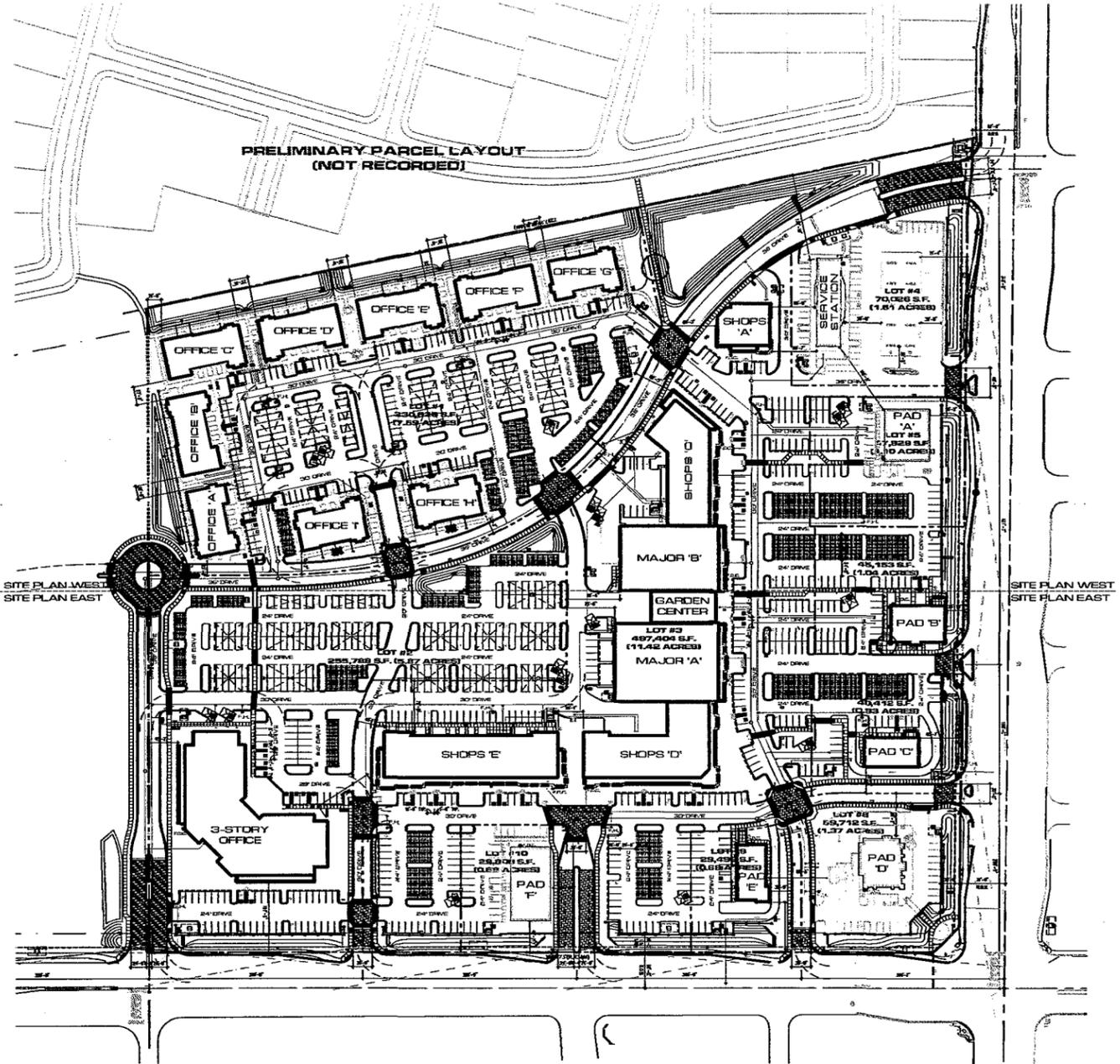


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drawn by: jsm
 project no: 08077
 date: 2 may 2008



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PRELIMINARY PARCEL LAYOUT
(NOT RECORDED)

SITE PLAN WEST
SITE PLAN EAST

SITE PLAN WEST
SITE PLAN EAST

GENERAL NOTES

- AREAS PROVIDED ARE CALCULATED PER 1996 BUILDING OWNERS AND MANAGERS ASSOCIATION STANDARDS. THIS AREA IS COMPUTED BY MEASURING TO THE OUTSIDE FINISHED SURFACE OF PERMANENT OUTER BUILDING WALLS, WITHOUT ANY DEDUCTIONS.
- ALL PARKING IS UNDER A CROSS ACCESS AGREEMENT.
- ALL PROPOSED DEVELOPMENT PHASES DEPICTED ON THIS SITE PLAN SHALL BE PROVIDED A MINIMUM OF TWO (2) SEPARATE POINTS OF UNOBSTRUCTED ACCESS WITH A MINIMUM WIDTH OF TWENTY FEET AND CAPABLE OF SUPPORTING 75,000 POUNDS IN ALL WEATHER CONDITIONS, INSTALLED AND MAINTAINED PURSUANT TO THE REQUIREMENTS OF THE CITY OF SURPRISE.
- ALL SIGNS AND CENTER ID ELEMENTS APPROVED THROUGH SEPARATE REVIEW.
- ALL SCREEN WALLS TO BE A MAXIMUM HEIGHT OF 3'-0".
- ALL ACCESS ROADS AND ALL TURNING RADII, INCLUDING PARKING AISLE ISLANDS SHALL COMPLY WITH REQUIREMENTS OF WB-50.
- ALL ACCESS WAYS INTO THE CONSTRUCTION SITE SHALL HAVE THE REQUIRED FIRE DEPARTMENT ACCESS SIGNAGE INSTALLED UNTIL THE ROADS OR THE ACCESS INTO THE AREA IS HARD SURFACED.
- THREE POINTS OF ACCESS, 26 FEET WIDE, ONE WITHIN A MIN. 15 FEET AND A MAX OF 30 FEET FROM BUILDINGS IN EXCESS OF 30 FEET IN HEIGHT POSITIONED PARALLEL TO THE ENTIRE MAIN ENTRANCE SIDE OF THE BUILDING AS REQUIRED BY INTERNATIONAL FIRE CODE APPENDIX D105.
- FIRE ACCESS ROUTES SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE EXTERIOR WALLS AND WITHIN 150 FEET TO THE CENTER OF THE FURTHEST ROOMS ON THE SECOND LEVEL AS MEASURED ALONG NORMAL PEDESTRIAN ROUTES.
- ALL FIRE ACCESS LANES SHALL BE IDENTIFIED BY FIRE LANE SIGNS AND/OR FIRE LANE STRIPING PER THE CITY OF SURPRISE FIRE DEPARTMENT EMERGENCY ACCESS GUIDELINES.



OVERALL SITE PARKING DATA

ACCESSIBLE PARKING PROVIDED	62 SPACES
ACCESSIBLE PARKING REQUIRED	28 SPACES
REGULAR PARKING PROVIDED	656 SPACES
REGULAR PARKING REQUIRED	347 SPACES
COMPACT SPACES PROVIDED	347 SPACES
COMPACT SPACES ALLOWED (30%)	352 SPACES
TOTAL PARKING PROVIDED	1,263 SPACES
TOTAL PARKING REQUIRED	1,108 SPACES
PARKING RATIO	4.94 / 1,000
TOTAL COVERED PARKING PROVIDED	228 SPACES

3 STORY OFFICE PARKING DATA

REGULAR PARKING PROVIDED	231 SPACES
REGULAR PARKING REQUIRED	248 SPACES
ACCESSIBLE PARKING PROVIDED	10 SPACES
ACCESSIBLE PARKING REQUIRED	8 SPACES
COMPACT SPACES PROVIDED	71 SPACES
COMPACT SPACES ALLOWED (30%)	74 SPACES
PARKING RATIO (BASED ON L.F.A. OF 75,000 SF.)	4.73 / 1,000
TOTAL PARKING SPACES PROVIDED	312 SPACES
COVERED PARKING PROVIDED	126 SPACES

RETAIL PARKING DATA (INCLUDES PADS)

REGULAR PARKING PROVIDED	437 SPACES
REGULAR PARKING REQUIRED	646 SPACES
ACCESSIBLE PARKING PROVIDED	36 SPACES
ACCESSIBLE PARKING REQUIRED	13 SPACES
COMPACT SPACES PROVIDED	182 SPACES
COMPACT SPACES ALLOWED (30%)	192 SPACES
PARKING RATIO	4.64 / 1,000
TOTAL PARKING SPACES PROVIDED	665 SPACES
COVERED PARKING PROVIDED	14 SPACES

GARDEN OFFICE PARKING DATA

REGULAR PARKING PROVIDED	188 SPACES
REGULAR PARKING REQUIRED	214 SPACES
ACCESSIBLE PARKING PROVIDED	16 SPACES
ACCESSIBLE PARKING REQUIRED	7 SPACES
COMPACT SPACES PROVIDED	84 SPACES
COMPACT SPACES ALLOWED (30%)	86 SPACES
PARKING RATIO	5.58 / 1,000
TOTAL PARKING SPACES PROVIDED	288 SPACES
COVERED PARKING PROVIDED	88 SPACES

OWNER/DEVELOPER

MP PARK SQUARE L.L.P.
10450 NORTH 74TH STREET, SUITE 100
SCOTTSDALE, ARIZONA 85258
MICHAEL WECHSLER
480.751.5197

LEGEND

- REPRESENTS COVERED PARKING SPACES
- REPRESENTS 8'-0" WIDE COMPACT SPACES

OVERALL BUILDING AREA

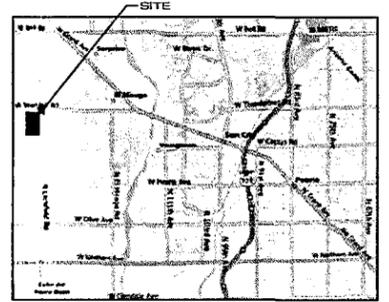
SITE AREA A	1,406,243 SF. (32.28 ACRES)
TOTAL BUILDING AREA	278,162 SF.

RETAIL BUILDING AREA

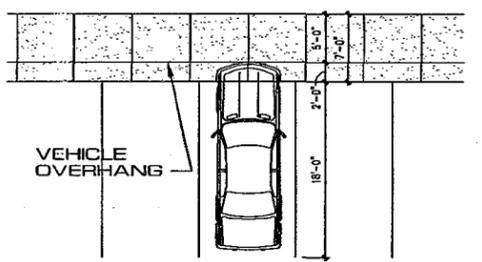
SERVICE STATION	5,544 SF.
PAD A	5,500 SF.
PAD H	5,985 SF.
PAD C	3,946 SF.
PAD D	4,478 SF.
PAD E	4,197 SF.
PAD F	7,000 SF.
SHOP A	5,170 SF.
SHOP I	12,535 SF.
MAJOR I	15,242 SF.
GARDEN CENTER	5,000 SF.
MAJOR A	19,248 SF.
SHOPS I	16,180 SF.
SHOPS J	18,000 SF.
TOTAL	127,426 SF.

OFFICE BUILDING AREA

GARDEN OFFICE A	6,132 SF.
GARDEN OFFICE B	7,170 SF.
GARDEN OFFICE C	7,170 SF.
GARDEN OFFICE D	9,194 SF.
GARDEN OFFICE E	9,194 SF.
GARDEN OFFICE F	7,170 SF.
GARDEN OFFICE G	6,132 SF.
GARDEN OFFICE H	6,132 SF.
GARDEN OFFICE I	6,132 SF.
3-STORY OFFICE	86,310 SF.
TOTAL	150,736 SF.

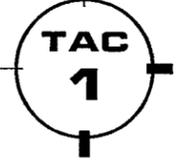


VICINITY MAP



S/W @ PARKING STALL

TAC # SP06-374



CHAMPION

MARLEY PARK SQUARE
 S/W C LITCHFIELD AND WADDELL
 SURPRISE, ARIZONA 85378

dca
 DESIGNERS OF
 PROGRESSIVE
 ARCHITECTURE
 7072 E Indian School Rd Ste 214
 Scottsdale, Arizona 85251
 telephone 480.941.4228
 www.dcaarchitects.com
 drawn by: bsp
 project no: 06077
 date: 7 January 2008



EAST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION



WEST ELEVATION

CHAMPION

MARLEY PARK SQUARE
LITCHFIELD ROAD AND WADDELL ROAD
SURPRISE, ARIZONA

EXTERIOR ELEVATIONS
SHOPS 'E'
SCALE: 1/8" = 1'-0"



**CITY OF SURPRISE
COMMUNITY DEVELOPMENT DEPARTMENT**

CUP08-083

Site Plan

for:

Pad C at Marley Park Square

PLANNING AND ZONING COMMISSION

Hearing Date: **August 5, 2008**

STAFF:

Dennis Dorch, 623.222.3134

LOCATION:

Generally on the southwest corner of Litchfield Road and Waddell Road.

DESCRIPTION OF THE REQUEST:

Approval of a Conditional Use Permit.

SUMMARY ANALYSIS:

The applicant is requesting Conditional Use Permit approval for a 4,228-square-foot building with a drive-through.

SUGGESTED MOTION:

I move to approve CUP08-083, a Conditional Use Permit for Pad C at Marley Park Square, and to adopt staff's findings and stipulations 'a' and 'b.'

City of Surprise
Planning and Zoning Division

EXECUTIVE SUMMARY

CUP08-083
Pad C at Marley Park Square

APPLICANT:	John Szafran Yvette Nelson DPA Architects, Inc. 7272 E. Indian School Rd. Scottsdale, AZ P: 480-941-4222 F: 480-941-3888 Ynelson@DPAarchitects.com
OWNER:	Michael Wechsler MP Park Square, LLP. 10450 N. 74 St. #100 Scottsdale, AZ 85250 P: 480-751-5197 F: 480-922-9213
HEARING DATE:	August 5, 2008
STAFF:	Dennis Dorch
LOCATION:	Generally on the southwest corner of Litchfield Road and Waddell Road.
DESCRIPTION of the REQUEST:	Approval of a Conditional Use Permit.
STAFF RECOMMENDATION:	Approval
SUMMARY ANALYSIS:	The proposed retail building is consistent with the previously approved Marley Park PAD and Marley Park Square Master Site Plan.

HISTORY

1. On October 25, 2000, the City Council approved the Marley Park Planned Area Development.
2. On April 17, 2007, the Planning and Zoning Commission approved the Marley Park Square master site plan (SP06-374).
3. The applicants submitted the subject site plan application on April 1, 2008.

STAFF ANALYSIS

Proposal:

The applicant is requesting approval of Conditional Use Permit to allow the construction of a 4,228-square-foot retail building on Waddell Road, west of Litchfield Road within the Marley Park Square project. The project will provide for a fast food restaurant with a drive-through, oriented towards Waddell Road. The retail user is unknown at this time.

The project requires a conditional use permit due to the inclusion of the drive-through feature. Staff does have a concern regarding the location of the speaker box and the length of stacking. The exact distance is unclear. Inadequate stacking distance could impact several of the parking spaces shown on the site plan. To resolve this issue, staff is recommending a stipulation requiring that there be a minimum of 60 feet of stacking between speaker box location and the driveway aisle entrance.

Circulation:

Access to the site will be primarily from Waddell Road to the north. There are two driveway access points (right in, right out only) to the immediate west and east of the project site. The site will be easily accessed from other projects within the Marley Park Square by both vehicular and pedestrian connections.

Architecture:

The architecture of Retail Pads B, C, and E of Marley Park Square reflect the diverse architectural themes set forth in the approved Marley Park PAD. Evident in the design is the eclectic mix of contemporary and traditional styles that incorporate elements of both Craftsman and Spanish Colonial architecture. Building form, detail and color combined with architectural character, provide the buildings with cohesive design qualities found in the vernacular of the existing Marley Park residential neighborhood.

Materials:

Common to other retail buildings in Surprise, each building's material is primarily comprised of an exterior finish system that resembles stucco. Detailing along the stucco walls consist of recesses and stucco scoring. These details provide depth and interest along the building envelope. Similar to other Marley Park buildings, the stucco has been accentuated with brick at the base of select pilasters. Brick has been applied to "porch" columns as well. The roof profiles consist of heavily detailed stucco parapets and clay tile roofing. Clay tile is also used

as roofing material for the covered walkway, which provides shade and visual relief to the building elevations.

Contemporary elements and materials include the use of landscaped green screens and using metal for lattice and trellis work. Spanish Colonial details are incorporated into the design through the use of iron embellishments, classical arches and heavy timber brackets. In contrast, Craftsman details appear in the form of slightly curved arches, exposed rafter tails, lattice motifs, trellis work and double wood posts mounted on simulated stone column bases. In addition, lantern inspired decorative lighting continues the overall theme and conveys architectural relevance.

Urban Design:

Due to the prominent location of these buildings along two major arterials, maintaining proper street frontage is essential in establishing neighborhood character and an attractive view corridor. Notable urban design features of this site consist of incorporating four sided architecture and continuing the village theme of the adjacent residential community. The applicant has continued to maintain good street frontage through building orientation and has continued to adhere to the overall design guidelines set forth in the previously approved Marley Park Square master site plan.

Landscape: The landscape design is consistent with the landscaping approved on the Marley Park Square master site plan.

Departmental Review:

All departments have recommended approval of the project subject to all stipulations.

Traffic Division: No comments.

Fire Department: The Fire Department initially submitted comments on hydrant and Fire Department connection locations, as well as fire flow requirements. These comments have been addressed.

Planning Division: The Planning Division had minor comments on the architecture and landscape plans, which were addressed. The project is consistent with the approved Marley Park Plaza master site plan.

Building Safety Division: The Building Safety Division provided standard comments.

Water Services Department: The Water Services Department provided standard comments.

Engineering Department: The Engineering Department had no comments.

FINDINGS

1. Staff finds that the proposed Conditional Use Permit for a restaurant with drive-through does comply with the intent of the approved Waddell Property-Marley Park Planned Area Development case PAD00-091.
 - **The PAD provides for general/neighborhood commercial uses at the project site. The proposed project is consistent with the list of commercial uses.**
2. Staff finds that the proposed use is consistent with the policies, objectives, and land use map of the Surprise General Plan and is consistent with the purpose of the zoning district in which the site is located.
 - **The Marley Park Planned Area Development was approved with a designated commercial land use on the subject corner. The General Plan 2020 land use map illustrates a low-density residential land use classification, which allows for commercial and residential uses.**
3. Staff finds that the proposed use will not be materially detrimental to the health, safety, or general welfare of persons residing or working within the neighborhood of the proposed use, or have an adverse effect on the property, adjacent properties, the surrounding neighborhood, or the city when consideration is given to the character and size of the use and hours of operation.
 - **The subject restaurant with drive-through is set back substantially from any future residential dwellings. Impacts on noise, smell, and lighting are found to be negligible.**
4. Staff finds that the proposed site is adequate in size and shape to accommodate the intended use and requirements are met for the PAD zoning district, including but not limited to: setbacks, walls, landscaping, and buffer yards;
 - **Staff found that all setbacks, landscaping requirements, walls, and buffers comply with the approved Marley Park Planned Area Development. The buildings fit appropriately within the parcel.**
5. Staff finds that the proposed site has adequate access to public streets and highways to carry the type and quantity of traffic which may be generated by the subject use, and that on-site circulation is adequate to permit driveways, parking, and loading requirements in a manner which is safe and efficient.
 - **There is existing access from Waddell Road to the north and Litchfield Road to the east. The Traffic Division has reviewed the Traffic Impact Analysis and is recommending approval of all ingress/egress points shown on the site plan. The adjacent arterials are designed to contain the traffic generated from the commercial site.**

6. Staff finds that the adequate conditions or stipulations have been incorporated into the approval of the conditional use permit to insure that any anticipated detrimental effects can be mitigated.
- **Stipulations have been added to this report. Staff is recommending the project for approval, subject to all the stipulations.**
7. Review of conditional use permits shall include, but not limited to, examination of the following factors, where applicable.
- a. Ingress and egress to property and proposed structures, pedestrian and vehicular circulation with particular reference to fire protection.
 - **The subject project has two points of immediate access from Litchfield Road and Waddell Road. Additional internal access can be utilized through the rest of the Marley Park Square master site.**
 - b. Off-street parking and loading.
 - **It was reviewed and found the project has enough parking to sustain the proposed use.**
 - c. Impact on public services, including schools, recreation, and utilities.
 - **The site is substantially set back from any residential dwelling. Impacts on noise, smell, and lighting were reviewed and found to be of minimal impact.**
 - d. Screening and buffering of uses.
 - **The site has adequate buffering and screening to minimize impacts to surrounding uses. Other commercial buildings, parking, and landscaping separate this site from the adjacent residential community.**
 - e. Signage
 - **Signage design and placement will be formally reviewed and approved at the time of building permit.**
 - f. Exterior lighting with reference to adjacent properties.
 - **Lighting was reviewed by staff. It was found that all foot-candles will be at zero along any adjacent residential or commercial property lines.**
 - g. Storm-water retention and landscaping.
 - **The Engineering Department reviewed the retention and drainage on the site and found it to be in compliance with the Surprise Municipal Code. The landscaping proposed meets the city's standards regarding species, quantity, placement, and size.**
 - h. Site and building design.
 - **It is of staff's opinion that the project is designed appropriately and is consistent with the Marley Park Planned Area Development and Planning and Design Guidelines.**

- i. Drainage or nuisance arising from noise, smoke, odor, dust, vibration, or illumination.
 - **The Engineering Department reviewed the retention and drainage on the site and found it to be in compliance with the Surprise Municipal Code. Environmental impacts were reviewed and shall be checked at the time of Certificate of Occupancy in reference to dust control.**
- j. Volume or character of traffic.
 - **A Traffic Impact Analysis was reviewed and approved by staff. It was found that the existing streets and proposed access will not negatively impact circulation. The surrounding streets are designed to handle the capacity generated from the proposed use.**

Granting of a conditional use permit:

No conditional use permit shall be given for a use that is not listed in Chapter 125 as a conditional use or is not deemed by the commission as equivalent to a listed conditional use in the particular district in which it is proposed to be located. The Planning and Zoning Commission may place any conditions which are deemed necessary to mitigate potential impacts and insure compatibility of the use with surrounding development and the city as a whole, and which are required to preserve the public health, safety, and general welfare. These conditions may include but are not limited to:

1. Requirements for setbacks, open space, buffers, fences or walls, and landscaping to mitigate conflicts from visual, noise, lighting, and similar impacts associated with the use.
 - a. **Setbacks, open space, buffers, fences/walls, and landscaping have all been reviewed and found to comply with the approved Marley Park Planned Area Development.**
2. Dedication of street or other public rights-of-way, and control in location of access points and on-site circulation to mitigate traffic impacts from increased volumes or nature of traffic activity associated with the use.
 - a. **Existing rights-of-way are adjacent and north of the subject parcel. No further rights-of-way are requested at this time.**
3. Regulations pertaining to hours of operation, methods of operation, and phasing of the development of the site to mitigate impacts to surrounding properties and neighborhoods.
 - a. **No specific conditions are necessary to mitigate impacts.**

The commission may grant the application by motion, imposing such conditions and safeguards as it deems necessary, or it may deny the application. If an application is denied, the denial shall constitute a finding that the applicant has not shown that the conditions required for approval exist.

STIPULATIONS

REQUIRED ACTIONS. The applicant and/or owner shall comply with the following stipulations of Case CUP08-083, Pad C at Marley Park Square.

- a. All parcel numbers shall be active prior to submittal of any building permit and shall stay active throughout the construction process until a Letter of Compliance and/or Certificate of Occupancy is issued. Any subdivision or lot split shall be reviewed and approved by the City of Surprise prior to recordation with Maricopa County.
- b. Applicant shall provide a revised site plan that demonstrates in the drive-through aisle a minimum of 60 feet of stacking space between the speaker/order box and the entrance to the drive-through aisle.

Vicinity Map





DEPARTMENT OF THE AIR FORCE
AIR EDUCATION AND TRAINING COMMAND

24 April 2008

Mr. James R. Mitchell
Director, Community Initiatives Team
56th Fighter Wing
14185 West Falcon Street
Luke AFB AZ 85309-1629

Ms. Carol Dager
City of Surprise Planning Department
12425 West Bell Road
Surprise AZ 85374

Re: Case #CUP08-083 Marley Park New Retail PAD C

Dear Ms. Dager

Thank you for the opportunity to provide comments on the Conditional Use Permit Application for the Marley Park New Retail PAD C. PAD C is located on 0.93 gross acres at the southwest corner of Litchfield and Waddell Roads. The application calls for the construction of a single-story 4,228 square foot building for retail use. This site is located inside the 1988 JLU5 65 Ldn, "high noise or accident potential zone," as defined by A.R.S. § 28-8461 and is located within the "territory in the vicinity of a military airport," also defined by A.R.S. § 28-8461.

As described, this Commercial building will not negatively impact the flying operations at Luke AFB. However, since a tenant has not been identified for this PAD, Luke AFB requests the opportunity to provide additional comments when a tenant has been established, to ensure the use follows the table of compatible uses identified by A.R.S. § 28-8481 for retail located inside the 65 Ldn. Since this area is located within the "territory in the vicinity of a military airport," it will be subjected to high noise from approximately 165 over flights a day, with some as low as 1,500 feet above ground level. We recommend you review the sound attenuation requirements found in A.R.S. § 28-8482. In addition, a strong notification program on the part of the applicant would be essential to inform potential tenants about Luke AFB operations. We also recommend a review of the Luke AFB web site at <http://www.luke.af.mil>, Community Interests and Community Initiatives links, for further information.

If there are any questions, please contact my Community Planner, Mr. Bob Dubsy, at (623) 856-6195.

Sincerely

A handwritten signature in black ink, appearing to read "James R. Mitchell", is written over a horizontal line.

JAMES R. MITCHELL

cc:

Colonel Henry M. Reed III, Vice Commander, 56th Fighter Wing



Arizona Department of Transportation
Intermodal Transportation Division

206 South Seventeenth Avenue Phoenix, Arizona 85007-3213

Janet Napolitano
Governor

Victor M. Mendez
Director

Sam Elters
State Engineer

May 8, 2008

Ms. Carol Dager
City of Surprise Planning Department
12425 West Bell Road, Suite D-100
Surprise, Arizona 85374

RE: **Marley Park Retail** / CUP08-083/ 13953 W. Waddell Road

Dear Ms. Dager:

Thank you for your notification regarding the Use Permit on the above referenced subject. After a complete review, we have concurred that at this time the proposed project will not have impact on our highway facilities in this area.

ADOT does reserve the right to review and comment any further development plans, changes and or additions for this site, as to any impact they may have on the State Highway System.

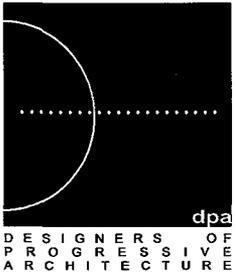
Should you have any questions, you may contact me at 602-712-8876, or in writing at 205 S. 17th Avenue, Right of Way Project Management Section, MD 612E, Phoenix, Arizona 85007. Thanking you in advance for your cooperation.

Sincerely,

A handwritten signature in cursive script that reads "Annette Close".

Annette Close
Administrative Assistant III/Red Letter Coordinator
Right of Way Project Management
aclose@azdot.gov





RECEIVED

JUN 26 2008

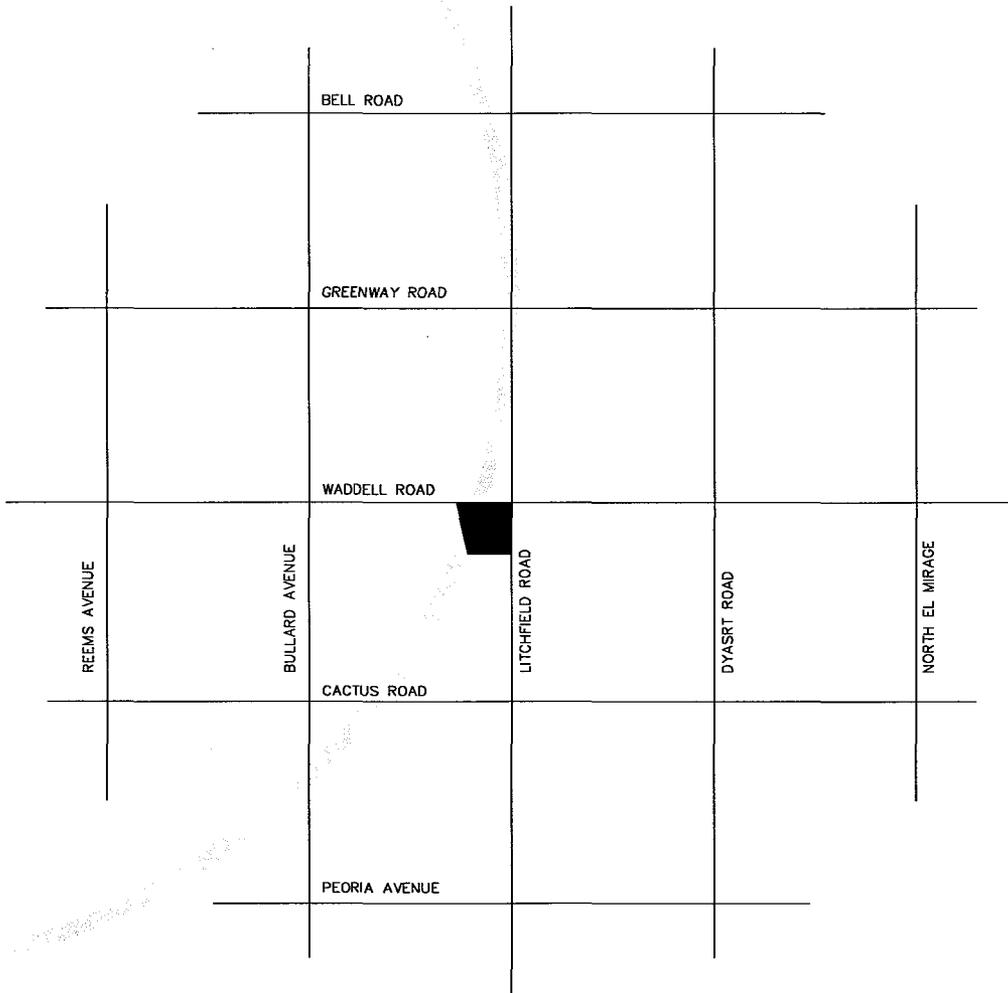
COMMUNITY
DEVELOPMENT

25 June 2008

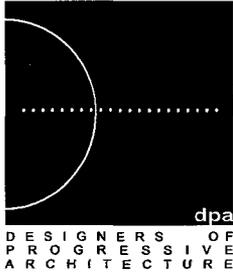
Planner, City of Surprise
12425 W Bell Road
Surprise, Arizona 85374-9002

3-MILE RADIUS VICINITY MAP

New Retail Pad Building – Litchfield/Waddel



TAC Narrative.doc



Location and project description:

This project is located at the SWC of Litchfield Road and Waddell Road within the City of Surprise, Arizona. The parcel is listed as 501-39-008 –A within the Maricopa County Assessor. Pad C is a stand-alone property within a proposed commercial development. The site is currently zoned as P.A.D., (with an underlying commercial zoning) and will not require any rezoning to permit the construction of a new retail pad building.

Historical Data:

This corner site, located at the intersection of two major arterial roads, was reserved for commercial development as part of the Marley Park PAD Master Plan. In the Master Plan, the site was situated to allow for neighborhood vehicular and pedestrian access to alleviate the need for entering onto a major arterial road from the neighborhood to get to the commercial area. The site was envisioned as a neighborhood commercial center, serving both the Marley Park PAD residences and surrounding neighborhoods.

Operational aspect of use:

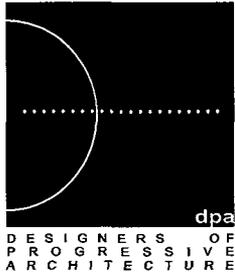
The Pad C site is part of an overall development proposal prepared by Marley Park L.L.L.C., which consists of two major anchors, several retail shops, a three-story office, several garden offices and independent pads along the frontage of Litchfield and Waddell Roads. The proposed use of the new pad building is retail. This use is approved based on the underlying commercial zoning district. Based on the proposed uses of the site, ample surface parking is provided according to the current parking ratios indicated in the Surprise Zoning Ordinance. All surface parking will be screened from street and adjacent residential view by the buildings on site or site screening walls, as well as the existing open space buffers. The current developer's site plan has TAC and developer approval, as well as site and building permits.

Infrastructure:

Currently there are eight access points to the overall site. Four are located from Waddell Road to the north, and four site entrances are from Litchfield Road to the east. These entrances have been located and detailed per City of Surprise engineering standards. City Services currently exist in Waddell Road for water, sewer and fire protection. Retention capacity for storm water will be provided on site. An underground retention system and small street side retention basins along the Waddell Road frontage will accommodate the commercial center's surface runoff. All major utilities will be brought to the retail pad limits under the overall center construction. Garbage enclosures will be provided as shown on the attached site plan. The extension of services into the proposed site is shown on the site and civil engineering plans submitted with this application.

Phasing:

NA



Project and Design Information:

Overall Site

All of the structures located within the commercial development have been designed with a central architectural theme and will be concordant throughout the proposed development. Shops and pad buildings are positioned forward on the site to provide a building face on the major arterial roads, with parking screened behind buildings or site screening walls. There are three distinct zones within the commercial development. The garden offices are located on the southwest corner of the site. The offices provide direct pedestrian access from the west and the south. The three-story office sits on the southeast corner of the site. There is a proposed outdoor plaza that frames the entry into the three-story office from the street side. The remainder of the site is retail shops and pads. An outdoor plaza is proposed between Shops D and E to allow for vibrant outdoor activity and to provide a pedestrian connection from the frontage along Litchfield Road. Major Shops A and B are visually the largest buildings in the retail portion of the commercial center. They are designed to be more prominent focal points of the center, to help draw people into the site and orient them to the provided parking. Key corners of all of the shops buildings are strengthened by prominent vertical elements with overhanging roof structure, providing a strong central design theme to the building ensemble. Metal and wood trellis and awnings provide variety and encourage eye movement along the building façades.

New Retail Pad Building

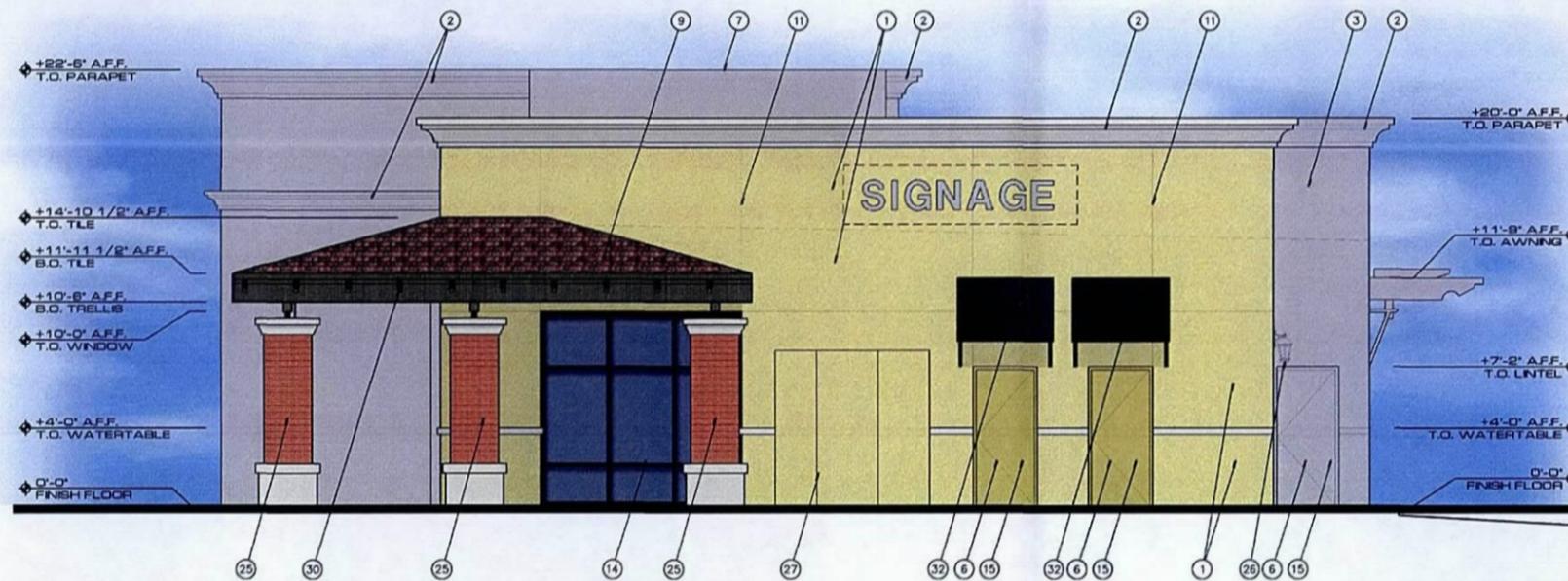
The proposal of the new retail pad compliments the overall development's design theme with its use of materials, strong colors, and a hierarchy of masses. The exterior material palette is composed of smooth texture E.I.F.S. over framed structure, roof tiles, and brick. The building placement screens parking from the street perspective thus producing an inviting pedestrian oriented building. The landscape will screen the building and the drive thru elements from the street perspective, and also give a pleasant view for all the surrounding residents. To provide visual interest from the street perspective trellis or awnings adorn every face of the building. The main entry utilizes a covered extension from the building that takes advantage of the diverse material palette with its use of roof tile to visually tie the most prominent vertical element on the building to the rest of the development. This arrangement will provide a recessed entry as well as strong shadow lines and shading for the main entry storefront system. The exterior window openings of the retail pad are generous in size to provide views into and out of the building. The openings are recessed as well to provide shadow lines and shading coefficient. The architectural design of the retail pad is intended to blend with and compliment the proposed retail portion of the commercial development south of the proposed pad. It is our belief that the utilization of these materials will allow the project to be architecturally harmonious with the overall development.

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NORTH ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

KEY NOTES

THE KEY NOTES LISTED ARE REPRESENTATIVE OF THE PROJECT AS A WHOLE. NOT ALL KEYNOTES APPLY TO EVERY DRAWING. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL WORK WITH THE APPLICABLE TRADES.

NOTES:	SPECIFICATION SECTION:
1. 1" EIFS WITH SMOOTH FINISH, I.C.B.O. REPORT# ESR-1807.SEE SPECIFICATIONS. PAINT DEC781, 'COO-4SE.'	00 72 40
2. 1" EIFS WITH SMOOTH FINISH, I.C.B.O. REPORT# ESR-1807.SEE SPECIFICATIONS. PAINT DEB227, 'MUSLIN.'	00 72 40
3. 1" EIFS WITH SMOOTH FINISH, I.C.B.O. REPORT# ESR-1807.SEE SPECIFICATIONS. PAINT DEB223, 'MISSION TRAIL.'	00 72 40
4. 1" EIFS WITH SMOOTH FINISH, I.C.B.O. REPORT# ESR-1807.SEE SPECIFICATIONS. PAINT DEA176, 'IRON RIVER.'	00 72 40
5. 1" EIFS WITH SMOOTH FINISH, I.C.B.O. REPORT# ESR-1807.SEE SPECIFICATIONS. PAINT DEB11, 'SMORES.'	00 72 40
6. 1" EIFS WITH SMOOTH FINISH, I.C.B.O. REPORT# ESR-1807.SEE SPECIFICATIONS. PAINT DE726, 'ADOBE.'	00 72 40
7. LINE OF ROOF BEYOND.	
8. LINE OF POP-OUT ARCH.	
9. CONCRETE ROOFING TILES.	07 32 18
10. CONTROL JOINT.	08 24 00
11. ACCENT REVEAL.	08 24 00
12. CORNICE TYPE 'A'.	08 24 00
13. CORBEL AT ARCH.	08 24 00
14. ALUMINUM STOREFRONT SYSTEM.	08 41 13
15. HOLLOW METAL DOOR AND FRAME.	07 72 00
16. ROOF VENT TYPE 'V2'.	05 50 00/ 06 10 00
17. SUSPENDED WOOD AND STEEL CANOPY.	
18. 24" HIGH LETTER SIGNAGE LOCATION. UNDER SEPARATE PERMIT.	
19. BUILDING ADDRESS SIGN LOCATION PER CITY OF SURPRISE STANDARDS.	
20. LATTICE GRILLE.	05 50 00
21. FIRE DEPARTMENT CONNECTION.	21 00 00
22. KNOX BOX.	10 44 00
23. ROOF DRAIN SCUPPER.	05 50 00
24. LANDSCAPE TRELLIS.	05 50 00
25. BRICK VENEER COLUMN.	04 21 13
26. SURFACE MOUNTED LIGHT FIXTURE.	26 50 00
27. S.E.S. CABINET.	26 20 00
28. WOOD POST COLUMN.	08 10 00
29. GLUE-LAM ROOF BEAM.	08 10 00
30. OUTRIGGERS.	08 10 00
31. MASONRY CONTROL JOINT.	04 05 23
32. METAL ROOF AWNING.	08 10 00/ 07 81 00
33. SCREEN WALL.	04 22 00
34. 8"X4"X12" HOLLOW BRICK STRETCHER, COLOR #90.	04 21 13

CHAMPION
NEW RETAIL BLDG-PAD C
MARLEY PARK SQUARE
13953 WADDELL ROAD
SURPRISE, ARIZONA 85376

PACKAGE
50



revised 10 June 2010

dpa
DESIGNERS OF PROGRESSIVE ARCHITECTURE
 7272 E. Indian School Rd. Ste 314
 Scottsdale, Arizona 85251
 telephone 480 941 4222
 www.dpaarchitects.com

drawn by: *yan*
 project no: 08077
 date: 2 may 2008

A
3.1

BUILDING ELEVATIONS
APN # 501-38-008A
PLAT # PP07-140

KEY NOTES

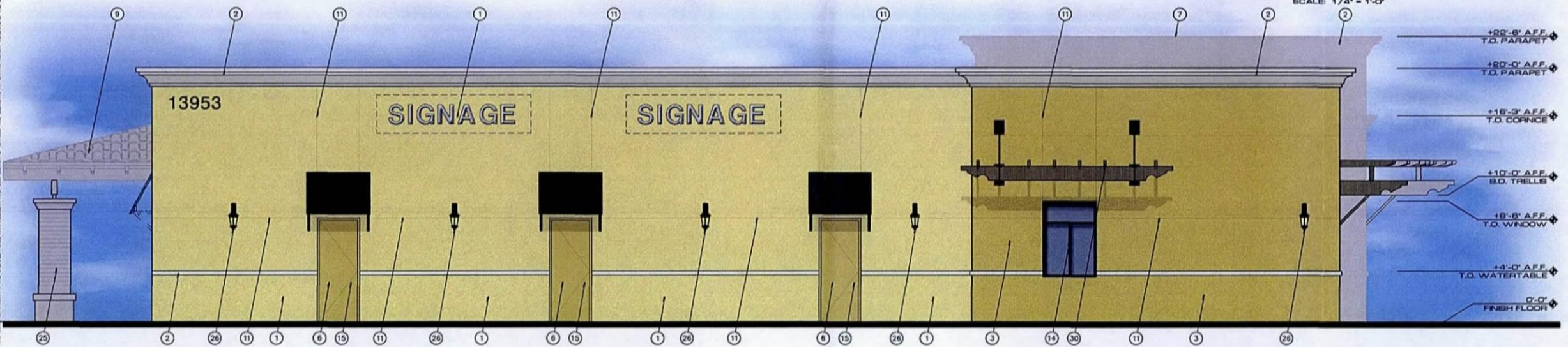
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NOTES:	SPECIFICATION SECTION:	NOTES:	SPECIFICATION SECTION:	NOTES:	SPECIFICATION SECTION:	NOTES:	SPECIFICATION SECTION:
1. 1" E.F.S. WITH SMOOTH FINISH. I.C.B.O. REPORT# ESR-1807.SEE SPECIFICATIONS. PANT DEC781, 'COCHISE.'	00 72 40	5. 1" E.F.S. WITH SMOOTH FINISH. I.C.B.O. REPORT# ESR-1807.SEE SPECIFICATIONS. PANT DE811, 'SMORES.'	00 72 40	13. CORBEL AT ARCH.	08 24 00	21. FIRE DEPARTMENT CONNECTION.	21 00 00
2. 1" E.F.S. WITH SMOOTH FINISH. I.C.B.O. REPORT# ESR-1807.SEE SPECIFICATIONS. PANT DE827, 'MUSLIN.'	00 72 40	6. 1" E.F.S. WITH SMOOTH FINISH. I.C.B.O. REPORT# ESR-1807.SEE SPECIFICATIONS. PANT DE728, 'ADOBE.'	00 72 40	14. ALUMINUM STOREFRONT SYSTEM.	08 41 13	22. KNOX BOX.	10 44 00
3. 1" E.F.S. WITH SMOOTH FINISH. I.C.B.O. REPORT# ESR-1807.SEE SPECIFICATIONS. PANT DE823, 'MISSION TRAIL.'	00 72 40	7. LINE OF ROOF BEYOND.		15. HOLLOW METAL DOOR AND FRAME.	07 72 00	23. ROOF DRAIN SCUPPER.	05 50 00
4. 1" E.F.S. WITH SMOOTH FINISH. I.C.B.O. REPORT# ESR-1807.SEE SPECIFICATIONS. PANT DEA175, 'IRON RIVER.'	00 72 40	8. LINE OF POP-OUT ARCH.		16. ROOF VENT TYPE 'V2'.	05 50 00/ 06 10 00	24. LANDSCAPE TRELLIS.	05 50 00
		9. CONCRETE ROOFING TILES.	07 32 18	17. SUSPENDED WOOD AND STEEL CANOPY.		25. BRICK VENEER COLUMN.	04 21 13
		10. CONTROL JOINT.	09 24 00	18. 24" HIGH LETTER SIGNAGE LOCATION. UNDER SEPARATE PERMIT.		26. SURFACE MOUNTED LIGHT FIXTURE.	26 50 00
		11. ACCENT REVEAL.	09 24 00	19. BUILDING ADDRESS SIGN LOCATION PER CITY OF SURPRISE STANDARDS.		27. S.E.S. CABINET.	26 20 00
		12. CORNICE TYPE 'A'.	09 24 00	20. LATTICE GRILLE.	05 50 00	28. WOOD POST COLUMN.	06 10 00
						29. GLUE-LAM ROOF BEAM.	08 10 00
						30. OUTRIGGERS.	06 10 00
						31. MASONRY CONTROL JOINT.	04 05 23
						32. METAL ROOF AWNING.	06 10 00/ 07 81 00
						33. SCREEN WALL.	04 22 00
						34. 8"X4"X12" HOLLOW BRICK STRETCHER, COLOR #80.	04 21 13

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WEST ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"

CHAMPION

NEW RETAIL BLDG-PAD C
MARLEY PARK SQUARE
13883 WADDELL ROAD
SURPRISE, ARIZONA 85378



Approved 20 June 2010

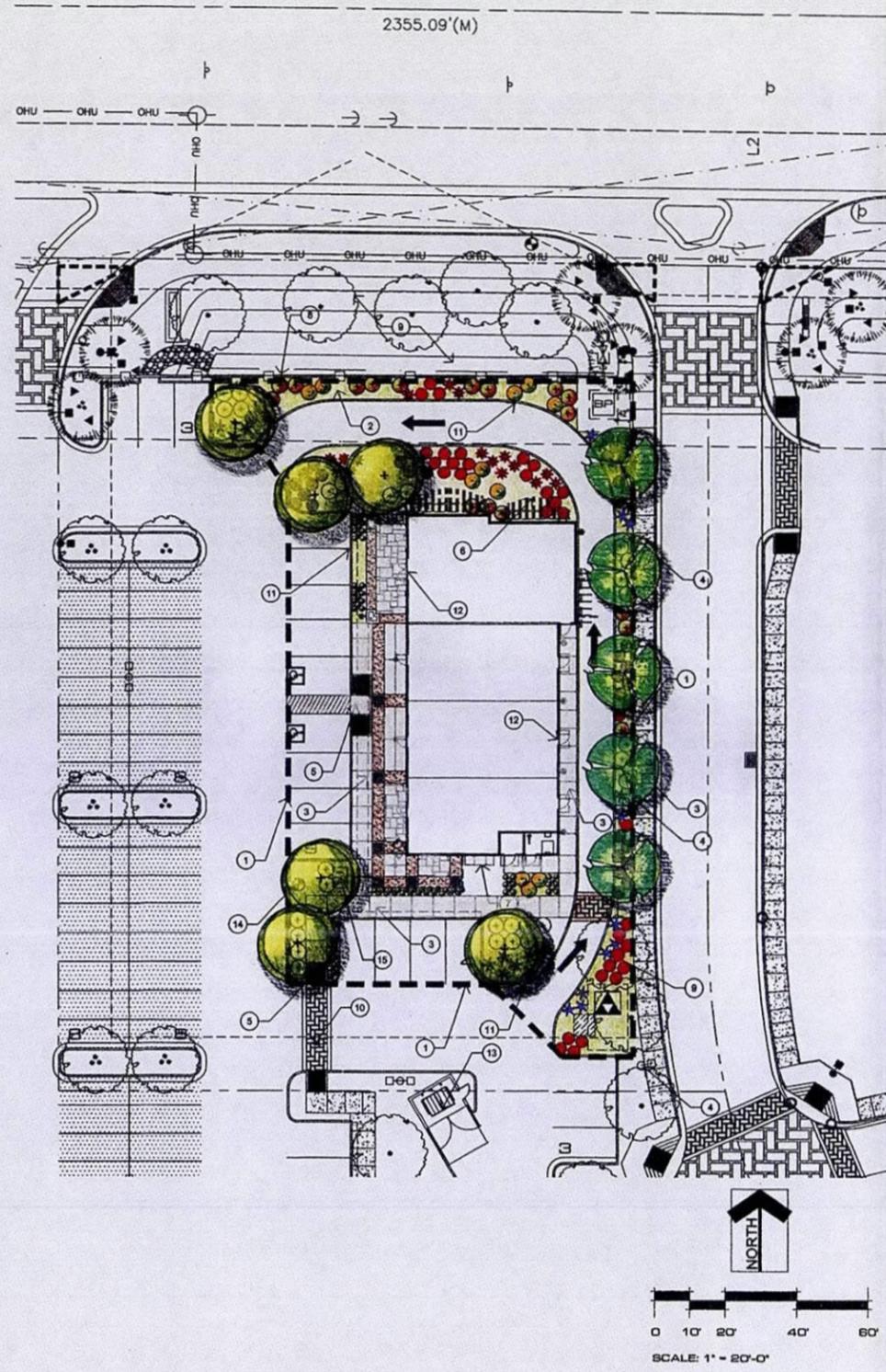
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www.dpaarchitects.com

drawn by: yan
project no: 00077
date: 2 may 2008



BUILDING ELEVATIONS
APN # 501-39-008A
PLAT # PP07-140

THIS PLAN IS A PRELIMINARY DESIGN AND IS SUBJECT TO CHANGE WITHOUT NOTICE. THE DESIGNER ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE DESIGNER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED HEREON. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE DESIGNER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED HEREON.



PLANT LEGEND

SYMBOL	QUANTITY	COMMON NAME	SCALES	REMARKS
	5	DESERT MUSEUM PARKINSONIA HYBRID	36" BOX	HIGH BREAKING
	8	HERITAGE LIVE OAK QUERCUS VIRGINIANA	36" BOX	STANDARD TRUNK
	18	VALENTINE BUSH EREMOPHILA MACULATA	5 GALLON	
	45	GREEN CLOUD SAGE LEUCOPHYLLUM V. 'GREEN CLOUD'	5 GALLON	
	25	RED YUCCA HESPERALOE PARVIFLORA	5 GALLON	
	18	TWIN FLOWERED AGAVE AGAVE GEMINIFLORA	5 GALLON	
	75	GOLD MOUND LANTANA LANTANA SP.	1 GALLON	50 / 50 MIX
	78	KATE RUELLIA RUELLIA BRITONIANA 'KATE'	1 GALLON	
		DECOMPOSED GRANITE COLOR: TABLE MESA	1/2" SCREENED	GRANITE TO MATCH COLOR AND SIZE OF ADJACENT DEVELOPMENT
		BROWN	2" MIN DEPTH	

KEYNOTES

- 1 LIMIT OF CONSTRUCTION
- 2 DECOMPOSED GRANITE TYP. SEE LEGEND
- 3 5'-0" WIDE MINIMUM CONCRETE SIDE WALK WHERE WALK OCCURS ADJACENT TO PARKING 7'-0" MINIMUM TO ACCOMMODATE 2' OVERHANG
- 4 POLE LIGHT - SEE ELECTRICAL
- 5 ACCESSIBLE RAMP - SEE CIVIL
- 6 ARCHITECTURAL STRUCTURE OVER-HEAD
- 7 BES LOCATION
- 8 EXISTING SCREEN WALL TO REMAIN
- 9 EXISTING LANDSCAPE TO REMAIN
- 10 DECORATIVE CROSSWALK - SEE ARCH PLANS
- 11 8" CURB - SEE CIVIL
- 12 BUILDING ENTRY
- 13 REFUSE CONTAINER - BY OTHERS
- 14 FIRE HYDRANT
- 15 BICYCLE RACK

SHEET INDEX

SHEET NUMBER	DESCRIPTION
L.1	LANDSCAPE PLAN
L.2	IRRIGATION PLAN
L.3	LANDSCAPE DETAILS
L.4	IRRIGATION DETAILS
L.5	LANDSCAPE SPECS
L.6	IRRIGATION SPECS

GENERAL NOTES

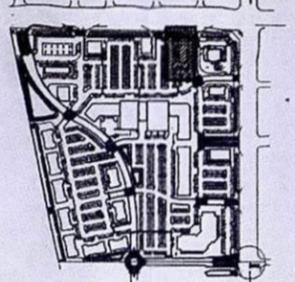
- A. ALL CHANGES TO BE APPROVED BY THE CITY OF SURPRISE COMMUNITY DEVELOPMENT DEPARTMENT.
- B. SIGNS REQUIRE A SEPARATE PERMIT.
- C. ALL UTILITY BOXES AND STRUCTURES ARE TO BE SCREENED FROM VIEW.
- D. PLANT MATERIAL IS NOT TO BE LOCATED WITHIN 3 FEET OF ANY FIRE HYDRANT OR FIRE DEPARTMENT CONNECTION.
- E. TREES IN PAVED AREAS ARE TO HAVE DEEP ROOT BARRIERS.
- F. ALL PLANT MATERIAL SIZES ARE TO BE CONSISTANT WITH ANA STANDARDS.
- G. ALL PLANT MATERIAL LOCATED WITHIN AASHTO VISIBILITY TRIANGLES ARE TO BE MAINTAINED NO HIGHER THAN 2 FEET HIGH, AND HANG NO LOWER THAN 7 FEET FROM GROUND ELEVATION.

OVERALL SITE DATA

SITE AREA	1,408,243 SF. (32.28 ACRES)
TOTAL BUILDING AREA	278,182 SF.
% COVERAGE	19.34%
% OPEN SPACE	25.5%
% LANDSCAPE	35.3%
REGULAR PARKING PROVIDED	882 SPACES
REGULAR PARKING REQUIRED	1,108 SPACES
ACCESSIBLE PARKING PROVIDED	60 SPACES
ACCESSIBLE PARKING REQUIRED	28 SPACES
COMPACT SPACES PROVIDED	347 SPACES
COMPACT SPACES ALLOWED (30%)	352 SPACES
TOTAL PARKING PROVIDED	1,268 SPACES
PARKING RATIO	4.94 / 1,000

PAD BUILDING C

SITE AREA	40,412 S.F. (0.93 ACRES)
TOTAL BUILDING AREA	4,228 S.F.
% COVERAGE	10.4%
REGULAR PARKING PROVIDED	17 SPACES
REGULAR PARKING REQUIRED	25 SPACES
RESTURANT (845.8 S.F. X .85/50	11 SPACES
RETAIL (3382.4 S.F. /250)	14 SPACES
ACCESSIBLE PARKING PROVIDED	2 SPACES
ACCESSIBLE PARKING REQUIRED	1 SPACES
COMPACT SPACES PROVIDED	32 SPACES
COMPACT SPACES ALLOWED (30%)	8 SPACES
PARKING RATIO	5.58 / 1,000



OVERALL DEVELOPMENT MAP N.T.S.



VICINITY MAP N.T.S.

CHAMPION
NEW RETAIL BLDG-PAD C
MARLEY PARK SQUARE
13853 WADDELL ROAD
SURPRISE, ARIZONA 85378

PACKAGE 50



EXP: 03/31/2010
dpca
DESIGNERS OF PROFESSIONAL ARCHITECTURE
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 scottsdale, arizona 85251
 telephone 480 941 4222
 www.dpsearchitects.com

the design element
 landscape architecture

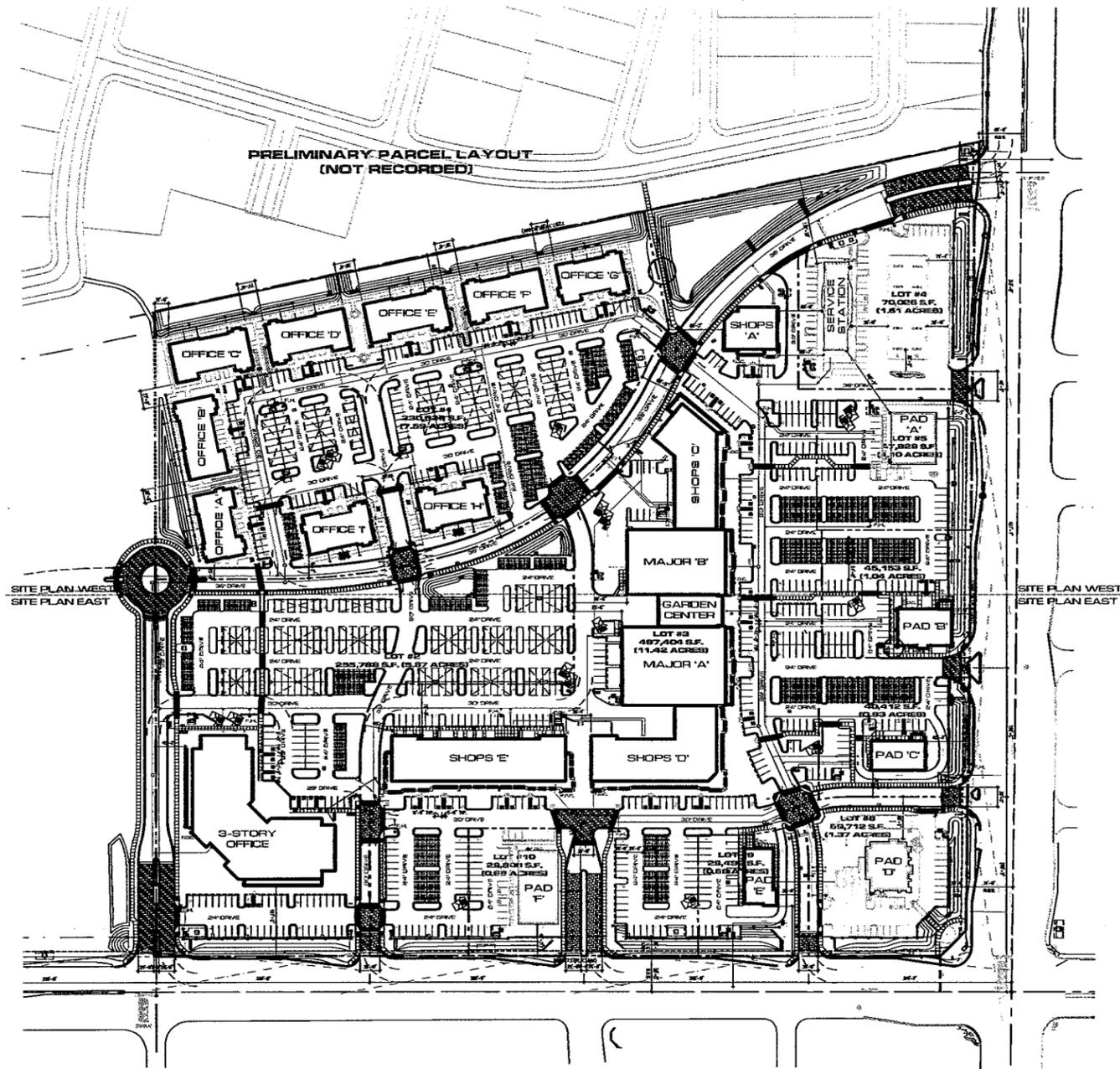
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 1230 west washington street
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 tempe, arizona 85281
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 www.thedesignelement.com

drawn by: JA
 project no: 08077
 date: 2 may 2008

LANDSCAPE PLAN
CU08-083
APN # 801-39-008C
PLAT # PP07-140
#CS07-140



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PRELIMINARY PARCEL LAYOUT
(NOT RECORDED)

GENERAL NOTES

- AREAS PROVIDED ARE CALCULATED PER 1996 BUILDING OWNERS AND MANAGERS ASSOCIATION STANDARDS. THIS AREA IS COMPUTED BY MEASURING TO THE OUTSIDE FINISHED SURFACE OF PERMANENT OUTER BUILDING WALLS, WITHOUT ANY DEDUCTIONS.
- ALL PARKING IS UNDER A CROSS ACCESS AGREEMENT.
- ALL PROPOSED DEVELOPMENT PHASES DEPICTED ON THIS SITE PLAN SHALL BE PROVIDED A MINIMUM OF TWO (2) SEPARATE POINTS OF UNOBSTRUCTED ACCESS WITH A MINIMUM WIDTH OF TWENTY FEET AND CAPABLE OF SUPPORTING 75,000 POUNDS IN ALL WEATHER CONDITIONS, INSTALLED AND MAINTAINED PURSUANT TO THE REQUIREMENTS OF THE CITY OF SURPRISE.
- ALL SIGNS AND CENTER ID. ELEMENTS APPROVED THROUGH SEPARATE REVIEW.
- ALL SCREEN WALLS TO BE A MAXIMUM HEIGHT OF 3'-0".
- ALL ACCESS ROADS AND ALL TURNING RADII, INCLUDING PARKING AISLE ISLANDS SHALL COMPLY WITH REQUIREMENTS OF WB-50.
- ALL ACCESS WAYS INTO THE CONSTRUCTION SITE SHALL HAVE THE REQUIRED FIRE DEPARTMENT ACCESS SIGNAGE INSTALLED UNTIL THE ROADS OR THE ACCESS INTO THE AREA IS HARD SURFACED.
- THREE POINTS OF ACCESS, 26 FEET WIDE, ONE WITHIN A MIN. 15 FEET AND A MAX OF 30 FEET FROM BUILDINGS IN EXCESS OF 30 FEET IN HEIGHT POSITIONED PARALLEL TO THE ENTIRE MAIN ENTRANCE SIDE OF THE BUILDING AS REQUIRED BY INTERNATIONAL FIRE CODE APPENDIX D105.
- FIRE ACCESS ROUTES SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE EXTERIOR WALLS AND WITHIN 150 FEET TO THE CENTER OF THE FURTHEST ROOMS ON THE SECOND LEVEL AS MEASURED ALONG NORMAL PEDESTRIAN ROUTES.
- ALL FIRE ACCESS LANES SHALL BE IDENTIFIED BY FIRE LANE SIGNS AND/OR FIRE LANE STRIPING PER THE CITY OF SURPRISE FIRE DEPARTMENT EMERGENCY ACCESS GUIDELINES.



OVERALL SITE PARKING DATA

ACCESSIBLE PARKING PROVIDED	62 SPACES
ACCESSIBLE PARKING REQUIRED	28 SPACES
REGULAR PARKING PROVIDED	856 SPACES
REGULAR PARKING REQUIRED	347 SPACES
COMPACT SPACES PROVIDED	347 SPACES
COMPACT SPACES ALLOWED (30%)	352 SPACES
TOTAL PARKING PROVIDED	1,263 SPACES
TOTAL PARKING REQUIRED	1,108 SPACES
PARKING RATIO	4.94 / 1,000
TOTAL COVERED PARKING PROVIDED	228 SPACES

3 STORY OFFICE PARKING DATA

REGULAR PARKING PROVIDED	231 SPACES
REGULAR PARKING REQUIRED	248 SPACES
ACCESSIBLE PARKING PROVIDED	10 SPACES
ACCESSIBLE PARKING REQUIRED	8 SPACES
COMPACT SPACES PROVIDED	71 SPACES
COMPACT SPACES ALLOWED (30%)	74 SPACES
PARKING RATIO (BASED ON L.F.A. OF 75,000 S.F.)	4.73 / 1,000
TOTAL PARKING SPACES PROVIDED	312 SPACES
COVERED PARKING PROVIDED	126 SPACES

RETAIL PARKING DATA (INCLUDES PADS)

REGULAR PARKING PROVIDED	437 SPACES
REGULAR PARKING REQUIRED	646 SPACES
ACCESSIBLE PARKING PROVIDED	36 SPACES
ACCESSIBLE PARKING REQUIRED	13 SPACES
COMPACT SPACES PROVIDED	192 SPACES
COMPACT SPACES ALLOWED (30%)	192 SPACES
PARKING RATIO	4.64 / 1,000
TOTAL PARKING SPACES PROVIDED	665 SPACES
COVERED PARKING PROVIDED	14 SPACES

GARDEN OFFICE PARKING DATA

REGULAR PARKING PROVIDED	188 SPACES
REGULAR PARKING REQUIRED	214 SPACES
ACCESSIBLE PARKING PROVIDED	16 SPACES
ACCESSIBLE PARKING REQUIRED	7 SPACES
COMPACT SPACES PROVIDED	84 SPACES
COMPACT SPACES ALLOWED (30%)	86 SPACES
PARKING RATIO	5.58 / 1,000
TOTAL PARKING SPACES PROVIDED	288 SPACES
COVERED PARKING PROVIDED	68 SPACES

OWNER/DEVELOPER

MP PARK SQUARE LLLP,
10450 NORTH 74TH STREET, SUITE 100
SCOTTSDALE, ARIZONA 85258
MICHAEL WECHSLER
480.751.5197

LEGEND

- REPRESENTS COVERED PARKING SPACES
- REPRESENTS 8'-0" WIDE COMPACT SPACES

OVERALL BUILDING AREA

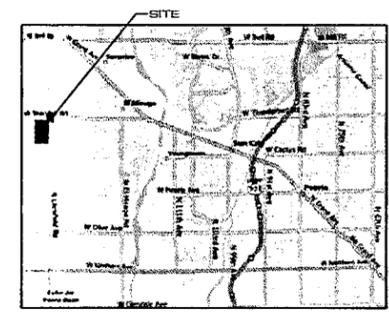
SITE AREA	1,406,243 S.F. (32.28 ACRES)
TOTAL BUILDING AREA	278,162 S.F.

RETAIL BUILDING AREA

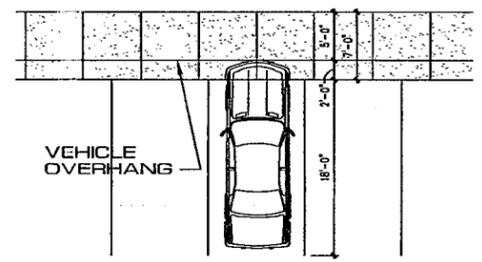
SERVICE STATION	5,544 S.F.
PAD A	5,500 S.F.
PAD II	5,365 S.F.
PAD I	3,946 S.F.
PAD I	4,479 S.F.
PAD I	4,197 S.F.
PAD I	7,000 S.F.
SHOP A	5,170 S.F.
SHOP II	12,535 S.F.
MAJOR II	15,242 S.F.
GARDEN CENTER	5,000 S.F.
MAJOR A	19,248 S.F.
SHOP III	16,180 S.F.
SHOP III	18,000 S.F.
TOTAL	127,426 S.F.

OFFICE BUILDING AREA

GARDEN OFFICE A	6,132 S.F.
GARDEN OFFICE B	7,170 S.F.
GARDEN OFFICE C	7,170 S.F.
GARDEN OFFICE D	9,194 S.F.
GARDEN OFFICE E	9,194 S.F.
GARDEN OFFICE F	7,170 S.F.
GARDEN OFFICE G	6,132 S.F.
GARDEN OFFICE H	6,132 S.F.
GARDEN OFFICE I	6,132 S.F.
3-STORY OFFICE	86,310 S.F.
TOTAL	150,736 S.F.



VICINITY MAP



S/W @ PARKING STALL

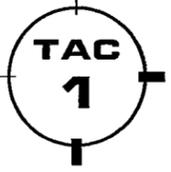
TAC # SP06-374

CHAMPION

MARLEY PARK SQUARE
 SWC LITCHFIELD AND WADDELL
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drawn by: btp
 project no: 06077
 date: 7 january 2008





NORTH ELEVATION



NORTH ELEVATION



WEST ELEVATION

EAST ELEVATION

**CITY OF SURPRISE
COMMUNITY DEVELOPMENT DEPARTMENT**

LPD08-146

**ANNEXATION POLICY MANUAL
2008 REVISION**

for:
The City of Surprise

**City Council Workshop:
Planning and Zoning Commission:
City Council Hearing Date:**

June 5, 2008
August 5, 2008
September 11, 2008

STAFF:

Janice See, AICP 623.222.3152

LOCATION:

Citywide

**DESCRIPTION OF
THE REQUEST:**

Approval of 2008 Revisions to the Annexation Manual

SUMMARY ANALYSIS:

Staff is requesting an amendment to the Annexation Policy Manual. The request is a result of input from a Mayor and City Council workshop on June 5, 2008.

SUGGESTED MOTION:

I move to approve LPD08-146, a text amendment to the Annexation Policy Manual.

annexed, the need and potential for geographic expansion of the city, the present and anticipated need for infrastructure and governmental services, and the relative capabilities of the city to provide municipal services. The Mayor and City Council are required to study the effects of annexation before taking action, since any additional revenue to be gained with annexation must be balanced with necessary expenditures to provide services to the annexed areas. To gain a better understanding of these impacts, the Mayor and City Council have directed staff to provide a fiscal impact analysis for all annexation types.

On the other side of the spectrum, people annexing into the city want to know the impact of annexation. The Mayor and City Council recognize the importance of governmental transparency. They have directed staff to provide disclosure statements that describe the full impact of annexation to those interested in becoming part of the city.

Conclusion:

Annexation has positive municipal aspects. It requires close monitoring and proactive, comprehensive long-range planning. An important criterion for the Mayor and City Council in authorizing an annexation is whether that annexation is balanced. Can the city provide services without any added income sources to the city? Adding a requirement to do a fiscal impact analysis with all annexations will allow the city to better understand if annexation is a sensible decision.

People considering annexation into the city deserve a clear description of services that will be provided after annexation. The disclosure statement will provide petitioners with that vital information. Together with the fiscal impact statement, the actual impacts of each annexation will be much more implicit.

Annexation Policy Manual



SURPRISE
ARIZONA

Community Development Department
12425 West Bell Road
Surprise, AZ 85374

Adoption
Amended
Amended

June 13, 2002
May 24, 2007

ACKNOWLEDGEMENTS

City Council Amendment *To be Determined, 2008*

City Council

Mayor Lyn Truitt; Vice Mayor Roy Villanueva
Richard Alton, Skip Hall, Joe Johnson, John Longabaugh, John Williams

Planning and Zoning Commission Approval on *TBD, 2008*

Chairman Jan Blair; Vice Chairman Steve Somers
Ken Chapman, Robert Rein, Matthew Bieniek, John Hallin, Fred Watts

City Staff

Kathy Rice; Jeffrey Mihelich; Janice See, AICP; Vineetha Kartha

City Council Amendment May 24, 2007

City Council

Mayor Joan Shafer; Vice Mayor Gary "Doc" Sullivan
Martha Bails, Gwyn Foro, Danny Arismendez, Cliff Elkins, Joe Johnson

Planning and Zoning Commission Approval on April 17, 2007

Chairman Lyn Truitt, Vice Chairman Jan Blair
Skip Hall, Wayne Tuttle, Richard Alton, Steve Somers, Fred Watts

City Staff

Scott Chesney, AICP; Janice See, AICP; Vineetha Kartha ; Lorena Cano

City Council Adoption June 13, 2002

City Council

Mayor Joan Shafer , Vice Mayor Tom Allen,
Johnny Montoya, Roy Villanueva, Don Cox, Tucker Smith, Bob Vukanovich

Planning and Zoning Commission Approval on May 7, 2002

Chairman Martha Bails; Vice Chairman Dan Morris
Jan Blair, Tony Segarra, Bob Gonzales, Ken Senft, Lyn Truitt

**City of Surprise
Annexation Policy Manual**

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FOREWORD

Annexation is the process by which a city or town extends its corporate boundaries. Although Arizona Revised Statutes (ARS) govern the process, each entity has its own particular approach. The Surprise Annexation Policy Manual (SAPM) is the official guide for the City Council expressly on the matters of annexation. It is also a source of general information for the public and other interested parties. The goals, policies, and objectives of the SAPM are intended to be consistent with applicable provisions of the Arizona Revised Statutes (ARS 9-471). Nothing in the SAPM is intended as legal advice. It is the sole responsibility of the user of this manual to decide if and when to seek appropriate legal counsel.

The SAPM sets out the guidelines under which the City may initiate or sponsor a petition for annexation; identifies territories targeted for annexation within the Surprise Planning Area (SPA); timing of the annexations; and factors to be considered when reviewing a proposal for annexation.

Annexation areas are identified in the maps contained in the SAPM. The City may, however, choose to initiate, sponsor or approve annexations in other areas based on special circumstances, furtherance of the General Plan policies or other identifiable community goal(s).

STRATEGY

This policy manual establishes a comprehensive, proactive, fiscally responsible annexation strategy to ensure the attainment of the following goals:

- (1) Create logical City boundaries and contiguous service areas.
- (2) Plan for the timely extension of infrastructure.
- (3) Assure fiscally responsible annexation program.
- (4) Assure that new development projects in the unincorporated SPA meet City standards.

The goals are part of a comprehensive strategy designed to ensure that annexations are timely, orderly, efficient and driven by community goals. The policies and objectives may be re-evaluated and updated annually to ensure consistency with evolving City priorities, statutory requirements, legal mandates, and fiscal capacity.

Annexations can be classified into three distinct types - infill, undeveloped and study areas.

TYPE A: INFILL AREAS

Infill areas are usually county islands. A county island is an unincorporated area surrounded on all sides by the City. County islands occur for a number of reasons. The legal description for a previous annexation may have underestimated or miscalculated the boundaries for the annexed area. As a result an area unintentionally remains in the county. There may have been a lack of interest on the part of a city to annex a specific area for economic or political reasons. In other cases the residents within an area may be unable to reach an agreement with the city regarding annexation or the residents may simply desire not to annex into the city at the time adjacent land annexations occur.

There are several practical reasons why the City should take a more proactive approach to annex the islands. Development applications from the unincorporated areas are subject to County development standards, with the City playing only a minor, non-binding advisory role in the review process. When the project is eventually annexed into Surprise, the entire community ends up paying for the cost of upgrading the associated facilities and infrastructure to City standards. It is important to promote easily identifiable corporate boundaries, which would make service delivery more efficient and effective. This is particularly true for emergency situations, such as radio-dispatched police and fire calls for service, where time is of the essence.

Annexations of lands under the infill classification are scheduled to be annexed by 2010.

TYPE B: UNDEVELOPED AREAS

Undeveloped areas are lands within the planning area that have few existing residents. The vast majority of lands are owned by the State or federal government. Included within this classification are lands that may be privately held and been previously master planned through the county process in anticipation of annexing into the City when state law requirements are met.

Strategically it is important that the City annex lands that are undeveloped or in the early planning stages. Annexation allows the city to properly plan the area and provide adequate roads, parks, and open space. The city benefits by being able to control its fate and being able to influence the type and quality of development that occurs.

The ability to annex land is also vital to a city's fiscal health, according to a report by the Brookings Institute. Cities with greater abilities to annex have much higher bond rating scores. Conversely, all cities with low bond ratings are those that had been unable to expand their boundaries.¹

Undeveloped lands shown on the annexation planning map are scheduled to be annexed in as soon as possible to capture more planning area.

TYPE C: STUDY AREAS

Existing residential parcels, subdivisions or non-residential sites that have developed according to county requirements account for the third type of annexations. Annexation of land in developed areas is a long term project that may span generations. Nevertheless, efficiency of services make annexation of lands in these areas important to the future of the planning area.

Lands within the study areas will be considered for annexation when property owners petition for annexation. There is no specific schedule for annexation of these lands.

GOALS, POLICIES AND OBJECTIVES

GOAL 1

Create contiguous City boundaries and service areas and plan for a timely and orderly annexation program.

Objective

- 1.1 Annex County islands

Policies

- 1.1.1 The City will initiate or otherwise facilitate the annexation of all County islands within its planning area.
- 1.1.2 The City intends to ultimately annex all land parcels and development projects within its Planning Area.
- 1.1.3 The City will work closely with neighboring communities to ensure that annexations and extensions of planning area boundaries are accomplished in a manner consistent with the formation of logical, easily identifiable, boundaries and efficient service areas.
- 1.1.4 The City may initiate or sponsor annexation petitions warranted by community goals.
- 1.1.5 The City will cooperate with the Arizona State Land Department towards annexing State Land holdings in the Surprise Planning Area and other appropriate areas adjacent to the City limits.

GOAL 2

Provide for the timely extension of infrastructure and services.

Objective

- 2.1 Ensure that anticipated development within 10 years of annexation has the appropriate levels of infrastructure and services.

Policies

- 2.1.1 The City will, in an orderly and feasible manner, extend municipal services to all areas within the corporate boundaries of the city. Services such as police and fire will immediately become available to any property annexed into the City.
- 2.1.2 A disclosure statement shall be provided to all property owners considering annexation. The statement shall outline a comparison between the taxes, fees and general cost of services between Surprise and Maricopa County residents. If applicable, information regarding infrastructure improvements, code compliance and other specific issues may be included within the statement to ensure a clear understanding of the proposed annexation.
- 2.1.3 Any new development project wishing to be annexed into the City and eligible for annexation ~~MAY shall~~ enter into a pre-annexation development agreement with the City prior to receiving any City services, except for services governed by mutual aid, automatic aid or other existing inter-governmental agreements.
- 2.1.4 Each pre-annexation development agreement entered into with the City shall address all infrastructure requirements, including the design standards and timing of any required dedication to the City. In addition to providing the infrastructure necessary for the individual development, the developer may be required to oversize the infrastructure as directed by City officials in order to accommodate future development as projected in the City's General Plan.

GOAL 3

Assure fiscally responsible annexation policy.

Objective

- 3.1 Promote the fiscal and economic vitality of the City

Policies

- 3.1.1 The City will require a fiscal impact analysis for all annexations. private property owner -initiated annexations within areas described as Type C as indicated on the annexation map. Annexations which result in more public costs than revenues may be approved, if the City Council finds that the proposed annexation will further an identifiable community goal.
- 3.1.2 The City will ensure that capital facilities associated with new developments in the unincorporated Surprise Planning Area meet City standards.
- 3.1.3 The City may require a pre-annexation agreement for any development currently outside the corporate boundaries of the City, where the proposed territory meets all statutory requirements and the developer wishes to be annexed by the City.
- 3.1.4 The City may, at its discretion, seek to annex any existing development project, residential or non-residential, which receives or otherwise directly benefits from City services.

GOAL 4

Assure that new development projects in the unincorporated SPA meet City standards.

Objective

- 4.1 Promote development consistency within the Surprise Planning Area

Policies

- 4.1.1 The City will seek to enter into an inter-governmental agreement with Maricopa County for purposes of granting to the City the authority for subdivision, zoning, development review and approval in the Surprise Planning Area.
- 4.1.2 The City will work closely with Maricopa County to ensure that development projects in or adjacent to the Surprise Planning Area are compatible with and sensitive to the form and character of the City.

Policy Considerations in matters of annexation and extension of planning area boundaries

1. Would the annexation further any identifiable community goal? In some situations, the potential long-term contributions of a project to the local economy should be weighed over any short term fiscal costs associated with the annexation.

2. Can City services and capital facilities be extended to the property in a timely and cost effective manner? Typically, public cost is lowest in areas with planned, programmed, existing infrastructure or where it can be easily extended. Such areas form a logical extension of City services and limits. The sources for making this determination include the Surprise General Plan, capital improvements plan (CIP), capital projects budget and the master plans for water, sewer, parks and recreation, police and fire services. Areas where the facilities are lacking and may not be easily provided for the next ten years may not be ripe for development.

SERVICES AND ASSOCIATED COSTS

Table 1 provides comparative information on the major costs and levels of services provided for Surprise and Maricopa County residents. Table 2 compares property taxes in the City and in the unincorporated County. The information is provided for the benefit of unincorporated area property owners who may want to know the costs associated with annexation into the City. Some of the differences in services can be attributed to the traditionally dispersed pattern of development in counties compared with the more compact urban form in cities. More people or service units within a service area results in reduced unit cost to the service provider. The savings are then passed on to the consumer, in this case the City resident. Similarly, the quicker response time for City fire and police services may be explained by efficiencies associated with the compact urban form, urban street network and related infrastructure and facilities.

Property Owner	City of Surprise ²
Opportunities	
* No cost for fire services. ³	* Increased State shared sales tax revenues.
* Lower cost for trash removal.	* Increased State shared income tax revenues.
* Lower cost for hazard insurance.	* Increased highway revenue fund.
* Quicker response times for fire and police	* Increased property tax base; enhanced bonding capacity.
* Proximity to a range of urban services and facilities.	* Directly manage land use planning and development review consistent with City policies and regulations.
* Potential access to Dial -A -Ride.	* Increased population for shared revenues.
	* Enhanced voice in regional matters.
	* Mix of rural and urban life styles.

TABLE 1a - SERVICES AND ASSOCIATED COSTS⁴		
SERVICE	CITY OF SURPRISE RESIDENTS	UNINCORPORATED MARICOPA COUNTY RESIDENTS
Fire Protection ⁵	No Additional Charge	\$378 per year
Hazard Insurance ⁶	\$489 per year (w/\$500 deductible)	\$590 per year (w/500 deductible)
Trash Removal ⁷	\$150 per year	\$192 per year
Fire Response Time ⁸	5.12 minutes	5.30 minutes
Police Response Time ⁹	3.01 minutes	Unavailable
Street Sweeping	Once every 8 weeks	Once every 8 weeks

Source: City of Surprise Community Development Department & Maricopa County

TABLE 1b - SERVICES AND ASSOCIATED COSTS FOR BUSINESSES	
CITY OF SURPRISE BUSINESSES	UNINCORPORATED MARICOPA COUNTY BUSINESSES
Streamlined business friendly permitting 3 weeks to first review	10 weeks to first review
Fire Protection included in taxes	Additional charges for fire protection, \$ 788.00+\$0.245/sq.ft over 1,000
Lower Insurance rates	Higher insurance rates
Large improvement in police patrols and emergency response	Slow emergency response

Table 1a shows that a typical unincorporated County resident paid about \$1,216.00 for fire protection, hazard insurance and trash removal in 2006. In that year, a comparable Surprise homeowner paid about \$596.00 for a similar basket of services or \$620.00 less than in the County.

Table 1b shows that a typical business located in unincorporated County had higher insurance rates, due to a lack of emergency response system. Businesses and residents also benefit from the sales tax generated by the City. In addition to the State tax rate of 0.7% and the County tax rate of 6.3%, City of Surprise adds a sales tax rate of 2.2%. The revenue earned by Surprise sales tax goes directly into improving services and infrastructure for residents and businesses alike in a smaller area, unlike the County sales tax which is used to serve a larger area.

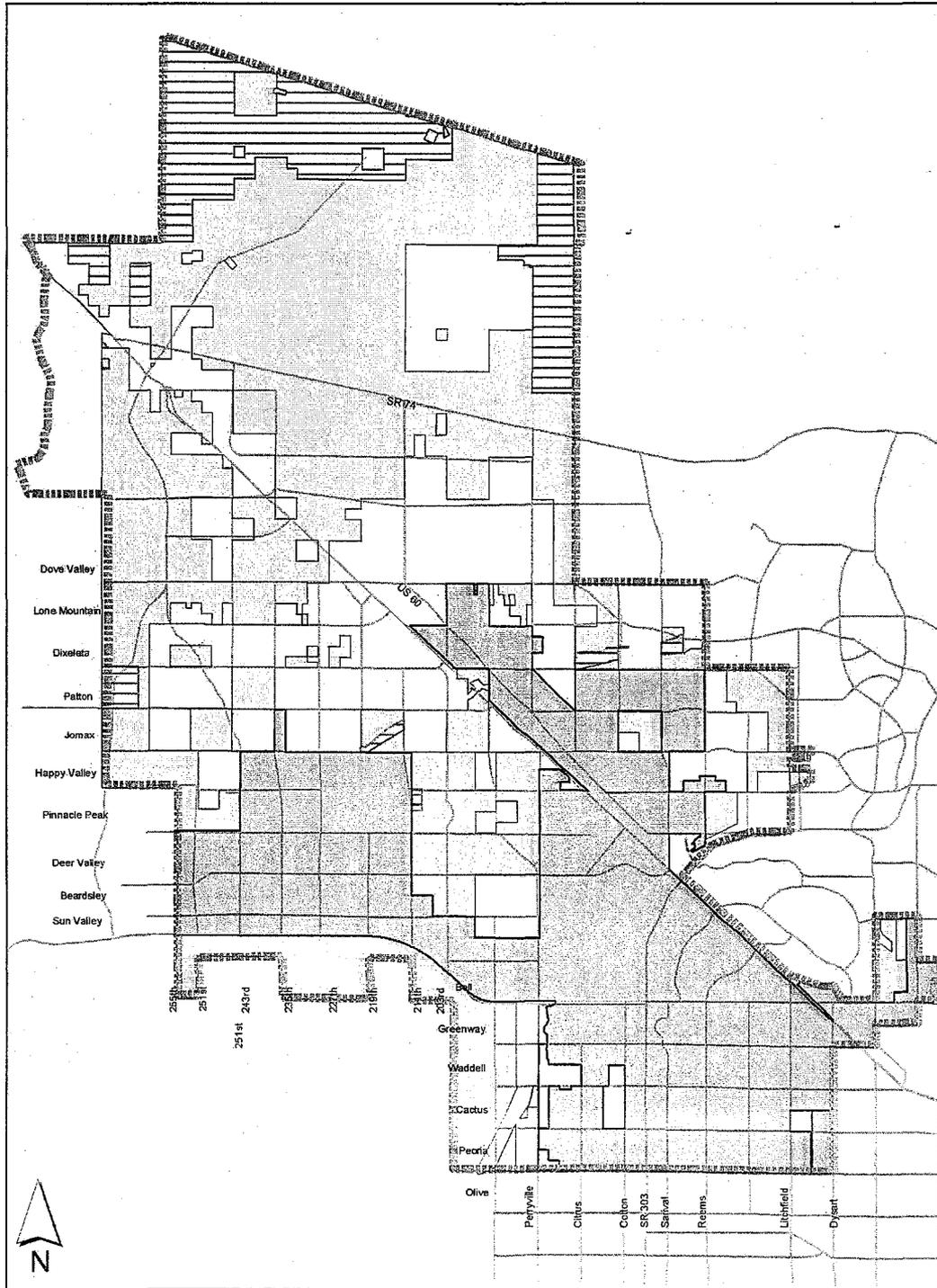
Table 2, below, shows that the unincorporated County resident paid \$957.84 in property taxes. A Surprise City resident paid \$1048.85 or \$91.01 more than his/her County counterpart. Property taxes in Surprise cover fire protection costs for residents. Rural Metro bills County residents for fire protection.

Overall, the County homeowner would have saved \$529.00 in 2006 by annexing into Surprise. Furthermore, the full range of services offered by the Surprise Fire Department is available at no extra charge to the homeowner and to all City residents.

TABLE 2 - PROPERTY TAX			
Full Cash Value	\$100,000		
2006 Assessed Value	\$10,000		
CATEGORIES	TAX RATES	CITY OF SURPRISE	UNINCORPORATED COUNTY
Primary			
County	1.1794	\$ 117.94	\$ 117.94
Edu. Equal	0.0000	\$ 0	\$ 0
City of Surprise	0.7229	\$ 72.29	NA
Dysart Unified	5.1144	\$ 511.44	\$ 511.44
Community Col	0.8815	\$ 88.15	\$ 88.15
Secondary			
Flood	0.2047	\$ 20.47	\$ 20.47
CAWCD (Water)	0.1200	\$ 12	\$ 12
Overrides	1.2959	\$ 129.59	\$ 129.59
Fire	0.0068	\$ 0.68	\$ 0.68
Library	0.0507	\$ 5.07	\$ 5.07
County Bond	0.0000	\$ 0	\$ 0
City Bond	0.1872	\$ 18.72	NA
School Bond	0.5419	\$ 54.19	\$ 54.19
Comm. Col Bond	0.1831	\$ 18.31	\$ 18.31
Total Property Tax		\$ 1048.85	\$ 957.84

Source: Maricopa County Treasurer Website and Surprise Finance Department

The following maps identify areas based on ownership patterns and areas where the City intends to initiate or sponsor annexations during the specified time periods.



Land Ownership Patterns

Legend

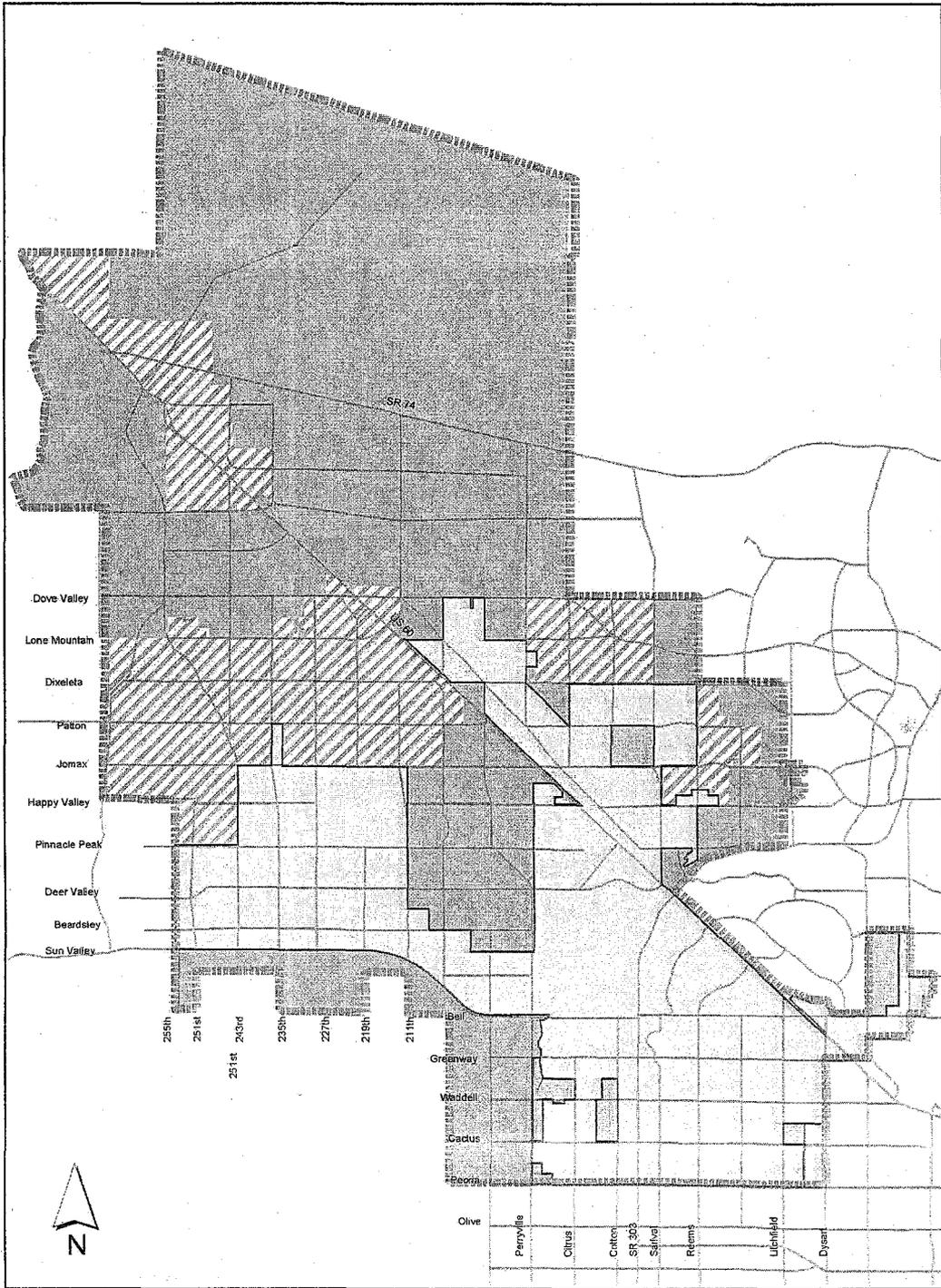
-  General Plan Boundary
-  Incorporated Boundary

Land Ownership Patterns

-  State Lands
-  Federal Lands
-  Privately Owned



Source: Arizona Land Resource Information System (ALRIS), Sep 2005



Annexation Planning Map

Legend

-  General Plan Boundary
-  Incorporated Boundary

Annexation Type

-  Type A - Infill
-  Type B - Undeveloped
-  Type C - Study Areas



END NOTES

- ¹ "Annexation and the Fiscal Fate of Cities" David Rusk, Brookings Institute, August 2006.
- ² Assumes increase in population and/or property base.
- ³ City property taxes pay for fire services.
- ⁴ For Fiscal Year 2006. Costs are estimated based on available information. Tax rates typically change every year.
- ⁵ Cost for fire services are included in the City property tax. Amount for unincorporated County is for a 2,500 square feet single family residential property with subscription to Rural metro, the primary fire service provider in the unincorporated County. Non-subscribers pay \$1,000.00 per hour, per fire fighting vehicle plus \$75.00 per hour per fire fighter for fire suppression.
- ⁶ Based on State Farm Insurance for a 2,500 square feet single family residential property. Other factors considered in setting the rates include, but are not limited to age of the building, distance from fire hydrants/station, replacement value, insurance rating of the local government, etc.
- ⁷ Surprise picks up trash for city residents; Parks and Sons Waste provides the service in the County.
- ⁸ Represents average response time for emergency calls in 2006. Average response time for newly annexed, outlying areas may be higher. Response time in the Jomax Road area should be close to the City average as a result of the new station at 163rd Avenue and Jomax Road.
- ⁹ Average response time for emergency calls; average response time for non-emergency calls was 7.06 minutes (2006). Average response time for newly annexed, outlying areas may be higher.
- ¹⁰ Boundaries are generalized and are not intended as legal descriptions.

ITEM 9

**DISCUSSION REGARDING OPTION RELATED TO THE SCHEDULING OF THE
SEPTEMBER 2, 2008 PLANNING AND ZONING MEETING.**

- **HOLD MEETING AS SCHEUDLED (ENSURE QUORUM)**
- **RESCHEDULE MEETING TO SEPTEMBER 9, 2008**
- **CANCEL MEETING**