



**City of Surprise Planning and Zoning Commission  
AGENDA**

Tuesday, March 18, 2008 - 6 P.M.

Surprise City Hall

12425 West Bell Road, Suite D100, Surprise, AZ

**CALL TO ORDER**

- A. Roll Call
- B. Pledge of Allegiance
- C. Approval of items on the **Consent** Agenda – all items with an asterisk (\*) are considered to be routine matters and will be enacted by one motion and one roll call vote to the Planning and Zoning Commission. There will be no separate discussion on these items unless a Commissioner requests; in which event, the item will be removed from the consent agenda and considered in its normal sequence on the agenda.

ITEM NO.	ITEM DESCRIPTION	STAFF RECOMMENDATION
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**CURRENT EVENTS REPORT**

1	PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT REPORT	DISCUSSION
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**CONSENT AGENDA:**

2*	APPROVE PLANNING/ZONING COMMISSION MINUTES FOR MARCH 4, 2008.  APPROVE PLANNING/ZONING COMMISSION WORKSHOP MINUTES FOR FEBRUARY 19, 2008.	<b>APPROVE SECRETARY: CAROL DAGER</b>
3*	<b>RZ07-422 – CONSIDERATION AND ACTION – NORTHWEST CAPITAL HOLDINGS COMMERCIAL DEVELOPMENT:</b> REVIEW A REZONE FOR NORTHWEST CAPITAL HOLDINGS FROM R1-43 (SINGLE-FAMILY RESIDENTIAL) TO C-2 (COMMUNITY COMMERCIAL) GENERALLY LOCATED WEST OF GRAND AVENUE AND PATTON ROAD. REQUEST IS SUBJECT TO STIPULATIONS A THROUGH C.	<b>APPROVE PLANNER: ADAM COPELAND</b>

**REGULAR AGENDA ITEM REQUIRING A PUBLIC HEARING:**

4	<b>PP07-380– CONSIDERATION AND ACTION – ACOMA COURT:</b> REVIEW A PRELIMINARY PLAT FOR ACOMA COURT PROPOSING 100 SINGLE-FAMILY RESIDENTIAL LOTS GENERALLY LOCATED NORTH OF ACOMA BETWEEN 156 <sup>TH</sup> AND 159 <sup>TH</sup> AVENUES. REQUEST IS SUBJECT TO STIPULATIONS A THROUGH J.	<b>APPROVE PLANNER: LANCE FERRELL</b>
5	<b>TA07-368 – CONSIDERATION AND ACTION – TEXT AMENDMENT TO CHAPTER 125:</b> REVIEW A CITY-INITIATED TEXT AMENDMENT TO UPDATE PORTIONS OF CHAPTER 125 OF THE SURPRISE MUNICIPAL CODE. REQUEST IS SUBJECT TO STIPULATIONS A AND B.	<b>APPROVE PLANNER: ADAM COPELAND</b>

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**Surprise Planning & Zoning Commission**

Jan Blair, Chair - Steve Somers, Vice Chair

Matthew Bieniek, Ken Chapman, John Hallin, Robert Rein, Fred Watts

**OPEN CALL TO PUBLIC:**

**CALL TO THE PUBLIC**

Note: During this time members of the public may address the Commission on any item not on the agenda. At the conclusion of the open call, Commissioners may respond to criticism, may ask staff to review the matter or may ask that the matter be put on a future agenda. No discussion or action shall take place on any item raised.

**CURRENT EVENTS REPORT**

CHAIRPERSON AND COMMISSIONERS

**CONSIDERATION AND ACTION TO HOLD AN EXECUTIVE SESSION:**

Pursuant to A.R.S. § 38-431.03(A)(3), the Planning and Zoning Commission may go into executive session with the City Attorney for legal advice on any item listed on the agenda.

**ADJOURNMENT:**

**POSTED: MARCH 11, 2008      TIME: 9 a.m.**

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Kathy S. Rice, Acting Director  
Community Development

**REQUEST TO SPEAK:** Comments pertaining to the Planning and Zoning Commission business are welcome. If you wish to address the Planning and Zoning Commission, please complete a Public Comment Form and present it to the secretary before the call to order for this meeting.

**SPECIAL NOTE:** Individuals needing reasonable accommodations, such as large print materials and oral/ ASL interpreters, should contact the Disability Advocate at **623.222.3821** (Voice) or **623.222.3802** (TTY/VP) at least three (3) business days prior to the event so arrangements can be made.

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**Surprise Planning & Zoning Commission**

Jan Blair, Chair - Steve Somers, Vice Chair  
Matthew Bieniek, Ken Chapman, John Hallin, Robert Rein, Fred Watts



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**ADJOURNMENT:**

POSTED: MARCH 11, 2008      TIME: 9 a.m.



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Kathy S. Rice, Acting Director  
Community Development

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**Surprise Planning & Zoning Commission**

Jan Blair, Chair - Steve Somers, Vice Chair  
Matthew Bieniek, Ken Chapman, John Hallin, Robert Rein, Fred Watts



## City of Surprise Planning and Zoning Commission

### WOKSHOP AGENDA

Tuesday, March 18, 2008 - 5 P.M.

Surprise City Hall  
12425 West Bell Road, Suite D100  
Surprise, AZ 85374

### CALL TO ORDER

### WORK SESSION TOPIC

- ✍ Discussion – Various Planning Applications presented to Planning and Zoning Commission. Presentation will include processes for
  - ✍ General Plan Amendments
  - ✍ Subdivisions
  - ✍ Site Plans
  - ✍ Conditional Use Permits

### ADJOURNMENT

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Kathy S. Rice, Acting Director  
Community Development

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### Surprise Planning & Zoning Commission

Jan Blair, Chair - Steve Somers, Vice Chair  
Matthew Bieniek, Ken Chapman, John Hallin, Robert Rein, Fred Watts

## CITY OF SURPRISE

### PLANNING AND ZONING COMMISSION 12425 West Bell Road, Suite D-100 Surprise, Arizona 85374

March 4, 2008

#### REGULAR MEETING MINUTES

##### CALL TO ORDER

Chair Jan Blair called the Planning and Zoning Commission Meeting to order at 6:00 p.m. at the Surprise City Hall, 12425 West Bell Road, Suite D100, Surprise, Arizona 85374, on Tuesday, March 4, 2008.

##### ROLL CALL

In attendance with Chair Blair were Vice Chair Somers, and Commissioners Matthew Bieniek, Ken Chapman, John Hallin, and Robert Rein. Fred Watts was absent.

##### PLEDGE OF ALLEGIANCE

##### CONSENT AGENDA

All items listed with an asterisk (\*) are considered to be routine by the Planning and Zoning Commission and were approved by one motion. There was no separate discussion of these items during this meeting.

Commissioner Chapman made a motion to approve the **Consent Agenda**. Commissioner Hallin seconded the motion. The motion passed with a vote of 6 ayes and 1 absent (Watts).

- **Item 2\*: Planning and Zoning Commission Minutes for February 19, 2008.  
Planning and Zoning Commission Workshop Minutes for February 5, 2008.**

##### PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT REPORT

Acting Community Development Director Kathy Rice announced the next scheduled General Plan meetings: tomorrow night at 7 p.m. at Valley Vista High School and Saturday at 1 p.m. at Willow Canyon High School. If unable to attend the meetings, residents do have an opportunity to provide their input on the City's website as well. She noted that a national article was published in the *Public Management* magazine recognizing the Community Development Department and its efforts in implementing a new permit process last year. She also mentioned the new format for the staff reports.

##### OLD BUSINESS: REGULAR AGENDA ITEMS NOT REQUIRING A PUBLIC HEARING

###### **Item 3: SP07-339 – Consideration and Action – Surprise Professional Village**

Planner Bart Wingard presented the project to the Commission. Staff recommended approval of **SP07-339, Surprise Professional Village**, subject to stipulations 'a' through 'i.'

In response to Vice Chair Somers, Ms. Lagarde explained that surface parking is adequate for the first two buildings. Underground parking will be available for building three. During the phasing plan, staff will ensure that there is adequate parking for each phase.

In response to Commissioner Bieniek, Planner Copeland pointed out the various boundaries of the Crestone site.

Chair Blair opened the meeting for public comment. Hearing no comments from the public, Chair Blair closed the public hearing.

Vice Chair Somers made a motion to **approve CUP07-297, The Diamond Resort Retirement Community**, subject to stipulations 'a' through 'm' and findings of fact. Commissioner Hallin seconded the motion. The motion passed with a vote of 5 ayes, 1 abstained (Rein), and 1 absent (Watts).

### **OPEN CALL TO PUBLIC**

Chairman Blair called to the public to discuss any issues not noted on the agenda. Hearing no comments from the public, Chairman Blair closed the call to the public.

**CURRENT EVENTS REPORT:** None

### **CONSIDERATION AND ACTION TO HOLD AN EXECUTIVE SESSION**

**Pursuant to A.R.S. § 38-431.03(A)(3), the Planning and Zoning Commission may go into executive session with the City Attorney for legal advice on any item listed on the agenda.**

No request was made to call for an executive session.

### **ADJOURNMENT**

Hearing no further business, Chairman Blair adjourned the regular Planning and Zoning Commission meeting, Tuesday, March 4, 2008, at 6:50 p.m.

### **STAFF PRESENT:**

Assistant City Attorney Jim Gruber, Fire Marshall Doug Helbig, Assistant Fire Chief Clint Mills, City Planner Adam Copeland, City Planner Bart Wingard, City Planner Dennis Dorch, Planning and Development Services Berrin Nejad, Acting Community Development Director Kathy S. Rice, and Planning and Zoning Commission Secretary Carol Dager.

**COUNCIL MEMBERS PRESENT:** None



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Kathy S. Rice, Acting Director  
Community Development Department

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Jan Blair, Chairman  
Planning and Zoning Commission

# CITY OF SURPRISE

## PLANNING AND ZONING COMMISSION WORKSHOP

12425 West Bell Road, Suite D-100  
Surprise, Arizona 85374

February 19, 2008

### MINUTES

#### Call to Order:

Chair Jan Blair called the Planning and Zoning Commission workshop meeting to order at 5:03 p.m. in the Surprise City Hall, 12425 West Bell Road, Suite D100, Surprise, Arizona 85374, on Tuesday, February 19, 2008.

In attendance with Chair Blair were Commissioners Matthew Bieniek, Ken Chapman, John Hallin, Robert Rein, Steve Somers, and Fred Watts.

#### PRESENTATION:

Janice See, Senior Planner, presented an overview of the General Plan updates, providing a tentative timeline for the major amendments for 2008. She explained that this is a new timeline which was moved to the Spring of each year; previously the updated general plan amendments were presented to the Planning and Zoning Commission and City Council in the Fall. She also noted the Planning and Zoning Commission meetings: one scheduled for June 3 at the Northwest Regional Library (mandated by ARS as an offsite meeting) and one scheduled for June 17 in Council Chambers.

Planner See discussed how the long-range planning staff began to gather data for the amendments by conducting visioning sessions last year. They reached out to the residents and asked for their input on how they want the city developed.

Overwhelmingly, requests included:

- Village concept
- Commercial areas within the village
- Diversity in housing; desert-adapted citywide changes
- Environmental leader
- Transportation – internal and external options
- Higher education facilities

Planner See next went over the general plan update process which includes visioning, writing and reviewing.

The Surprise Vision:

“Surprise defines vibrant Southwest living; a place of educational excellence where community, family and traditions are built. Surprise is a collection of distinctive neighborhoods with a small town feel and big city amenities.”

Ms. Rice mentioned that residents not only can attend meetings to express their ideas, there will also be an area on the website for residents to provide planners with ideas and suggestions.

**CONSIDERATION AND ACTION TO HOLD AN EXECUTIVE SESSION:**

**Pursuant to A.R.S. § 38-431.03(A)(3), the Planning and Zoning Commission may go into executive session with the City Attorney for legal advice on any item listed on the agenda.**

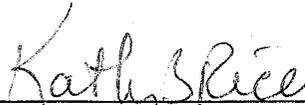
There was no request made to call for an executive session.

**ADJOURNMENT:**

Hearing no further business, the Planning and Zoning Commission workshop meeting was adjourned on Tuesday, February 19, 2008, at 5:52 p.m.

**STAFF PRESENT:**

Assistant City Attorney Jim Gruber, City Planner Randy Overmeyer, City Planner Bart Wingard, City Planner David Neal, City Planner Nicole Green-Catten; City Planner Vineetha Kartha; City Planner Vamshee Kovuru; City Planner Dennis Dorch, City Planner Janice See; Planning & Development Services Manager Berrin Nejad, Acting Community Development Director Kathy S. Rice; and Planning and Zoning Commission Secretary Carol Dager.



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Kathy S. Rice, Acting Director  
Community Development Department

**CITY OF SURPRISE  
COMMUNITY DEVELOPMENT DEPARTMENT**

**RZ07-422**

**REZONE**

for:

**Northwest Capital Holdings**

PLANNING AND ZONING COMMISSION

*Hearing Date: March 18, 2008*

**STAFF:**

Adam Copeland, 623-222-3137

**LOCATION:**

Generally west of Grand Avenue and Patton Road.

**DESCRIPTION OF  
THE REQUEST:**

Approval of a rezone.

**SUMMARY ANALYSIS:**

The applicant is requesting a rezone for Northwest Capital Holdings from R1-43 (Single-Family Residential) to C-2 (Community Commercial).

**SUGGESTED MOTION:**

I move to recommend approval RZ07-422, a rezone for Northwest Capital Holdings, subject to stipulations a through c and the findings of fact.

## ITEM 3

The subject rezone request complies with the employment land use designation in the Surprise General Plan 2020. A master site plan will be brought to Planning and Zoning Commission at a later date for approval.

### HISTORY:

These properties are currently vacant. This area was part of a recent annexation proposition totaling 465 acres. The annexation was approved by the City Council on November 8, 2007.

### ACCESS:

Primary access to the properties will be from Grand Avenue to the east. At the time of site plan review all properties will require a minimum of two-points of access.

### LIGHTING:

Lighting shall be consistent with the Surprise Municipal Code.

### COMMUNITY OUTREACH MEETING:

A community outreach meeting was held for the subject project and included people from Maricopa County and City of Surprise. The comments were primarily directed towards concerns with the BNSF project, which had no connection to the subject rezone.

### EXISTING AND SURROUNDING ZONING:

ON-SITE:	R1-43- Single-Family Residential
NORTH:	PAD- Asante North
EAST:	C-2- Community Commercial
SOUTH:	R1-43- Single-Family Residential
WEST:	R1-43- Single-Family Residential

### GENERAL PLAN LAND USE:

ON-SITE:	Employment
NORTH:	Low Density Residential
EAST:	Employment
SOUTH:	Employment
WEST:	Airport Preservation

### DEPARTMENTAL REVIEW:

All departments involved in the subject review of the site plan are recommending the project for approval subject to all stipulations.

### SERVICES EXISTING AND FUTURE:

FUTURE WATER	Surprise MPA
FUTURE SEWER	City of Surprise

## ***NORTHWEST CAPITAL HOLDINGS LLC***

**Rezone Parcel 503-51-071-Q to Commercial**

**November 1, 2007**

### **NARRATIVE**

#### **Parcels to be considered for Rezoning:**

**503-51-071-Q** owner: Northwest Capital Holdings

**503-51-027-B** owner: Wheat Ronald T/Palomino Roberta Vega Trust

**503-51-027-C** owner: Wheat Ronald T/Palomino Roberta Vega Trust

**Currently Zoned R-43**

#### Parcels contiguous with above parcel:

503-51-028-A (Lot 1) owner: Northwest Capital Holdings LLC

503-51-029-A (Lot 2) owner: Northwest Capital Holdings LLC

503-51-030-A (Lot 3) owner: Northwest Capital Holdings LLC

503-51-031-A (Lot 4) owner: Northwest Capital Holdings LLC

503-51-032-A (Lot 5) owner: Landco Commercial LLC

503-51-032-A (Lot 6) owner: Landco Commercial LLC

All zoned C-2

NOTE: Northwest Capital Holdings LLC and Landco Commercial are held by the same group of partners and our intention is to utilize all of these properties as one development. Parcels 503-51-027-B,C are in escrow to be closed in 45 days.

### **Premise**

Northwest Capital Holdings LLC has acquired these properties for the purpose of combining them and developing as described below.

#### ***Parcel 503-51-071-Q***

This parcel needs to be utilized in conjunction with the parcels listed above. Without this parcel Lots 2-5 are essentially land locked unless these parcels can be utilized as a whole. We would like to utilize this parcel along with the other parcels in one commercial development. This parcel also provides key access from Mac Arthur for traffic and especially fire ingress and egress.

More information on access is provided in the following section and the Traffic Concerns section below.

#### ***Parcel 503-51-027-C***

This parcel is a great commercial location for the developing corridor along Grand Avenue. Our vision for this piece is to utilize it as a fuel station, car wash and convenience store as well as some retail pads. The attached Exhibits have some preliminary site plans and configurations showing our concept for this area.

## **General Plan, Land Use – City of Surprise**

In our discussions with Planners of COS we have determined that our commercial use is in accordance with the General Plan for COS which is namely to have this corridor used for Commercial. Adam Copeland expressed concerns that COS would like this area to be more master planned instead of small strip centers as can be seen along other areas of Grand Ave. We are attempting to do just that by assembling these parcels together and adding the parcel 501-53-027,C at Patton Rd. This parcel is under contract and will bring the total acres under our control to 15+/-.

### **Traffic Concerns**

We are aware of concerns about traffic relief, local access and the need for a frontage road. We have been presented some concept maps from COS that show a frontage road continuing along the old alignment that was abandon previously as noted in the section above (**see Rd Abandonment MCR 89-137570.pdf attached**).

### ***Traffic Congestion and Complications***

Due to the proximity of a frontage road as shown in the COS Conceptual presents several problems.

- 1) **Congestion and Queuing** - The "Conceptual Plan" puts the access road across Subject Property and then west along the old alignment of Patton Rd. It then connects to 195<sup>th</sup> at an awkward angled intersection with 195<sup>th</sup> about 280' from the intersection of 195<sup>th</sup> and Patton Rd. This creates several congestion spots and presents queuing problems during peak hours of use. This will be especially problematic as the area continues to develop.
- 2) **Angle of Connection to 193rd** - This same access road was abandoned by the Maricopa County Engineer for the reason that when 193<sup>rd</sup> and other roads were corrected to connect at 90 degree angles, as is now required in all road construction, the access road connected at an odd angle and presented traffic flow problems. For this reason it was abandon and in our conversations with Maricopa County the engineers were adamant that there could not be a road there but they would allow a bi-directional business access if it were designed properly.
- 3) **Infringement on Existing Developments** – The property on the south east of 193<sup>rd</sup> is currently under construction and to re-align Gordon Way to cross 193<sup>rd</sup> would entail infringing on a portion of that property and creating further conflict with that development.

### ***Destruction of Any Viable Development***

A road through the middle will make it impossible to utilize the property as a whole. What you would be left with, if there is any useable space for commercial use, is a very small strip center which is precisely what Adam had advised against building along Grand Ave.

### ***Alternative Road Alignment***

After reviewing the area with our engineers we propose extending the frontage road, Gordon Way, and connecting to 193<sup>rd</sup> at McArthur Rd. (**see Exhibit 5**). We feel this would better serve the area and address the traffic concerns in the following ways:

## **Conditional Use Permit**

If C-2 is granted we request a Special Use Permit or Conditional Use Permit for the above listed parcel to be used for Recreational Vehicles (RV), boat and trailer storage. Minimal improvements on the land are required and would include a block wall surrounding facility, gravel or minimal pavement for vehicles to park on.

# **Northwest Capital Holdings LLC**

## **Surprise Planning and Zoning Rezone Parcel 503-51-071-Q, 503-51-027 B & C to Commercial February 14, 2008**

### **CONTENTS**

- 1- Sample Site Plan Exhibit (proposal only of our intended use)
- 2- Color rezone map
- 3- School District Agreement WAIVED

### **Documents on CD and File Names (in parenthesis)**

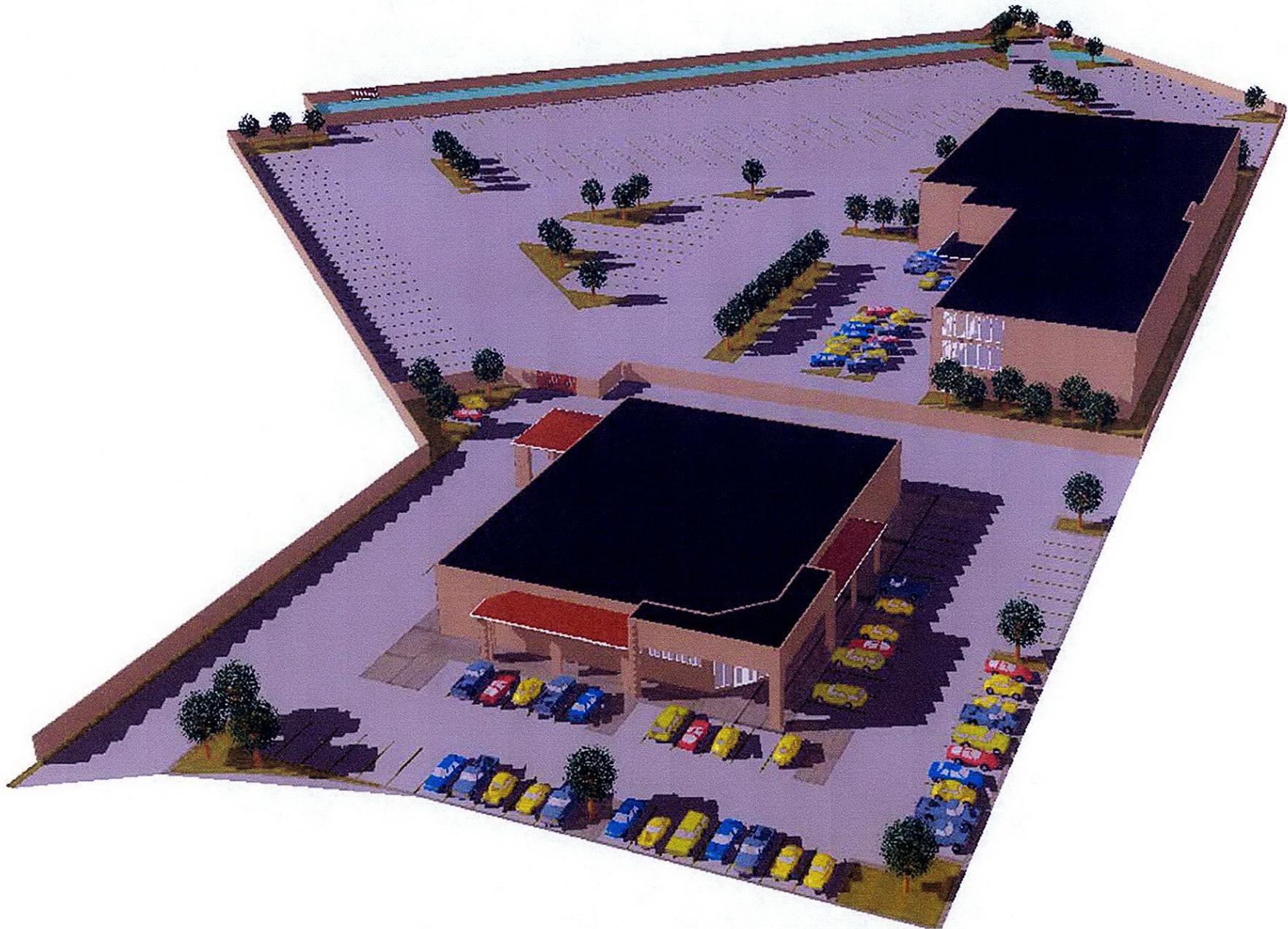
- 1- Signed Application (**Rezone App Form [parcel #s].pdf**)
- 2- School District Agreement WAIVED (**Waiver - School Dist Agreement.doc**)
- 3- Exhibit (Sample site plan) (**P&Z Exhibit - Sample Site Plan.pdf**)
- 4- Color rezone map (**P&Z Exhibit - Rezone Map.pdf**)
- 5- AutoCAD of ALTA (Survey (**071020 MOVED TO SP\_PARCEL C.dwg**))
- 6- this cover sheet (P&Z Cover Page.doc)

**RECEIVED**

FEB 19 2008

COMMUNITY  
DEVELOPMENT

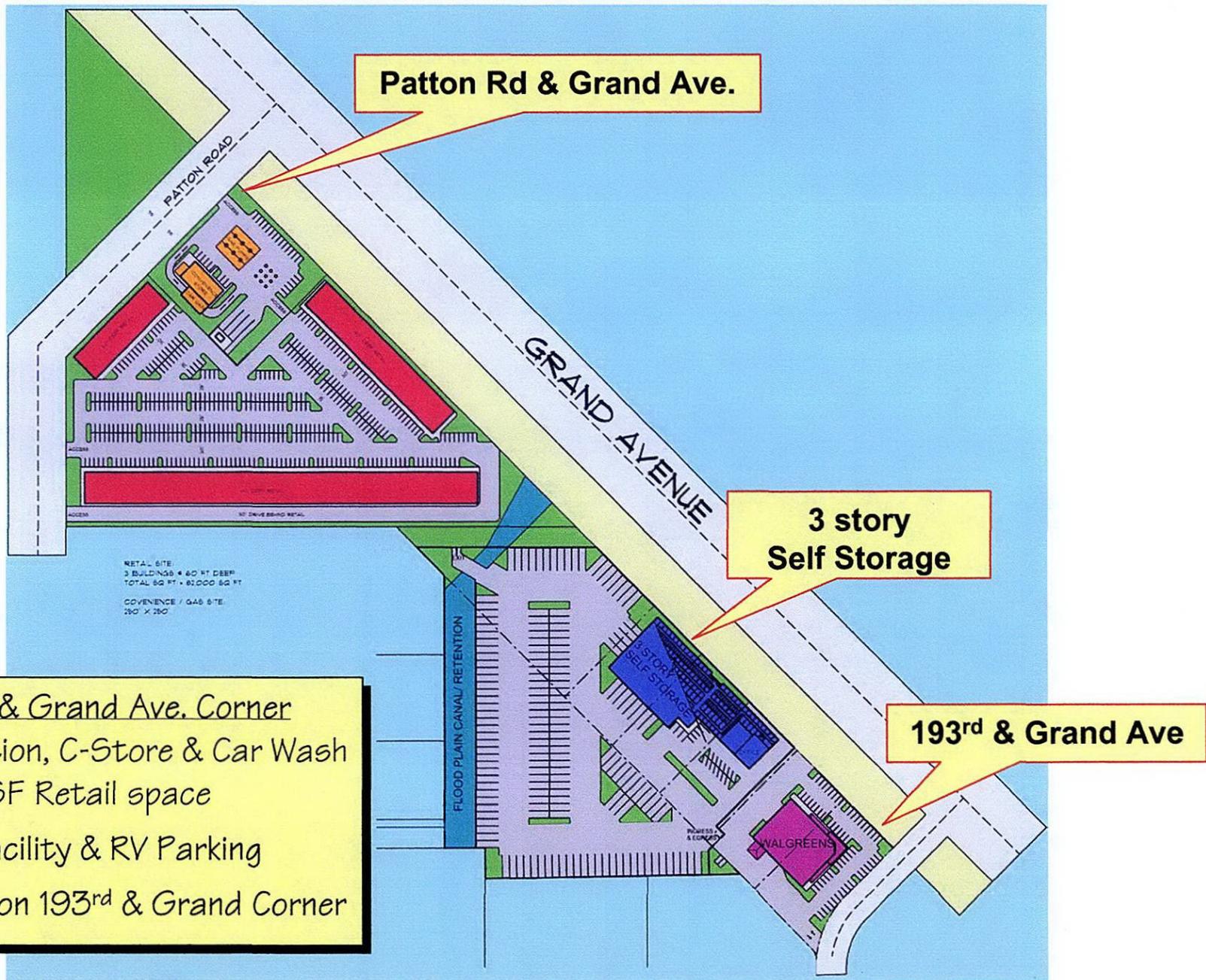
# Concept Rendering – CVS/Walgreens



# Fuel Station & Retail Concept



# 15 Acre Development Sample Site Plan



Patton Rd & Grand Ave. Corner

- Gas Station, C-Store & Car Wash
- 82,000 SF Retail space

Storage Facility & RV Parking

Retail Pad on 193<sup>rd</sup> & Grand Corner



----- Original Message -----

**From:** [Adam Copeland](#)

**To:** [Lamar Newmeyer](#)

**Sent:** Friday, February 08, 2008 4:47 PM

**Subject:** RE: Grand Ave. and Patton Road cad file

Mr. Newmeyer,

Print this e-mail out when submitting but you will not need a school district agreement with you submission for Council and Commission.

Adam Copeland

Planner II

City of Surprise

[adam.copeland@surpriseaz.com](mailto:adam.copeland@surpriseaz.com)

D: 623-222-3137

F: 623-222-3001

**CITY OF SURPRISE  
COMMUNITY DEVELOPMENT DEPARTMENT**

**PP07-380**

**PRELIMINARY PLAT**

for:

**Acoma Court**

**PLANNING AND ZONING COMMISSION**

*Hearing Date: March 18, 2008*

<b>STAFF:</b>	Lance Ferrell, 623.222.3135
<b>LOCATION:</b>	North of Acoma Road between 159 <sup>th</sup> and 156 <sup>th</sup> Avenues.
<b>DESCRIPTION OF THE REQUEST:</b>	Approval of a preliminary plat.
<b>SUMMARY ANALYSIS:</b>	The applicant is requesting a preliminary plat for the plating of 100 single-family homes.

<b>SUGGESTED MOTION:</b>	I move to recommend approval of PP07-380, a preliminary plat for Acoma Court, subject to stipulations a through j and the findings of fact.
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## ITEM 4

Acoma Court PAD05-344 was approved by Planning and Zoning Commission on March 7, 2006 and denied by City Council on April 13, 2006. Denial was based on the issue that the project proposed 133 "Z" lots, which resulted in a higher density than the surrounding neighborhoods. After waiting one year from the date of the City Council denial, another PAD was submitted and approved by City Council on November 8, 2007. The second PAD proposed 100 single-family lots.

### **ACCESS:**

Primary access to the residential lot will be from Custer Lane to the north and Acoma Drive to the south. There is also potential for connection to the parcel to the east if it is developed as a residential development.

### **GENERAL PLAN:**

The Acoma Court property is located within the planning and development jurisdiction of the City of Surprise. The Surprise General Plan Land Use Map identified the property as Low-Density Residential (3-5 du/ac) land use designation. The Low-Density Residential category is intended for predominately single-family detached residential development of up to five dwelling units per acre. The Acoma Court plan includes an overall density of 3.5 du/ac, in full compliance with the 3-5 du/ac identified in the General Plan.

### **EXISTING AND SURROUNDING ZONING:**

ON-SITE:	R1-43
NORTH:	R1-5
EAST:	R1-43 (Charter School)
SOUTH:	R1-5
WEST:	PAD Legacy Parc

### **EXISTING AND SURROUNDING LAND USE:**

ON-SITE:	Low-Density Residential
NORTH:	Low-Density Residential
EAST:	Low-Density Residential
SOUTH:	Low-Density Residential
WEST:	Low-Density Residential

### **DEPARTMENTAL REVIEW:**

All departments involved in the subject review of the site plan are recommending the project for approval subject to all stipulations.

### **SERVICES EXISTING AND FUTURE:**

<b>FUTURE WATER</b>	Arizona American Water Co.
<b>FUTURE SEWER</b>	City of Surprise
<b>FIRE PROTECTION</b>	Surprise Fire Department's closest site is at 15517 Parkview Place which is 1 mile from the site.

**STANDARD STIPULATIONS:**

- a. Prior to delivery of any combustible material to the site, fire department access and fire protection systems shall be completely operational in accordance with the approved plans by the Fire Chief and the City Engineer;
- b. Major changes to this Preliminary Plat with regard to use and intensity must be processed as a revised application with approval by the City Council upon recommendation of the Planning and Zoning Commission. Minor changes to the Preliminary Plat may be administratively approved by the Community Development Director, City Engineer, Fire Marshall, and Water Services Director;
- c. The applicant or property owner must provide the City with approved dust control permits issued by Maricopa County Environmental Services Department prior to release of any permits;
- d. The applicant shall include the City Attorney's sound attenuation and overflight language on every final plat;
- e. The applicant shall dedicate an avigation easement to the United States Air Force on every final plat or other such recorded instrument acceptable to the City Attorney. Such avigation or other recorded instrument easement shall be approved by the City Attorney;
- f. The applicant shall include the City Attorney release of liability language regarding the sidewalks on every final plat;
- g. The applicant shall provide residential home product information (i.e., colored elevations and materials sample information) and related materials prior to the issuance of residential building permits, subject to review and approval by the Community Development Director; this is considered to be the Home Product Review process;
- h. All public notice signs shall be removed from the site immediately following a final decision by the City Council as applicable. A signed Affidavit of Sign Removal shall be included within the Stipulation Response Package;
- i. If the U.S. Postal Service requires "gang"-type boxes, applicant shall install adequate lighting over said postal receptacles.
- j. Before a Final Plat can move forward to City Council, a copy of the school agreement with Dysart Unified School District must be signed and submitted to the City.

# Acoma Court PP07-380





**Arizona Department of Transportation**  
**Intermodal Transportation Division**

206 South Seventeenth Avenue Phoenix, Arizona 85007-3213

Janet Napolitano  
Governor

Victor M. Mendez  
Director

Sam Elters  
State Engineer

November 26, 2007

NOV 2 2007

Ms. Carol Dager  
City of Surprise Planning Department  
12425 West Bell Road, Suite D-100  
Surprise, Arizona 85374

RE: Acoma Court/ PP 07-380/ NEC Acoma Rd & 159<sup>th</sup> Avenue

Dear Ms.Dager:

Thank you for your notification regarding the Preliminary Plat on the above referenced subject. After a complete review, we have concurred that at this time the proposed plat will not have an impact to our highway facilities in this area.

**ADOT does reserve the right to review and comment any further development plans, changes and or additions for this site, as to any impact they may have on the State Highway System.**

Should you have any questions, please feel free to contact me at 602-712-8876, or in writing at 205 S. 17<sup>th</sup> Avenue, Right of Way Project Management Section, MD 612E, Phoenix, Arizona 85007. Thanking you in advance for your cooperation.

Sincerely,

Annette Close  
Administrative Assistant III  
Right of Way Project Management  
[aclosee@azdot.gov](mailto:aclosee@azdot.gov)

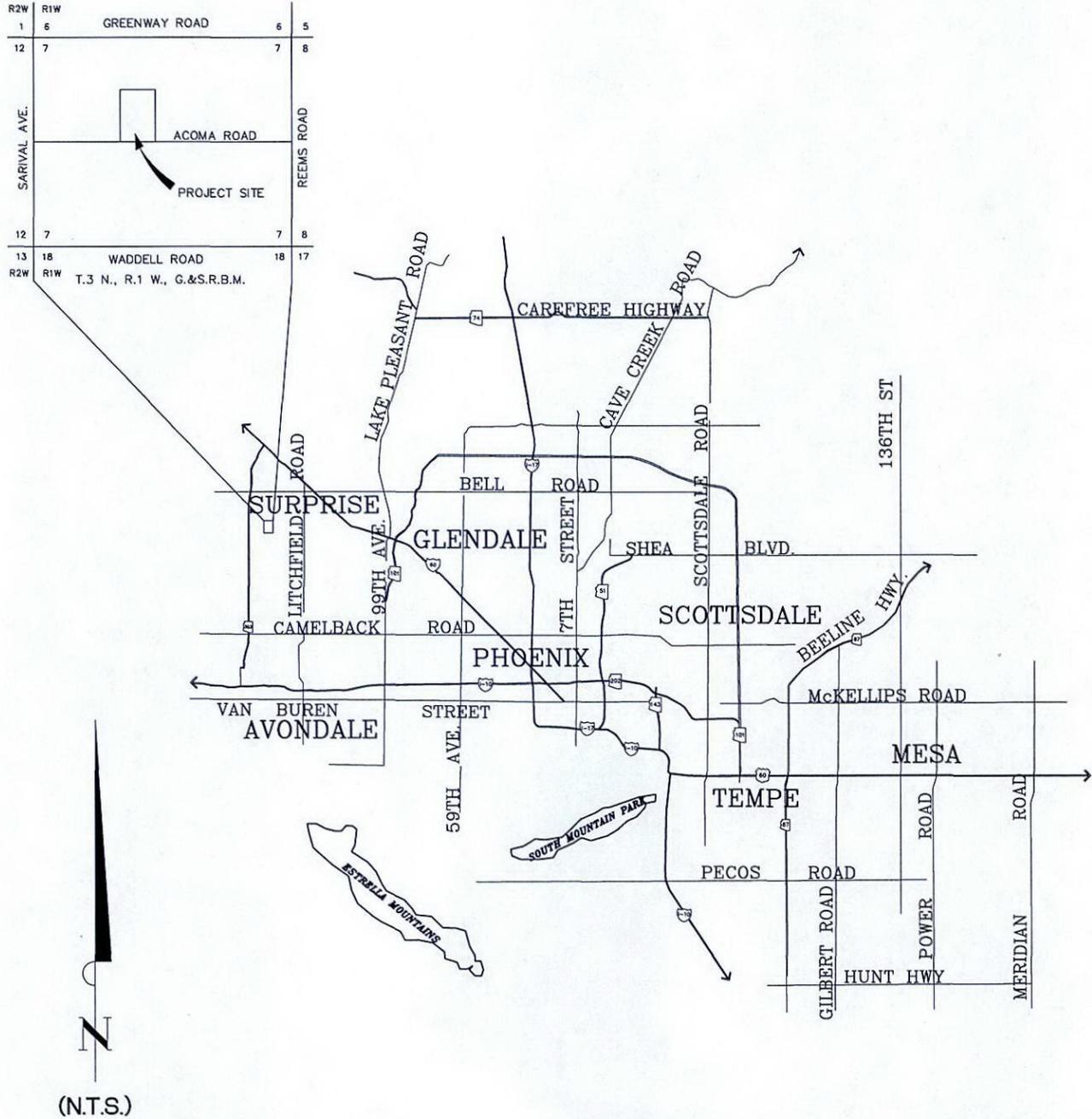


VICINITY MAP FOR  
ACOMA COURT  
SURPRISE, ARIZONA

RECEIVED

FEB 11 2008

COMMUNITY  
DEVELOPMENT



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FIGURE 1: VICINITY MAP





# ACOMA COURT Preliminary Plat Narrative

Located in Surprise, Arizona  
DECEMBER 2007  
CITY OF SURPRISE CASE #PP07-380

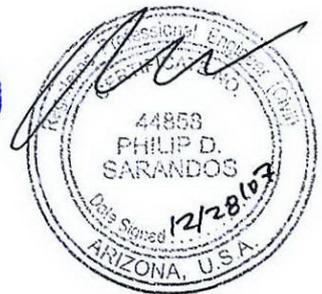
**Prepared for:**  
Acoma Land Company, LLC  
10620 Southern Highlands Pkwy, Suite 110-235  
Las Vegas, NV 89140

**Prepared by:**  
Kimley-Horn and Associates, Inc.  
125 South Avondale Blvd, Suite 115  
Avondale, Arizona 85323

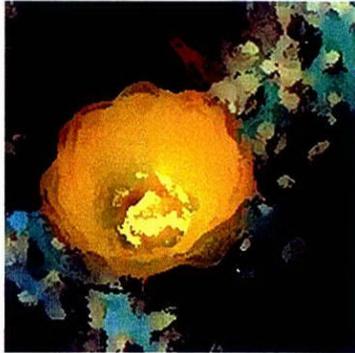
**RECEIVED**

FEB 11 2008

COMMUNITY  
DEVELOPMENT



Kimley-Horn  
and Associates, Inc.



## ACOMA COURT Preliminary Plat Narrative

Located in Surprise, Arizona

**Prepared for:**

Acoma Land Company, LLC  
10620 Southern Highlands Pkwy, Suite 110-235  
Las Vegas, NV 89140

**Prepared by:**

Kimley-Horn and Associates, Inc.  
125 South Avondale Blvd, Suite 115  
Avondale, Arizona 85323

This document, together with the concepts and designs presented herein, as an instrument of service, is intended for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

191143002  
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December 2007



**Acoma Court**  
TAC Preliminary Plat Narrative

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# Acoma Court

## TAC Preliminary Plat Narrative

### 1.0 PRELIMINARY PLAT NARRATIVE

The purpose of this application is to seek approval of a Preliminary Plat for Acoma Court subdivision. This project is located in the City of Surprise, Arizona, just west of Reems Road and south of Greenway Road. The site consists of approximately 29.56 gross acres and 28.77 net acres. The site was historically used for farming and is currently vacant and encompassed by single-family residential developments and a charter school.

#### 1.1 Location/Surrounding Development

The proposed Acoma Court subdivision is located in the City of Surprise, Arizona, on the northeast corner of 159<sup>th</sup> Avenue and Acoma Road. The site is encompassed by Custer Lane to the north, Acoma Road to the south, the Carden Charter School to the east and the Legacy Parc subdivision to the west. The site is situated approximately one half mile west of Reems Road and one quarter mile south of Greenway Road. **See Figure 1—Vicinity Map.** The site is located in the a portion of the Southwest Quarter of the Northeast Quarter of Section 7, Township 3 North, Range 1 West of the Salt and Gila River Base and Meridian, Maricopa County, Arizona.

The proposed Acoma Court subdivision is accessible from Acoma Drive to the south and Custer Lane to the north. The community is designed with a central open space amenity and two other open space tracts. The central open space amenity is situated to allow efficient access from anywhere in the community. This amenity will feature a pedestrian trail connection, a turf area for active recreation, a tot lot and two ramadas.

#### 1.2 Land Use/Proposed Zoning

The City of Surprise General Plan designates the land use on the site as “Low Density Residential” with a density of 3-5 dwelling units per acre (du/ac). This land use designation allows single-family residential development with a dwelling unit density of no less than 3.0 du/ac and no more than 5.0 du/ac. All properties encompassing the site are also designated as Low Density Residential, 3-5 du/ac.

The site is currently zoned R1-43, which permits single-family residential development with a minimum lot size of one acre. The Greenway Parc subdivisions to the south of the site are zoned R1-5, while the Legacy Parc subdivision to the west is zoned PAD. The charter school site to the east is zoned R1-43.

Table 1 - LDR Development Standards	
Lot Size	58'x115'
Number of Units	100
Minimum Area	6,670
Minimum Width	58
Minimum Depth	115



**Acoma Court**  
TAC Preliminary Plat Narrative

Maximum House Width	45
Building Setbacks (2), (3), (5)	
Front (4)	20'
Side	5'8'
Corner Side Yard	13'
Rear	25'
Minimum Distance between Houses	10'
Maximum Building Height	30'
Notes:	
<p>(1) Fireplaces, pop-outs, bay windows, eaves, overhangs, patio covers and/or other appendages may encroach 2.5 feet into the front and side setbacks and 10 feet into the rear setbacks, so long as they do not encroach closer than 3 feet from a side yard or closer than 10 feet from a rear yard.</p>	
<p>(2) Building setbacks shall apply equally to one and two story units</p>	
<p>(3) BOS = back of sidewalk; ROW = Right-of-Way</p>	
<p>(4) If a landscape tract of a least 10' minimum and 15' average is provided on an arterial street adjacent to a rear yard, or an 8' tract adjacent to a side yard, then the standard side and/or rear setbacks apply. For side yards, the wider of the two side yards (where applicable) shall be located on the street side.</p>	
<p>(5) Pursuant to City application of single family residential design guidelines, lot coverage is not specifically regulated except than maximum lot coverage for this PAD is established by the building envelope created by the application of the required setbacks and allowable projections as defined as note 1</p>	
<p>(6) All non-residential development within the LDR land use category (such as churches, recreation center, etc.) shall comply with the development standards in Table 4 with the exception of building height, which shall be comply with the residential district building height of 30'</p>	
<p>(7) For development parcels with the 20% MDR overlay, the MDR portion of the development parcel shall comply with table 3a and 3b, MDR development Standards.</p>	

1.3 Existing Conditions/Topography

The site is currently vacant, with the exception of two abandoned concrete pads. Historically, the site was used for farming.

The site is generally flat and slopes from the northwest to southeast at approximately 0.5%, ranging in elevation from 1,230 feet to 1,238 feet. The site contains little vegetation and is not located in a floodplain.



## Acoma Court TAC Preliminary Plat Narrative

### 1.4 Phasing

The proposed Acoma Court subdivision will be constructed as one phase.

## 2.0 CIRCULATION

The roadway network within the Acoma Court subdivision is designed to promote traffic-calming throughout the community. The internal roadways are proposed with a 55-foot public right-of-way, while accommodating five-foot-wide detached sidewalks and a five-foot-wide landscape buffer between the roadway and sidewalk. Two access points will be provided, one on the north and one on the south of the development. Access from the north will be provided by Custer Lane and access from the south will be provided by Acoma Road. Access roads off Custer Lane and Acoma Drive are designed with landscaped medians and crosswalks with raised decorative pavement.

The sections of these local streets will adhere to the requirements set forth by the City of Surprise. See **Figure 3—Street Layout**.

### 2.1 Arterial Streets

Custer Lane and Acoma Road – The proposed development will include half street improvements with new curb and gutter on Custer Lane and Acoma Road. The development will require dedicating 5 feet of additional right of way to the existing 55 foot right of way on Custer Lane, and 40 feet of additional right of way to the existing 40 foot right of way on Acoma Road.

### 2.2 Internal Streets

Local Streets – The internal roadways are proposed with a 55 foot right of way on the internal roads, and a 60 foot right of way on the entry roads. The roadway improvements will include 5 foot detached sidewalks and 5 foot wide landscape buffers between the roadway and the sidewalks. Crosswalks with raised decorative pavement will be constructed across the proposed roadways to connect the internal pedestrian trail system. Access roads off Custer Lane and Acoma Road will include landscaped medians and crosswalks with raised decorative pavement.

### 2.3 Non-Vehicular Circulation

Every street within the subdivision will have a sidewalk on both sides per the aforementioned street specifications. Within the open space areas, multi-use trails will be constructed to provide additional connectivity to the recreational amenities and will promote pedestrian movement throughout the project.

### 2.4 Homeowner's Association

A Homeowner's Association will be established for Acoma Court with a master association that will coordinate relations between individual parcel owners to guarantee



## Acoma Court TAC Preliminary Plat Narrative

that streets and landscaped areas are adequately maintained and all homes are constructed according to the adopted CC& R's. All landscaping in common areas and public rights-of-way will conform to the City of Surprise Development Code.

### 3.0 PRELIMINARY PLAT

The Preliminary Plat for the development of Acoma Court is presented for the City of Surprise's review and comments as a Preliminary Plat submittal. The site has been planned in accordance with the Acoma Court PAD rezoning guidelines and the City of Surprise's development guidelines to assure exceptional quality, with several requirements that have been exceeded to provide the development a higher quality than the City requires. See **Figure 2—Preliminary Plat**.

Acoma Court is designed to establish value residential construction that will be sustained with consistency and quality throughout the development which will be maintained as the neighborhood matures. The subdivision's layout has been focused on having neighborhoods centered about a multi-purpose open space area while also providing elements of security, safety, livability and appearance. For the benefit of the community as well as future homeowners, restrictive covenants and architectural guidelines will be developed to ensure that construction and maintenance standards are met and maintained.

### 4.0 SYSTEMS

Narrative descriptions indicate Plat responsiveness to engineering design principles for necessary residential services.

#### 4.1 Water

Water service will be provided to the development by connecting to existing water mains on Custer Lane and Acoma Road. The project currently lies within the service area of the City of Surprise. The system will be operated by Arizona American Water Company.

#### 4.2 Wastewater

Wastewater service shall be provided by sewer mains and service lines within the road alignments. Wastewater service will be provided to the development by connecting to an existing 8" sanitary sewer main on Acoma Road, south of the proposed Acoma Court development. The wastewater system shall be designed per the existing Master Sewer Report, May 2007, prepared by Kimley-Horn and Associates, Inc.

#### 4.3 Drainage

Storm water detention basins will be provided within the subdivision to detain runoff from the 100 year - 2 hour storm event. See the Preliminary Drainage Report prepared by Kimley-Horn and Associates, Inc. for preliminary drainage patterns and retention areas



## Acoma Court

TAC Preliminary Plat Narrative

within the subdivision. There are currently no impacts to the proposed project site due to offsite flows. No dwelling units will be inundated from the 100-year storm event. The storm water conveyance system and storage system shall be designed per City of Surprise standards and specifications.

#### 4.4 Roadways

As specified in the preceding Circulation Section, street circulation is designed to local street standards. Installation of roadway improvements will assure safe, convenient and attractive ingress and egress to all lots within the Acoma Court subdivision. All access to and through the project will be provided by public streets. See **Figure 3—Street Layout**.

#### 4.5 Phasing

The proposed Acoma Court subdivision will be constructed as one phase.

#### 4.6 Park/Open Space

The Acoma Court subdivision incorporates ample recreational open space within the subdivision. This open space occurs in the form of parks and linear open space and shall be maintained by the Home Owners Association.

The amount of required open space for this development shall be 7% per the P.A.D. designation in the zoning ordinance. The Acoma Court Preliminary Plat proposes a total of 3.5 acres of usable open space. This open space includes the central open space tract, containing two ramadas and a tot lot, in addition to a five foot wide sidewalk for pedestrian access. Open space tracts are also located in the north and south portions of the community, also implementing a five foot wide sidewalk. Detached sidewalks will allow for landscaping along the right of ways throughout the community, to be maintained by the homeowner's association. Tracts along the Acoma Drive right of way and Custer Lane right of way will also be landscaped. The amount of open space provided, approximately 14% of the gross area, exceeds the City's requirement for open space per the P.A..D. designation in the zoning ordinance. See **Figure 4—Conceptual Landscape & Open Space Plans**.

#### 4.7 Public Schools

The Dysart School District numbers for calculating students generated by a single family subdivision are as follows:

K-8 (Elementary): 0.5 students per household

High School: 0.2 students per household

Therefore, based on these estimates, it is assumed that approximately 50 elementary school students and 20 high school students will be generated by the project.

#### 4.8 Refuse

The property is entirely within the City of Surprise jurisdictional limits; Surprise will



## Acoma Court

### TAC Preliminary Plat Narrative

provide refuse collection service once development occurs. Individual trash receptacles will be provided to each dwelling unit.

## 5.0 ADDITIONAL FEATURES

### 5.1 Landscape

The landscape proposed for Acoma Court consists of a mix of low water use sonoran plant palette and moderate water use trees and turf to create a lush and colorful open space. In order to allow for recreational opportunities, turf is provided in the retention basins within the open space located throughout the site. See **Figure 4— Conceptual Landscape & Open Space Plans**.

### 5.2 Fencing

View fencing, which consists of a wrought iron fence, will be provided as a means of accenting the community's open space. The wrought iron will be mounted on top of the low masonry wall and shall be painted to compliment the architectural character of the development. See **Figure 6—Preliminary Fencing Plans** for fencing locations.

Solid C.M.U. "fence block" walls shall be constructed along the property lines of the project. These masonry walls will be comprised of contrasting textures and colors.

### 5.3 Signage

Primary entry monuments shall mark the entrance to Acoma Court and will be placed as follows:

- Custer Lane at north project entry
- Acoma Road at south project entry

The entry monuments shall be backlit with the name of the subdivision.

### 5.4 Connectivity

Acoma Court will provide two main access points to the project, Custer Lane to the north and Acoma Road to the south. In addition, a third emergency access point is provided on the eastern boundary of the development. Pedestrian access will be provided by the network of sidewalks running parallel to the proposed street network as well as the community multi-use trail system. This trail system will make use of the many open space areas within the development and will link the open space and park areas with the development parcels. The trail system will cross the interior roadways by use of crosswalks with raised decorative pavement. See **Figure 5—Emergency Access and Connectivity Plan**.

# VICINITY MAP FOR ACOMA COURT SURPRISE, ARIZONA

R2W	RIW				
1	6	GREENWAY ROAD	6	5	
12	7		7	8	
		SARVAL AVE.			REEMS ROAD
12	7		7	8	
13	18	WADDELL ROAD	18	17	
R2W	RIW	T.3 N., R.1 W., G.&S.R.B.M.			

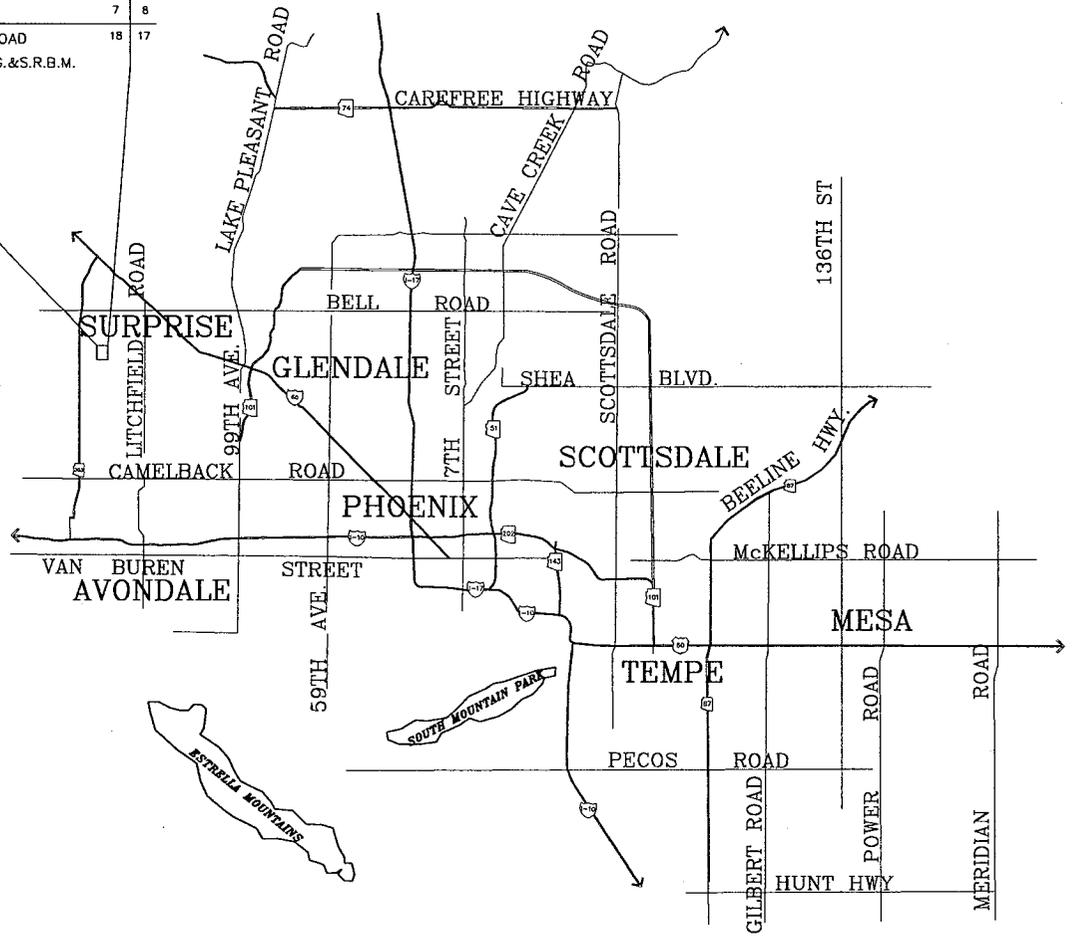
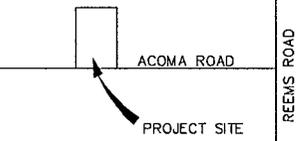


FIGURE 1: VICINITY MAP



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**Acoma Court**  
TAC Preliminary Plat Narrative

*Figure 2 - Preliminary Plat*

**LEGAL DESCRIPTION**

PARCEL NO. 1:

THAT PORTION OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 7, TOWNSHIP 3 NORTH, RANGE 1 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST QUARTER CORNER OF SAID SECTION 7;

THENCE NORTH 89°36'26" WEST, 2281.33 FEET ALONG THE EAST-WEST MIDSECTION LINE OF SAID SECTION 7 TO THE POINT OF BEGINNING;

THENCE CONTINUING NORTH 89°36'26" WEST 366.23 FEET TO THE CENTER POINT OF SAID SECTION 7;

THENCE NORTH 00°45'35" WEST, ALONG THE NORTH-SOUTH MID-SECTION LINE, 1320.65 FEET TO A POINT ON THE NORTH LINE OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF SAID SECTION 7;

THENCE SOUTH 89°36'04" EAST 363.88 FEET;

THENCE SOUTH 00°51'40" EAST 1320.66 FEET TO THE POINT OF BEGINNING;

EXCEPT THE NORTH 25 FEET AS CONVEYED TO THE COUNTY OF MARICOPA, A POLITICAL SUBDIVISION OF THE STATE OF ARIZONA IN DEED RECORDED IN BOOK 234 OF DEEDS, PAGE 418.

PARCEL NO. 2:

A PORTION OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 7, TOWNSHIP 3 NORTH, RANGE 1 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST QUARTER CORNER OF SAID SECTION 7;

THENCE NORTH 89°36'26" WEST, 1974.24 FEET ALONG THE EAST-WEST ONE QUARTER LINE OF SAID SECTION 7 TO THE TRUE POINT OF BEGINNING OF THIS DESCRIPTION;

THENCE CONTINUING ALONG SAID EAST-WEST ONE QUARTER SECTION LINE, NORTH 89°36'26" WEST, 307.09 FEET;

THENCE NORTH 00°51'40" WEST, 1320.66 FEET TO A POINT ON THE NORTH LINE OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF SAID SECTION 7;

THENCE SOUTH 89°36'04" EAST 448.10 FEET ALONG SAID NORTH LINE OF THE SOUTH HALF OF THE NORTHEAST QUARTER;

THENCE SOUTH 00°40'49" EAST, 239.09 FEET;

THENCE SOUTH 89°08'20" WEST 140.22 FEET;

THENCE SOUTH 00°51'40" EAST, 1078.44 FEET TO THE TRUE POINT OF BEGINNING;

EXCEPT THE NORTH 25 FEET AS CONVEYED TO THE COUNTY OF MARICOPA, A POLITICAL SUBDIVISION OF THE STATE OF ARIZONA IN DEED RECORDED IN BOOK 234 OF DEEDS, PAGE 418.

PARCEL NO. 3:

A PORTION OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 7, TOWNSHIP 3 NORTH, RANGE 1 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST QUARTER CORNER OF SAID SECTION 7;

THENCE NORTH 89°36'26" WEST, 1654.73 FEET, TO A POINT ON THE EAST LINE OF THE WEST HALF OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 7 AND THE POINT OF BEGINNING;

THENCE CONTINUING NORTH 89°36'26" WEST 319.51 FEET;

THENCE NORTH 00°51'40" WEST 1078.44 FEET;

THENCE NORTH 89°08'20" EAST 140.22 FEET;

THENCE NORTH 00°40'49" WEST 239.09 FEET;

THENCE SOUTH 89°36'04" EAST 182.67 FEET TO A POINT ON THE EAST LINE OF THE WEST HALF OF THE EAST HALF OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 7;

THENCE SOUTH 00°40'49" EAST, ALONG THE EAST LINE OF THE WEST HALF OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 7 A DISTANCE OF 1320.51 FEET TO THE POINT OF BEGINNING;

EXCEPT THE NORTH 25 FEET AS CONVEYED TO THE COUNTY OF MARICOPA, A POLITICAL SUBDIVISION OF THE STATE OF ARIZONA IN DEED RECORDED IN BOOK 234 OF DEEDS, PAGE 418.

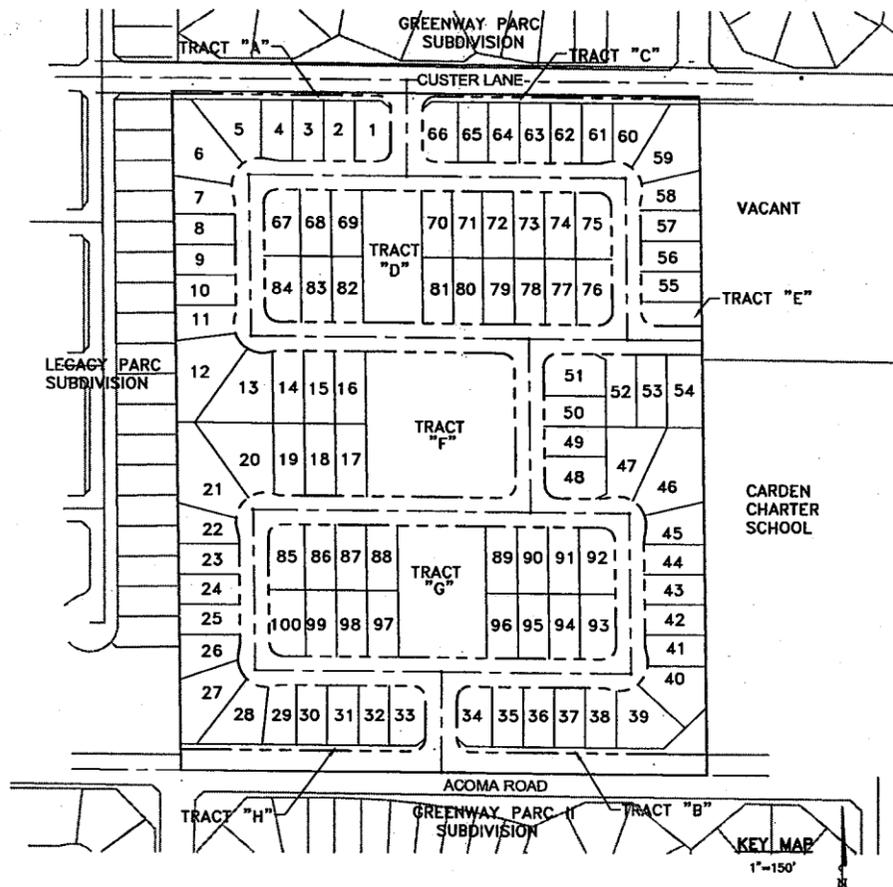
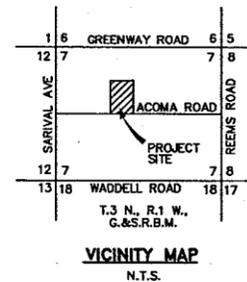
**NOTES:**

- DEDICATIONS AND ASSURANCE OF OFF-SITE CONSTRUCTION SHALL OCCUR BY MAP OF DEDICATION AND COMMUNITY WITH RECORDATION OF THE FINAL PLATS.
- ZONING OF THE SUBJECT PRE-PLAT IS PROPOSED TO BE P.A.D..
- GENERAL PLAN DESIGNATION = LDR (LOW DENSITY RESIDENTIAL).
- ALL EXISTING AND FUTURE OVERHEAD POWER LINES TO BE UNDERGROUND AND RELOCATED WITHIN THE PROPOSED P.U.E.'S.
- ALL PERIMETER WALLS ADJACENT TO AN ARTERIAL, MAJOR COLLECTOR OR THE COMMUNITY OPEN SPACE SYSTEM AND PERIMETER TRAILS SHALL BE VIEW FENCES. THE TOP OF ANY VIEW FENCE, IF CONSTRUCTED OF ORNAMENTAL IRON OR SIMILAR MATERIAL, SHALL HAVE A RAIL OR HORIZONTAL MEMBER SUCH THAT NO PORTION OF THE VIEW FENCE PROTRUDES ABOVE THE TOP RAIL OR HORIZONTAL MEMBER.
- ALL PERIMETER WALLS SHALL BE FINISHED ON ALL SIDES TO MATCH THE RESIDENTIAL PRODUCT ARCHITECTURAL STYLE AND DESIGN.
- TRAIL PROVIDED WITHIN TRACTS D, F & G.
- ALL TRACTS SHALL BE DEDICATED AS PUBLIC ACCESS EASEMENTS.
- HOME OWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL LANDSCAPE MAINTENANCE (RIGHT OF WAY AND OPEN SPACE AND TRACTS).
- ALL RETENTION BASINS MUST BE MAINTAINED TO DRAIN WITHIN 36 HOURS AFTER A STORM EVENT.
- ALL DEVELOPMENT PHASES DEPICTED ON THIS PRELIMINARY PLAT SHALL BE PROVIDED A MINIMUM OF TWO (2) SEPARATE POINTS OF UNOBSTRUCTED ACCESS WITH A MINIMUM WIDTH OF TWENTY (20) FEET, INSTALLED AND MAINTAINED PURSUANT TO THE REQUIREMENTS OF THE CITY OF SURPRISE.
- VEHICULAR NON ACCESS EASEMENTS (V.N.A.E.) CREATED BY THIS PLAT ARE INTENDED TO BENEFIT THE CITY OF SURPRISE AND BE RESTRICTIVE IN NATURE. THE INTENT OF SAID EASEMENTS IS TO PREVENT ACCESS TO PUBLIC RIGHT-OF-WAY AND PRIVATE H.O.A. MAINTAINED TRACTS. THE RESTRICTIVE NATURE OF V.N.A.E. WOULD PREVENT CONSTRUCTION OF PERMANENT R.V. GATES, DRIVEWAYS, OR RELOCATE POINTS OF ACCESS OVER SAID V.N.A.E. INTO REAR OR SIDE YARDS. THE V.N.A.E. IS NOT INTENDED TO PREVENT TEMPORARY CONSTRUCTION ACCESS AS LONG AS APPROVED BY THE CITY OF SURPRISE AND THE WALL ARE RECONSTRUCTED TO THEIR ORIGINAL CONDITION.

# ACOMA COURT

## PRELIMINARY PLAT OF P.A.D. LOTS

BEING A PORTION OF THE SOUTHWEST QUARTER (SW 1/4) OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 7, TOWNSHIP 3 NORTH, RANGE 1 WEST, GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



**OWNER/DEVELOPER**

ACOMA LAND COMPANY, LLC  
16020 SOUTHERN HIGHLANDS PARKWAY  
SUITE 110-235  
LAS VEGAS, NV 89140  
PHONE: (702) 250-7554  
CONTACT: MARC S. SPERBERG

**UTILITIES**

WATER	ARIZONA AMERICA WATER COMPANY
SEWER	CITY OF SURPRISE
GAS	SOUTHWEST GAS
ELECTRIC	S.R.P.
TELEPHONE	QWEST
FIRE	RURAL METRO

**ENGINEER**

KIMLEY-HORN AND ASSOCIATES, INC.  
125 SOUTH AVONDALE BOULEVARD  
SUITE 115  
AVONDALE, ARIZONA 85323  
PHONE: (623) 907-1155  
CONTACT: PHILIP D. SARANDOS, P.E.

**SITE DATA**

EXISTING VACANT LOT  
GROSS AREA = 29.56 ACRES  
NET AREA = 28.77 ACRES  
GROSS DENSITY = 3.38 D.U./ACRE  
NET DENSITY = 3.48 D.U./ACRE  
TOTAL NUMBER OF LOTS = 100  
EXISTING ZONING = R1-43  
PROPOSED ZONING = P.A.D.  
OPEN SPACE REQUIRED = 2.07 ACRES  
OPEN SPACE PROVIDED = 4.07 ACRES  
RETENTION REQUIRED = 6.10 AC-FT  
RETENTION PROVIDED = 7.00 AC-FT

**BENCHMARKS**

BM 31-2  
3" BRASS CAP FLUSH, STAMPED "CITY OF SURPRISE", EAST QUARTER CORNER OF SECTION 7, T 3N, R 1W, INTERSECTION OF ACOMA RD. AND REEMS RD.  
ELEVATION=1219.98 (NAVD 88 DATUM)

**BASIS OF BEARING**

THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 7, TOWNSHIP 3 NORTH, RANGE 1 WEST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA. BEING S89°35'51"E (M). GDACS BEARING ON SAME LINE BEING S89°02'52"E (GDACS) BOOK 688, PAGE 41, (M.C.R.).

**LEGEND**

—	PROPERTY LINE
---	PROPOSED LOT LINE
----	PROPOSED CENTERLINE
-----	PROPOSED RIGHT OF WAY LINE
.....	PUBLIC UTILITY EASEMENT
.....	EXISTING EASEMENT
.....	PROPOSED SEWER LINE
.....	EXISTING SEWER LINE
.....	PROPOSED WATER LINE
.....	EXISTING WATER LINE
.....	SIGHT DISTANCE EASEMENT
.....	PROPOSED SURVEY MONUMENT PER MAG STD DET 120-1, TYPE 'B'
.....	PROPOSED MANHOLE
.....	PROPOSED FIRE HYDRANT
.....	EXISTING MANHOLE
.....	PUBLIC UTILITY EASEMENT
.....	SIGHT DISTANCE EASEMENT
.....	RIGHT-OF-WAY
.....	PROPERTY LINE
.....	PROPOSED LOT NUMBERS

**TRACT AREAS**

TRACT NO.	AREA (AC)	USE
A	0.09	LANDSCAPE
B	0.18	LANDSCAPE
C	0.12	LANDSCAPE
D	0.65	LANDSCAPE/DRAINAGE
E	0.12	LANDSCAPE
F	1.78	LANDSCAPE/DRAINAGE
G	0.98	LANDSCAPE/DRAINAGE
H	0.11	LANDSCAPE
TOTAL	4.03	

**LAND USE DATA**

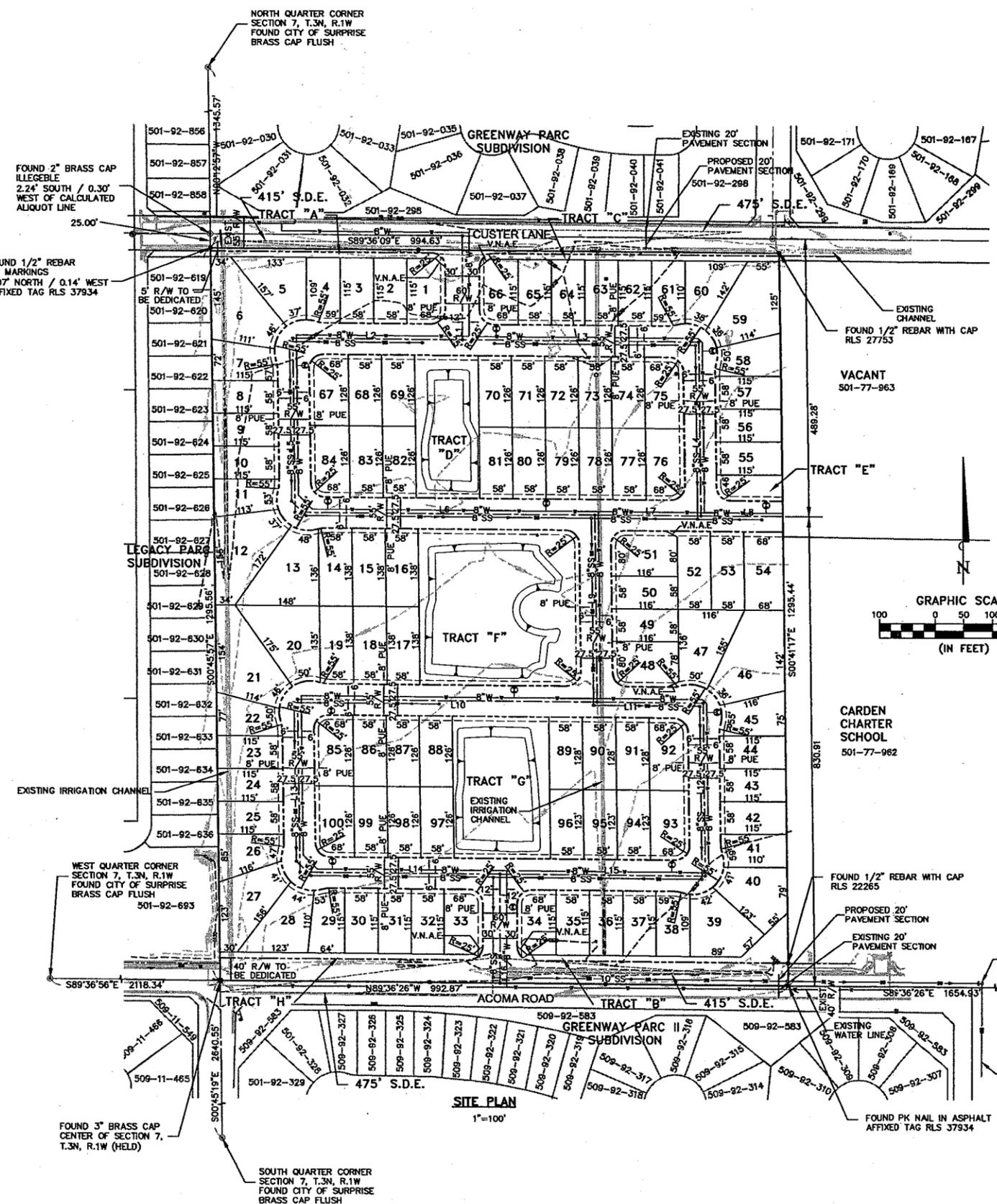
PROPOSED USE	EXISTING ZONING DIST.	PROPOSED ZONING DIST.	MINIMUM LOT AREA (SF)	AVERAGE LOT AREA (SF)	MAXIMUM LOT AREA (SF)	GROSS PARCEL AREA(AC)	PROPOSED NUMBER OF LOTS PER PARCEL	DENSITY (DWELLING UNITS PER ACRE)
LOW DENSITY RESIDENTIAL	R1-43	P.A.D.	6,670	8,049	16,284	29.55	100	3.38

SCALE (H): 1"=150'  
SCALE (V): N/A  
DESIGNED BY: POS  
DRAWN BY: POS  
CHECKED BY: GBN  
DATE: DEC 2007

ACOMA COURT  
PRELIMINARY PLAT  
SURPRISE, ARIZONA  
COVER SHEET



PROJECT NO.  
191143002  
DRAWING NAME  
027004-PP01

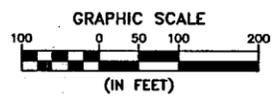
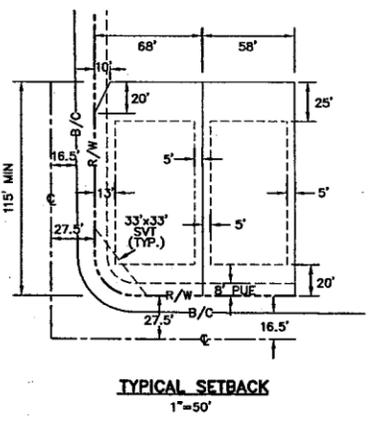
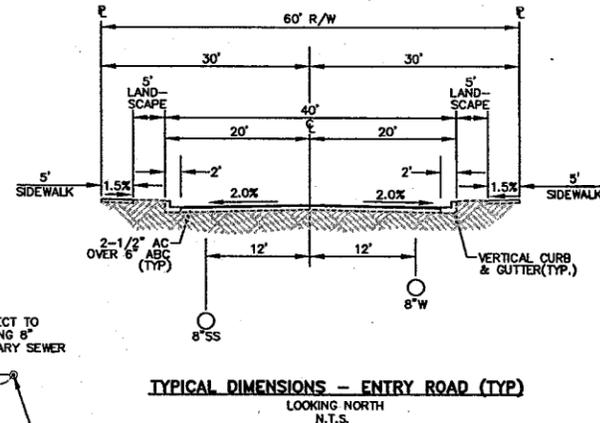
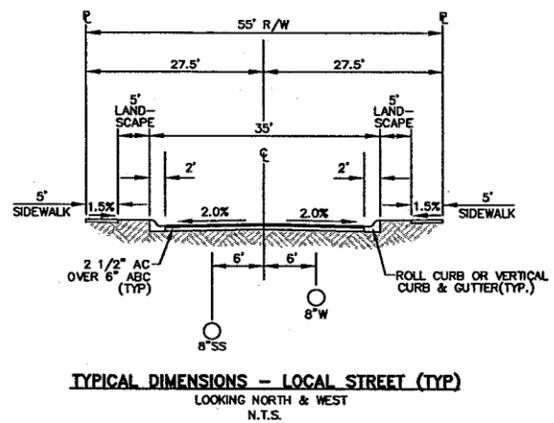


**CENTERLINE DATA**

LINE	BEARING	LENGTH
L1	S00°00'00"E	182.50'
L2	S89°36'02"E	296.63'
L3	S89°36'02"E	412.77'
L4	S00°40'52"E	307.05'
L5	S00°44'52"E	307.06'
L6	N89°36'02"W	523.65'
L7	N89°36'02"W	185.40'
L8	N89°36'02"W	143.04'
L9	S00°40'52"E	331.10'
L10	N89°36'02"W	523.31'
L11	N89°36'02"W	185.40'
L12	S00°40'52"E	307.05'
L13	S00°40'52"E	307.05'
L14	N00°47'38"W	307.07'
L15	N89°36'02"W	349.97'
L16	S00°00'49"W	192.78'

**LOT AREAS**

LOT NO.	AREA (SF)	LOT NO.	AREA (SF)
1	7,552	51	9,144
2	6,670	52	8,006
3	6,670	53	8,006
4	6,700	54	9,437
5	9,951	55	6,670
6	13,907	56	6,670
7	7,248	57	6,670
8	6,671	58	7,054
9	6,671	59	13,403
10	6,671	60	8,579
11	6,677	61	6,716
12	14,863	62	6,670
13	13,482	63	6,670
14	7,998	64	6,670
15	8,006	65	6,670
16	8,006	66	7,558
17	8,006	67	8,430
18	8,006	68	7,309
19	7,992	69	7,309
20	13,680	70	7,309
21	15,119	71	7,309
22	7,102	72	7,309
23	6,671	73	7,309
24	6,671	74	7,309
25	6,671	75	8,456
26	7,486	76	8,444
27	11,966	77	7,309
28	9,950	78	7,309
29	6,686	79	7,309
30	6,676	80	7,309
31	6,674	81	7,309
32	6,673	82	7,309
33	7,566	83	7,309
34	7,554	84	8,445
35	6,670	85	8,438
36	6,670	86	7,309
37	6,670	87	7,309
38	6,716	88	7,309
39	11,105	89	7,436
40	10,462	90	7,436
41	6,655	91	7,436
42	6,670	92	8,605
43	6,670	93	8,295
44	6,670	94	7,182
45	7,821	95	7,182
46	16,284	96	7,182
47	11,352	97	7,309
48	9,150	98	7,309
49	6,729	99	7,309
50	6,729	100	8,441



ACOMA COURT  
PRELIMINARY PLAT  
SURPRISE, ARIZONA  
PLAN SHEET

Kimley-Horn and Associates, Inc.  
© 2007 KIMLEY-HORN AND ASSOCIATES, INC.  
124 South Avenida Boulevard, Suite 115  
Avondale, Arizona 85323 (623) 907-1155

SCALE (H): 1"=100'  
SCALE (V): NONE  
DESIGNED BY: PDS  
DRAWN BY: PDS  
CHECKED BY: GBN  
DATE: DEC 2007

PROJECT NO.  
191143002  
DRAWING NAME  
027004-PP02  
2 OF 2

K:\civil\191143002\CADD\Exhibits\Acoma Street Layout Exhibit.dwg

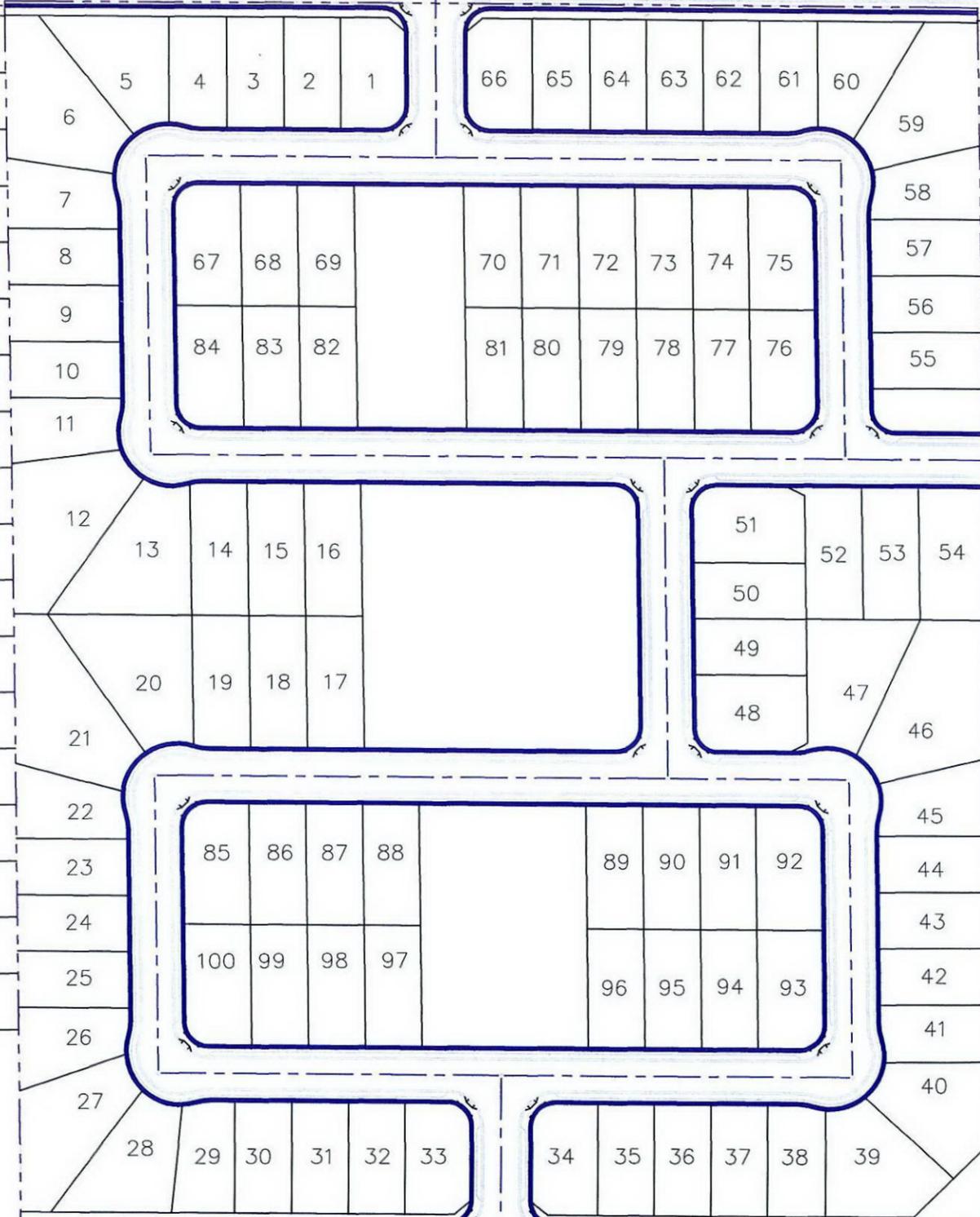
CUSTER LANE

# ACOMA COURT

OCTOBER 2007

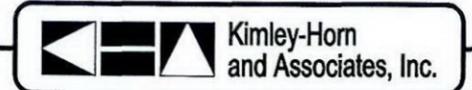
## LEGEND

- LOT LINE
- PROPERTY LINE
- ROADWAY CENTERLINE
- RIGHT OF WAY LINE



SCALE: 1" = 150'

FIGURE 3: STREET LAYOUT

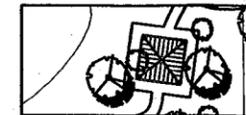


K:\\_civil\191143002\CADD\Exhibits\Acoma Landscape Plan.dwg

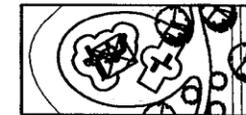
# ACOMA COURT

OCTOBER 2007

## LEGEND



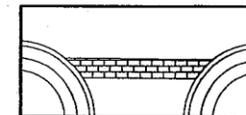
RAMADA



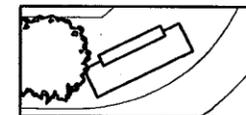
TOT LOT



5'-SIDE CONCRETE SIDEWALK



CROSSWALK PAVERS



ENTRY MONUMENT

### NOTES:

A. TURF AREAS WILL BE LIMITED TO THE ACTIVE RECREATION AREA WITHIN THE CENTRAL AMENITY, AND A SMALL PORTION OF THE NORTH AND SOUTH OPEN SPACE TRACT. ALL OTHER COMMON AREAS WILL CONSIST OF DECOMPOSED GRANITE.

B. PLANT PALLETTE WILL CONSIST OF LOW-WATER USE SONORAN SPECIES THAT ADHERE TO ADWR GUIDELINES.



SCALE: 1" = 150'

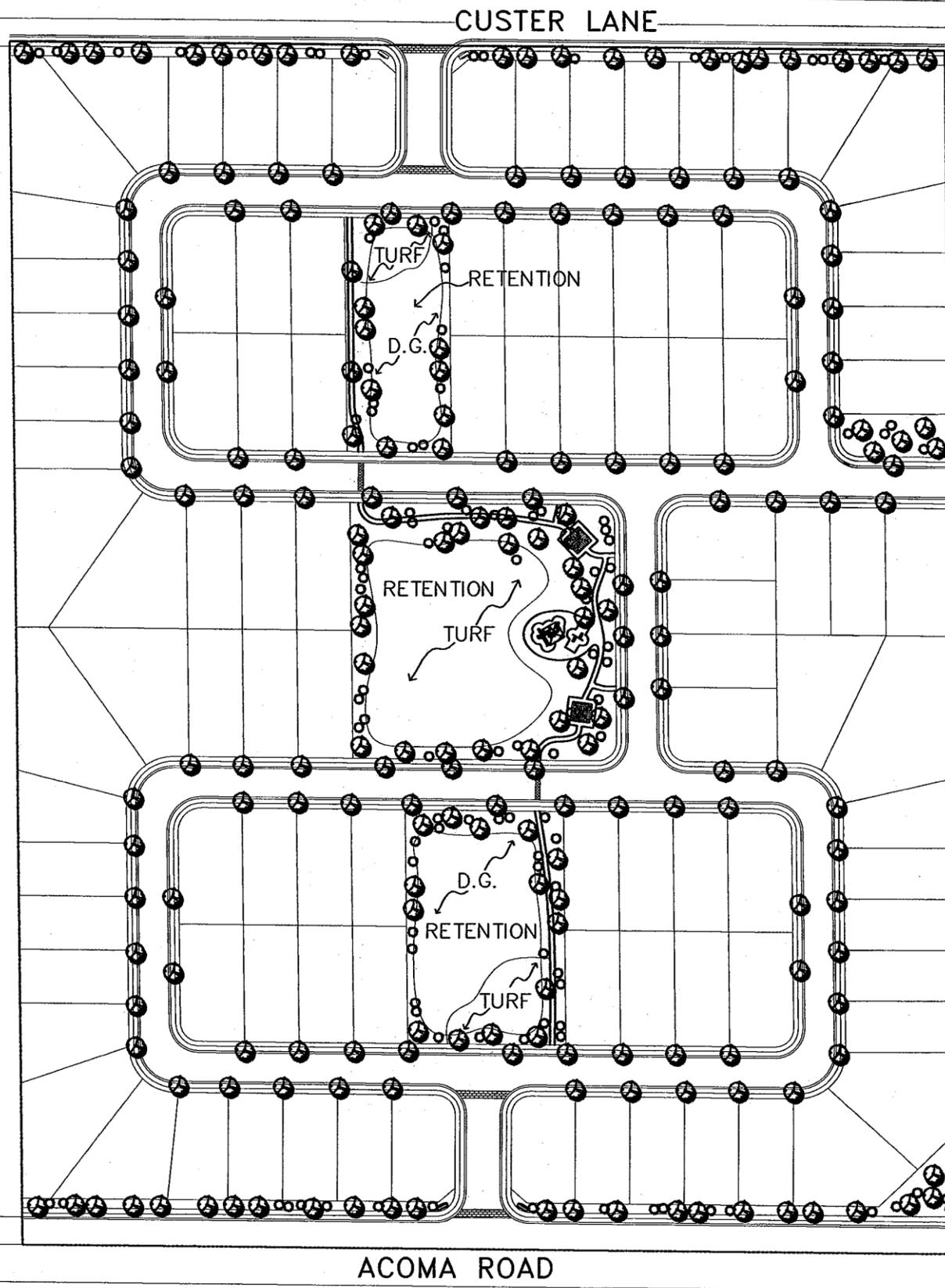


FIGURE 4: CONCEPTUAL LANDSCAPE & OPEN SPACE PLAN

K:\-civil\191143002\CADD\Exhibits\Acoma Access Exhibit.dwg

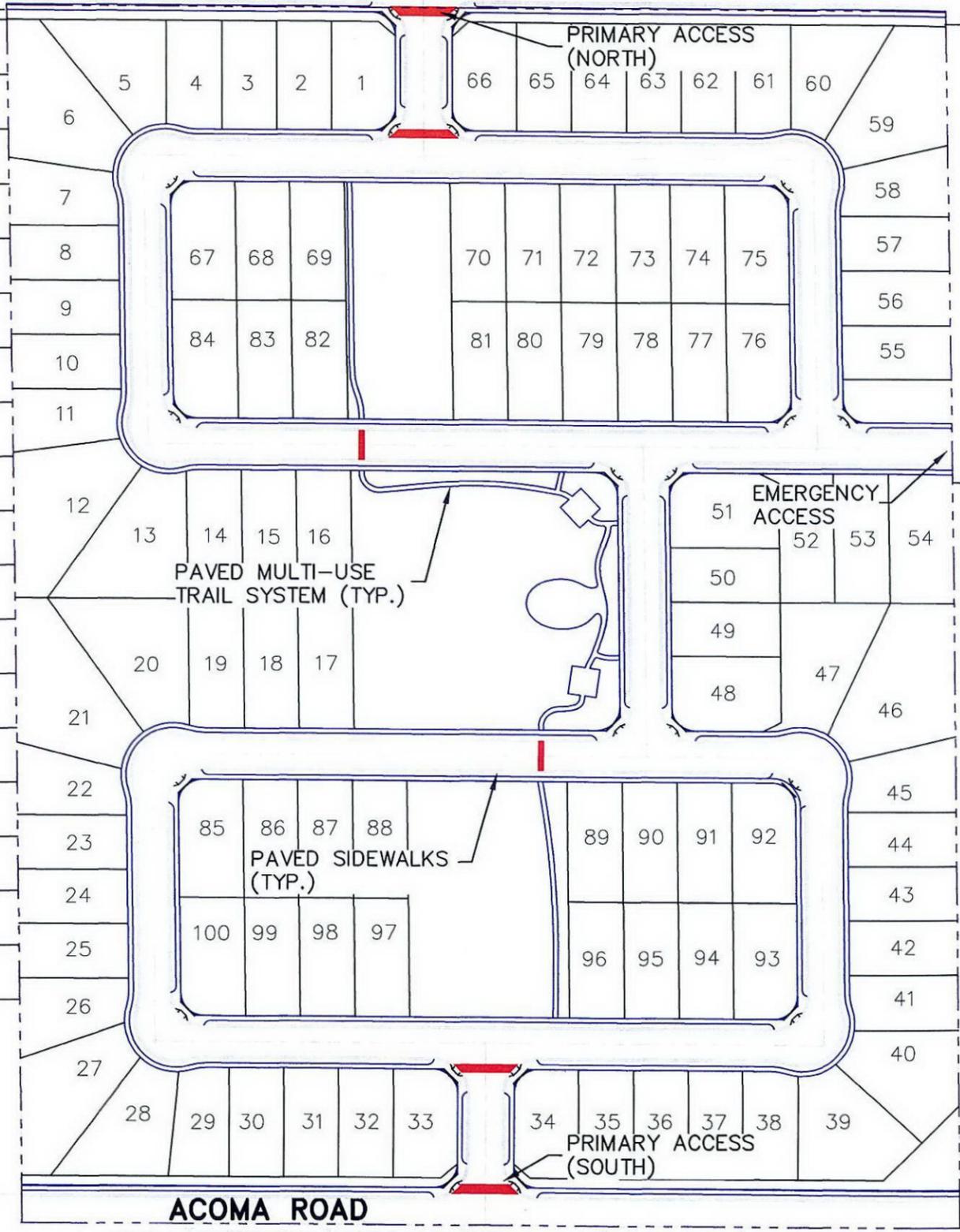
CUSTER LANE

# ACOMA COURT

OCTOBER 2007

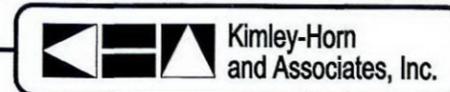
## LEGEND

-  LOT LINE
-  PROPERTY LINE
-  PROPOSED PAVED WALKWAYS
-  PROPOSED CROSSWALKS



SCALE: 1" = 150'

### FIGURE 5: EMERGENCY ACCESS AND CONNECTIVITY PLAN





Acoma Court  
TAC Preliminary Plat Narrative

*Figure 6 – Preliminary Fencing Plans*



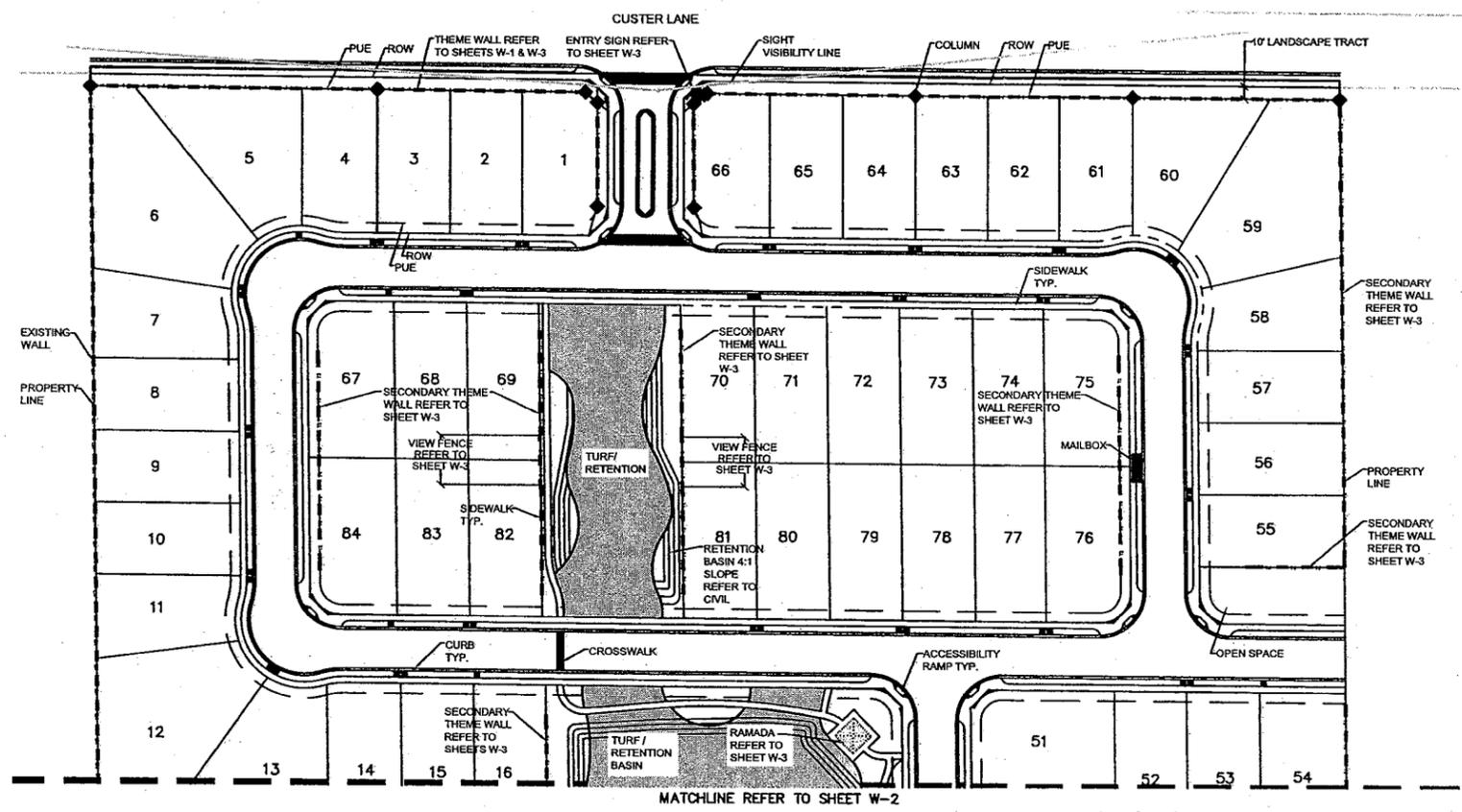
**ACOMA COURT**  
 SURPRISE, ARIZONA

Not for construction unless approved by local government

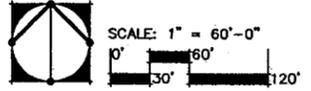
Revision	Date

Call This Working Draw Before You Dig  
 263-1100  
 1-800-STAKE  
 (Outside Maricopa County)

Date: 9/20/07  
 Job No.: 0654.0  
 Drawn: MD  
 SHEET #  
**W-1** <sup>4</sup> OF 6

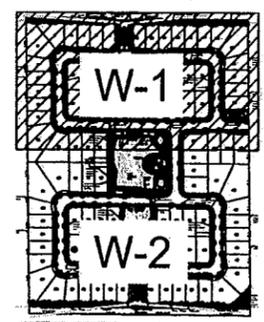


CONCEPTUAL WALL PLAN

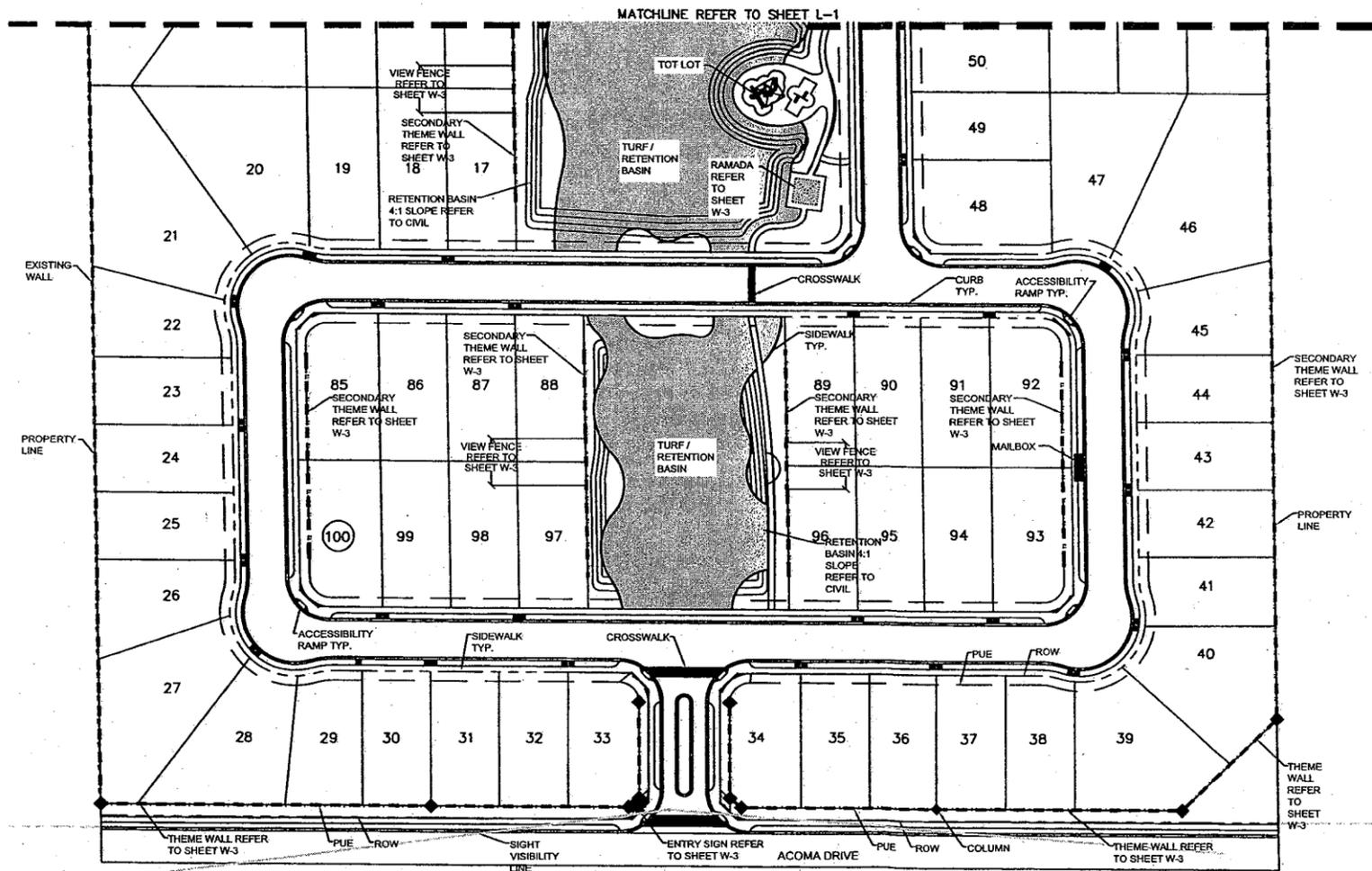


**WALL KEY**

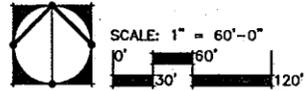
- PROJECT THEME WALL (SEE ELEVATION '1', SHEET W-3)
- - - SECONDARY THEME WALL (SEE ELEVATION '2', SHEET W-3)
- · - · - VIEW FENCE (SEE ELEVATION '4', SHEET W-3)
- - - EXISTING WALL
- ◆ THEME COLUMN (SEE ELEVATION 'D', SHEET W-3)
- \* PRIMARY PROJECT IDENTITY MONUMENTATION (SEE ELEVATION 'A', SHEET W-3)



KEY MAP NTS

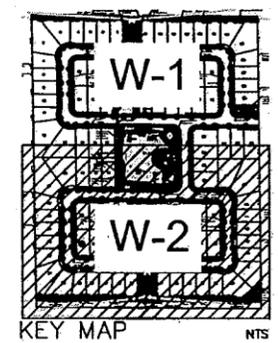


CONCEPTUAL WALL PLAN



WALL KEY

- PROJECT THEME WALL (SEE ELEVATION '1', SHEET W-3)
- - - SECONDARY THEME WALL (SEE ELEVATION '2', SHEET W-3)
- VIEW FENCE (SEE ELEVATION '4', SHEET W-3)
- EXISTING WALL
- ◆ THEME COLUMN (SEE ELEVATION 'D', SHEET W-3)
- \* PRIMARY PROJECT IDENTITY MONUMENTATION (SEE ELEVATION 'A', SHEET W-3)



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 land planning • landscape architecture  
 120 south ash avenue • tempe, arizona 85281 • phone: 480.994.0994



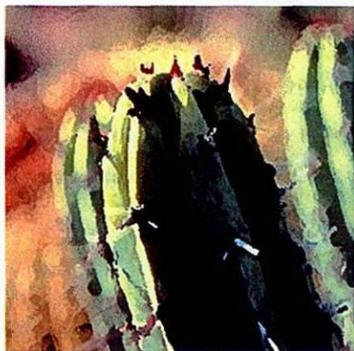
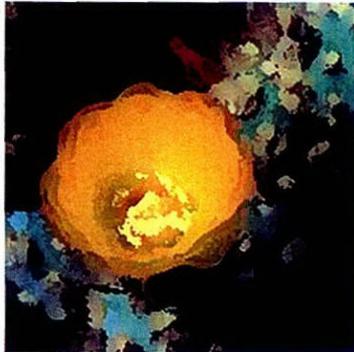
**ACOMA COURT**  
 SURPRISE, ARIZONA

Not for construction unless approved by local government

Revision	Date

Call Two Working Days Before You Dig  
 263-1100  
 1-800-STAKE  
(Outside Marketplace Only)

Date: 9/20/07  
 Job No.: 0654.0  
 Drawn: MD  
 SHEET #  
**W-2**<sup>5</sup><sub>OF6</sub>



# ACOMA COURT Preliminary Drainage Report

Located in Surprise, Arizona  
OCTOBER 2007

**Prepared for:**  
Acoma Land Company, LLC  
10620 Southern Highlands Pkwy, Suite 110-235  
Las Vegas, NV 89140

**Prepared by:**  
Kimley-Horn and Associates, Inc.  
125 South Avondale Blvd, Suite 115  
Avondale, Arizona 85323

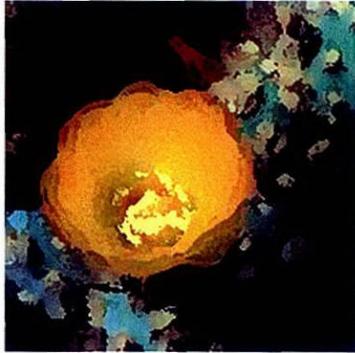
# RECEIVED

FEB 11 2008

## COMMUNITY DEVELOPMENT



**Kimley-Horn  
and Associates, Inc.**



## ACOMA COURT Preliminary Drainage Report

Located in Surprise, Arizona

**Prepared for:**

Acoma Land Company, LLC  
10620 Southern Highlands Pkwy, Suite 110-235  
Las Vegas, NV 89140

**Prepared by:**

Kimley-Horn and Associates, Inc.  
125 South Avondale Blvd, Suite 115  
Avondale, Arizona 85323

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191143002  
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October 2007



**ACOMA COURT**  
Preliminary Drainage Report

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## ACOMA COURT Preliminary Drainage Report

### 1.0 INTRODUCTION

#### 1.1 General Description

This preliminary drainage report has been prepared for the proposed Acoma Court single-family residential subdivision. Acoma Court is a 29.56 acre project consisting of 100 single family residential dwellings, with a minimum lot size of 6670 square feet. This report documents the existing on-site hydrology and the proposed drainage improvements to manage storm water for the proposed development.

##### 1.1.1 Project Name & Address

The Acoma Court development is located on the north side of Acoma Road between Sarival Street and Reems Road in Surprise, Arizona, and is bounded to the north by Custer Lane, to the west by Legacy Parc Subdivision, to the south by Acoma Road, and to the east by parcels owned by Learning Matters Charter School.

##### 1.1.2 Purpose

The Acoma Court Preliminary Drainage Report has been prepared in accordance with the City of Surprise requirements. The purpose of this report is to support the application for the preliminary plat. This Preliminary Drainage Report supports the preliminary plat by meeting the City's requirements for a preliminary drainage report.

##### 1.1.3 Existing/On-Going Studies

There are currently no existing or on-going studies for this area.

##### 1.1.4 Regional Drainage Plan

There are currently no planned regional drainage improvements for this area.

#### 1.2 Location

The project is located in the Northwest Quarter of Section 7, Township 3 North, Range 1 West of the Gila and Salt River Base and Meridian, Maricopa County, Arizona. **See Figure 1 – Vicinity Map.**

##### 1.2.1 Site Location Relative to Known FEMA Flood Hazard Zones

The proposed development is located entirely within Shaded Zone X per FEMA Firm map number 04013C1585H, dated September 30, 2005. A Shaded Zone X states "Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood." **See Figure 2– FEMA Map.** Historically, the property has been farmed and is not impacted by any floodplain.



## ACOMA COURT

Preliminary Drainage Report

### 1.3 Topography

The topography of the Acoma Court property is generally flat and contains little vegetation. The site naturally drains from northwest to southeast at an average slope of approximately 0.4%. Site elevations range from 1,228 feet to 1,238 feet above mean sea level (MSL).

## 2.0 DESCRIPTION OF STUDY AREA

### 2.1 Existing Conditions

The proposed development is located within the corporate limits of the City of Surprise. The surrounding developments consist of residential home sites ranging from 4,000 to 6,000 square feet in size. Lands located east of the site are currently undeveloped and have a City of Surprise General Plan Designation of Low Density Residential. Properties located north, south, east, and west of the site are currently developed. The existing terrain generally slopes from the northwest to southeast at an average of 0.4%.

#### 2.1.2 Existing Land Use

Lands located east of the site are currently undeveloped and have a City of Surprise General Plan Designation of Low Density Residential. Properties located north, south, east, and west of the site are currently developed.

### 2.2 Proposed Development

The proposed development consists of approximately 100 single-family residential dwellings, clustered around open spaces, trails, and amenities. The site will be mass graded and will be developed as a single phase.

#### 2.2.1 Methodology and Criteria

The proposed development conforms to the current General Plan Designation of Low Density Residential (3 to 5 Dwelling Units per Acre). Rezoning is requested for PAD reclassification from the existing R1-43 designation for the entire 29.56 acre site. Every home site will meet the required minimum lot size. The net density will be equal to 3.48 DU/AC and the gross density will be equal to 3.38 DU/AC.

# VICINITY MAP FOR ACOMA COURT SURPRISE, ARIZONA

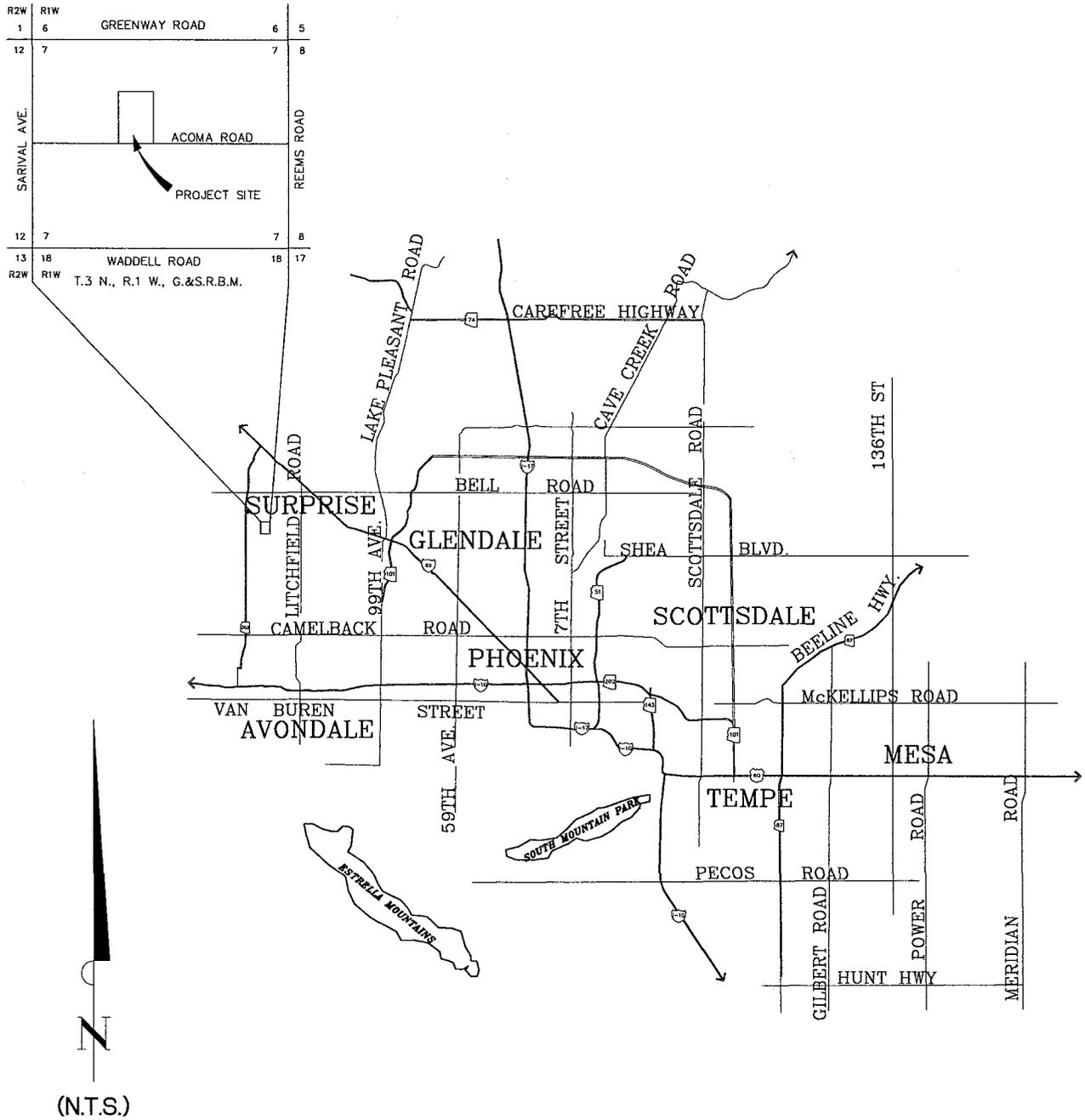


FIGURE 1: VICINITY MAP

**NATIONAL FLOOD INSURANCE PROGRAM**

**PANEL 1585H**

**FIRM  
FLOOD INSURANCE RATE MAP  
MARICOPA COUNTY,  
ARIZONA**

**AND INCORPORATED AREAS**

**PANEL 1585 OF 4350**

(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
GLENDALE, CITY OF	040045	1585	H
MARICOPA COUNTY	040037	1585	H
SURPRISE, CITY OF	040053	1585	H

Notice to User: The Map Numbers shown below should be used when placing map orders; the Community Numbers shown above should be used on insurance applications for the subject community.



**MAP NUMBER  
04013C1585H**

**MAP REVISED**

**SEPTEMBER 30, 2005**

Federal Emergency Management Agency

**LEGEND**

SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD

The 1% annual chance flood (100-year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zones A, AE, AH, AO, AR, A99, V and VE. The Base Flood Elevation is the water-surface elevation of the 1% annual chance flood.

- ZONE A** No Base Flood Elevations determined.
- ZONE AE** Base Flood Elevations determined.
- ZONE AH** Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.
- ZONE AO** Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined. For areas of alluvial fan flooding, velocities also determined.
- ZONE AR** Special Flood Hazard Area formerly protected from the 1% annual chance flood by a flood control system that was subsequently decertified. Zone AR indicates that the former flood control system is being restored to provide protection from the 1% annual chance or greater flood.
- ZONE A99** Area to be protected from 1% annual chance flood by a Federal flood protection system under construction; no Base Flood Elevations determined.
- ZONE V** Coastal flood zone with velocity hazard (wave action); no Base Flood Elevations determined.
- ZONE VE** Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.

FLOODWAY AREAS IN ZONE AE

The floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights.

OTHER FLOOD AREAS

**ZONE X** Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.

OTHER AREAS

**ZONE X** Areas determined to be outside the 0.2% annual chance floodplain.

**ZONE D** Areas in which flood hazards are undetermined, but possible.

COASTAL BARRIER RESOURCES SYSTEM (CBRS) AREAS

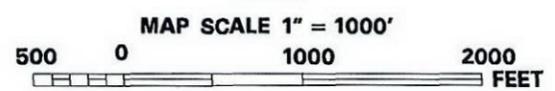
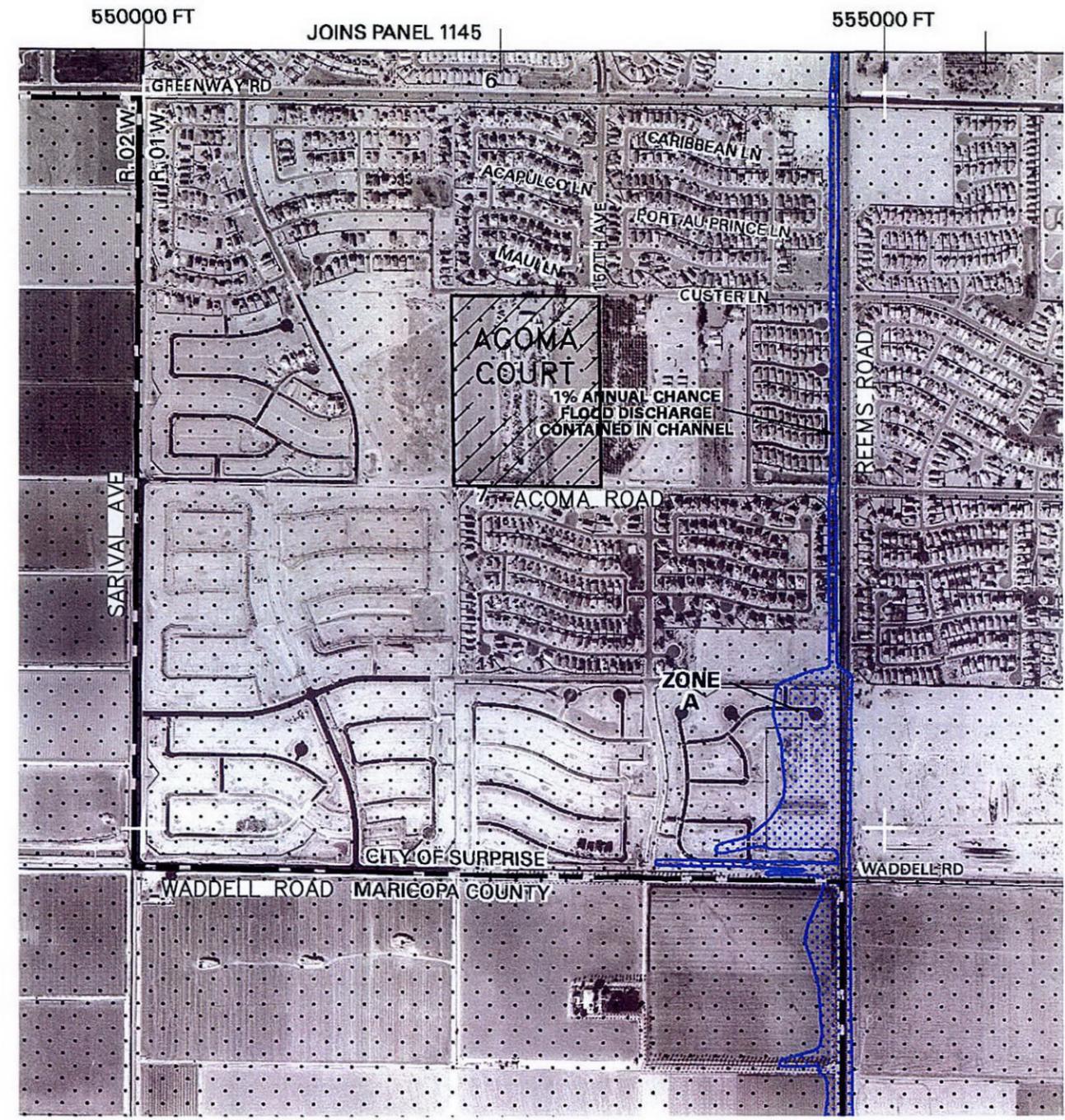
OTHERWISE PROTECTED AREAS (OPAs)

CBRS areas and OPAs are normally located within or adjacent to Special Flood Hazard Areas.

- 1% annual chance floodplain boundary
- 0.2% annual chance floodplain boundary
- Floodway boundary
- Zone D boundary
- CBRS and OPA boundary
- Boundary dividing Special Flood Hazard Area Zones, and boundary dividing Special Flood Hazard Areas of different Base Flood Elevations, flood depths, or flood velocities.
- Base Flood Elevation line and value; elevation in feet \*
- Base Flood Elevation value where uniform within zone; elevation in feet \*

\* Referenced to the National Geodetic Vertical Datum of 1929

- Cross section line
- Transect line



**FIGURE 2: FEMA MAP**





### 3.0 Off-Site Drainage Flows

#### 3.1 Impacts to Proposed Project Site

There are currently no impacts to the proposed project site due to offsite flows.

### 4.0 ON-SITE DRAINAGE FLOWS

#### 4.1 General Description

The existing topography in this area generally drains from the northwest to the southeast. There are no offsite flows affecting this site. The developments north and west of the property retain the 100-year 2-hour storm events within onsite retention basins. North of the site is Custer Lane which has a cross-slope to the North and conveys stormwater flow in curb and gutter to the East.

All proposed home sites will be mass-graded such that runoff is conveyed to the streets in front of each lot. Flows will then be conveyed within the proposed street network to various retention basins located in open space areas. Areas tributary to each proposed retention basin were delineated into sub-basins based on the proposed grading plan. See **Figure 3– Proposed Grading & Drainage Exhibit**. On-site retention basins are sized to contain both the on-site tributary flows as well as the half-street flows from Acoma Road, and Custer Lane.

Retention basins are located within proposed tracts throughout the development. All proposed retention basins will be 3 feet deep and will have a maximum side slope of 4:1. For the portions of the ponds that are adjacent to a public right of way, 6:1 side slopes will be used. They will provide adequate storage for the 100-year, 2-hour storm event. These basins will drain by percolation within 36 hours with the aid of drywells, as necessary.

#### 4.2 Street Drainage

The proposed streets will be designed such that the 10-year runoff event will be conveyed within the proposed curb and gutter and the 100-year runoff event will be conveyed within the proposed right-of-way. Six inch vertical curb and gutter will be utilized when the capacity of a four inch rolled curb is exceeded.

All on-site development will be designed to drain via surface/street flow to retention areas that are proposed within the landscape and open space corridors. These basins will be sized to convey both the half-street sections of all off-site frontage roads and the on-site 100-year storm water flows collected within the development.



#### 4.3 Drainage Design Criteria

The on-site hydrology will be based on the Rational Method formula:

$$Q=CIA$$

Where:

Q = 100-year storm runoff (cfs)

C = Runoff coefficient = 0.72

I = 100-year rainfall depth (in)

A = Basin area (ac)

The streets, sidewalks and roofs are considered impervious with a runoff coefficient of 0.95. The landscape areas have a runoff coefficient of 0.3 and the lot yards have a runoff coefficient of 0.4. It is assumed that the homes will encompass approximately 60% of each lot area. These coefficients were applied to their respective areas throughout the entire site and the result is a weighted runoff coefficient of 0.72.

#### 4.4 Storm Water Storage Requirements

The storage volume required is calculated for the 100-year, 2-hour rainfall event using the following formula for each drainage area:

$$V_r = (P/12) AC$$

where:

$V_r$  = volume of storm water storage required (ac-ft)

C = developed runoff coefficient for disturbed areas of the site (C=0.72)

P = precipitation depth of 2.80 inches

A = disturbed area of the site (acres)

The volume required and provided in each of these basins is summarized and provided in Appendix A. All retention basins have been designed with a maximum ponding depth of three feet with 4:1 side slopes. For the portions of the ponds that are adjacent to a public right of way, 6:1 side slopes will be used. Locations of the proposed retention basins are shown on the Drainage Map Exhibit. See **Figure 3–Proposed Grading & Drainage Exhibit**.

#### 4.5 Ultimate Retention Basin Outfall

Surcharge flows from retention basin outfall will be conveyed to the south onto Acoma Road. Half street improvements will provide a crown section for this segment of the road, which slopes to the east at 0.3%.



## ACOMA COURT

Preliminary Drainage Report

### 4.6 Finished Floor Elevations

The following criteria were utilized to establish the minimum finished floor elevations:

- All finish floor elevations will be a minimum of 14 inches above the low curb of the lot or 12 inches above the adjoining base flood level (100-year storm), whichever is greater.
- All lots will be graded to drain to the street at the front of each lot.

# ACOMA COURT

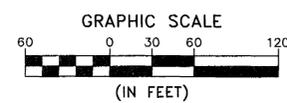
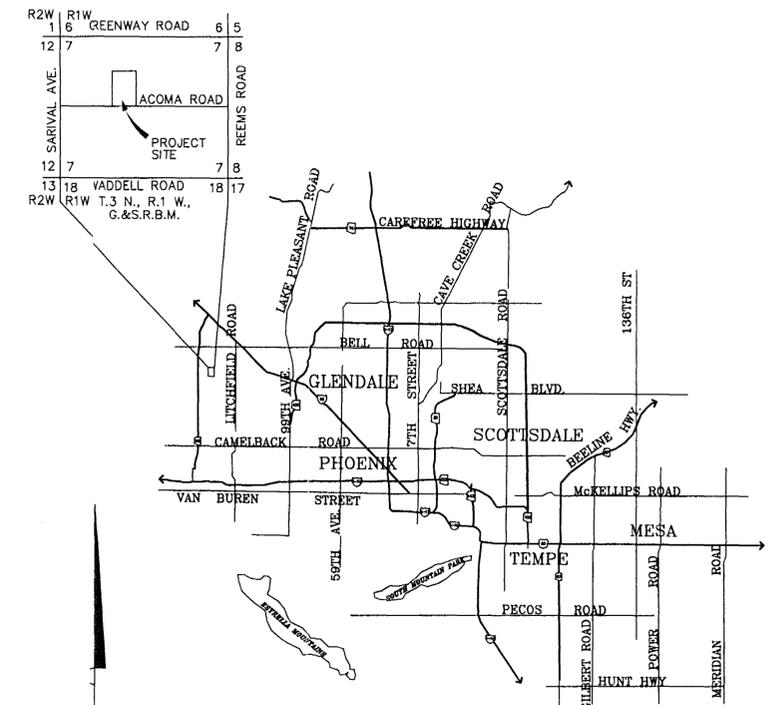
## PROPOSED GRADING & DRAINAGE EXHIBIT

OCTOBER 2007

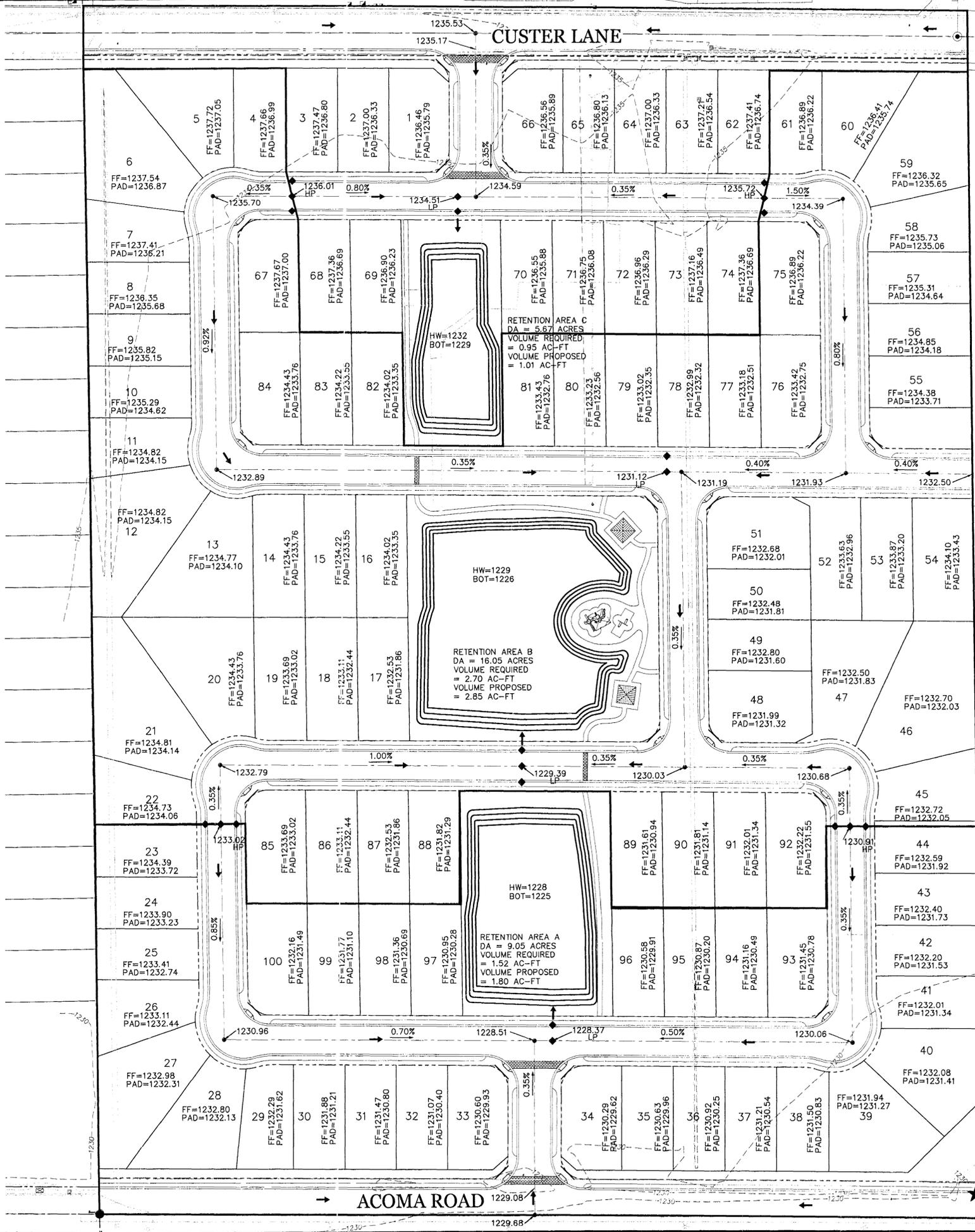
Retention Area #	Depth (ft.)	C	P (in.)	Drainage Area (sf)	Drainage Area (ac)	Volume Required (ac-ft)	Volume Provided (ac-ft)	Drywells Required
A	3	0.72	2.8	394,455	9.05	1.52	1.80	2
B	3	0.72	2.8	699,015	16.05	2.70	2.85	2
C	3	0.72	2.8	247,176	5.67	0.95	1.01	1
Total				1,340,646	30.77	5.17	5.66	5

### LEGEND

- BASIN OUTFALL
- FLOW ARROWS
- DRAINAGE AREA DELINEATION
- EXISTING CONTOUR
- LOT LINE
- RIGHT OF WAY

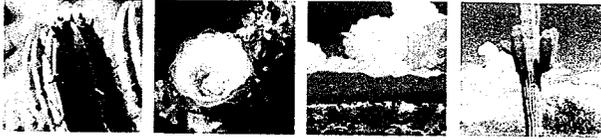


ULTIMATE OUTFALL  
EX. ELEV = 1228



C:\sw\1014\2007\65001\1-30020R.dwg Feb 07, 2008 philip.sarantis  
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FIGURE 3: PROPOSED GRADING & DRAINAGE EXHIBIT



## ACOMA COURT Preliminary Drainage Report

### 4.0 SPECIAL ISSUES OR CONSIDERATIONS

#### 4.1 401/404 Permit

The project site is not located adjacent to any 401/404 washes.

#### 4.2 Floodplain Use Permit with FCDMC

The project site is not impacted by any floodplains.

### 5.0 SUMMARY AND CONCLUSIONS

The Acoma Court Preliminary Drainage Report has been prepared in accordance with the City of Surprise requirements. This report will support the application for the preliminary plat by meeting the City's requirements for a preliminary drainage report.

### 6.0 REFERENCES

- 1) *Drainage Design Manual for Maricopa County, Arizona Volume I, Hydrology*, Maricopa County Flood Control District, January 1995.
- 2) *Preliminary and Final Drainage Report Guidelines*, City of Surprise, Arizona, December 2004.

APPENDIX A – RETENTION CALCULATIONS

Retention Basin A								
Contributing Area		9.05		Required Volume		1.52		
Elevation	Total Storage Area	Total Storage Area	Average Area	Δ Elev	Vol	Σ Vol	Drywell Required	
[ft]	[ft <sup>2</sup> ]	[acre]	[acre]	[ft]	[ac-ft]	[ac-ft]		
1	21,657	0.50				0		
2	24,584	0.56	0.53	1.0	0.53	0.53		
3	27,691	0.64	0.60	1.0	0.60	1.13		
4	30,976	0.71	0.67	1.0	0.67	1.80		
							1.02	use 2

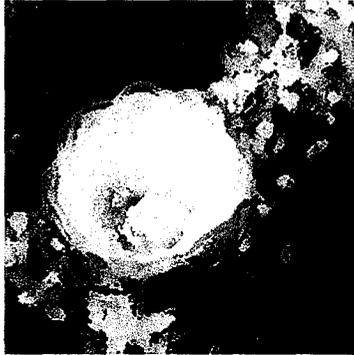
Retention Basin B								
Contributing Area		16.05		Required Volume		2.70		
Elevation	Total Storage Area	Total Storage Area	Average Area	Δ Elev	Vol	Σ Vol	Drywell Required	
[ft]	[ft <sup>2</sup> ]	[acre]	[acre]	[ft]	[ac-ft]	[ac-ft]		
1	35,261	0.81				0		
2	39,202	0.90	0.85	1.0	0.85	0.85		
3	43,317	0.99	0.95	1.0	0.95	1.80		
4	47,604	1.09	1.04	1.0	1.04	2.85		
							1.81	use 2

Retention Basin C								
Contributing Area		5.67		Required Volume		0.95		
Elevation	Total Storage Area	Total Storage Area	Average Area	Δ Elev	Vol	Σ Vol	Drywell Required	
[ft]	[ft <sup>2</sup> ]	[acre]	[acre]	[ft]	[ac-ft]	[ac-ft]		
1	11,147	0.26				0		
2	13,397	0.31	0.28	1.0	0.28	0.28		
3	15,825	0.36	0.34	1.0	0.34	0.62		
4	18,432	0.42	0.39	1.0	0.39	1.01		
							0.64	use 1

Acre Feet

Total Volume Required  
 Total Volume Provided  
 Total Excess Volume

5.17  
 5.66  
 0.49



# ACOMA COURT Preliminary Sewer Report

Located in Surprise, Arizona  
OCTOBER 2007

Prepared for:  
Acoma Land Company, LLC  
10620 Southern Highlands Pkwy, Suite 110-235  
Las Vegas, NV 89140

Prepared by:  
Kimley-Horn and Associates, Inc.  
125 South Avondale Boulevard, Suite 115  
Avondale, Arizona 85323

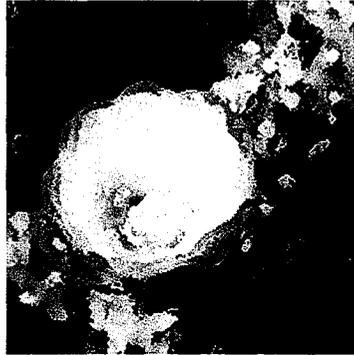
# RECEIVED

FEB 11 2008

COMMUNITY  
DEVELOPMENT



Kimley-Horn  
and Associates, Inc.



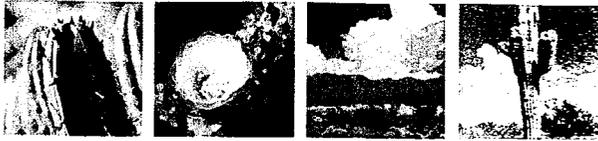
ACOMA COURT  
Preliminary Sewer Report  
Located in Surprise, Arizona

Prepared for:  
Acoma Land Company, LLC  
10620 Southern Highlands Pkwy, Suite 110-235  
Las Vegas, NV 89140

Prepared by:  
Kimley-Horn and Associates, Inc.  
125 South Avondale Boulevard, Suite 115  
Avondale, Arizona 85323

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October 2007



ACOMA COURT  
Preliminary Sewer Report

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## ACOMA COURT Preliminary Sewer Report

### 1.0 SITE DESCRIPTION

#### 1.1 Introduction

This report has been prepared to describe how sanitary sewer services will be provided to the Acoma Court development. The 29.55 acre proposed project consists of 100 single family residential dwellings.

#### 1.2 Project Location

The proposed Acoma Court development is located in the City of Surprise. The subject property is bordered on the north by Custer Lane and to the south by Acoma Road. Lands located east of the site are currently undeveloped and have a City of Surprise General Plan Designation of Low Density Residential. The west side of the property is bounded by the Legacy Parc subdivision. See **Figure 1 – Vicinity Map**.

The property has been historically farmed and is not impacted by any floodplain.

### 2.0 COLLECTION SYSTEM DESCRIPTION

#### 2.1 Existing Collection System

The proposed Acoma Court subdivision is currently an undeveloped parcel of land. There is no existing wastewater collection system that currently serves the site. Per the City of Surprise's "as-built" maps, there is an existing sewer main running north to south along 157<sup>th</sup> Avenue, southeast of the property. It has been stubbed out to the west at its northern most point, the intersection with Acoma Road. This is the closest sewer main to the development and will be the point of connection for the proposed wastewater collection system. See **Figure 2 – Sanitary Sewer Site Map**.

#### 2.2 Proposed Collection System

The proposed off-site collection will be 10" diameter PVC sewer pipe which will connect to the existing sewer main at the intersection of Acoma Road and 157<sup>th</sup> Avenue.

The on-site collection system will be 8" diameter PVC sewer pipe for the proposed development (See Figure 2 – Site Map). The on-site system will be a minimum of five (5) feet deep and will be designed such that the minimum and maximum slope and velocity requirements for the City of Surprise are met.



## ACOMA COURT Preliminary Sewer Report

### 3.0 BASIS OF DESIGN

#### 3.1 Design Flow Rates

The average and peak design flows for Acoma Court were calculated as follows:

Per Table 29 of the City of Surprise's Water Infrastructure Master Plan, the amount of daily indoor water use for residential densities less than five (5) dwelling units per acre is 100 gallons per capita per day with 3.2 persons per dwelling unit. One hundred percent of this indoor water use is assumed to be discharged as wastewater. The average daily flow is calculated as follows:

$$Q_{Avg} = 100units \cdot 3.2capita/unit \cdot 100gpcpd = 32,000gpd = 0.0495cfs$$

The peak daily flow was calculated using a peaking factor of 4 from Table 30 of the City of Surprise's Water Infrastructure Master Plan:

$$Q_{Peak} = 100units \cdot 3.2capita/unit \cdot 100gpcpd \cdot 4 = 128,000gpd = 0.1981cfs$$

#### 3.2 Pipe Capacity

The project site will have one outfall location. The Haestad Methods program, Flowmaster 2005, was used to calculate the maximum capacity for 8" and 10" diameter pipes at the minimum allowable slopes. A Manning's "n" value of 0.010 was used for all pipes. The minimum allowable slopes for 8" and 10" diameter pipes are 0.0033 ft/ft and 0.0024 ft/ft, respectively, per the City of Surprise Water Infrastructure Master Plan. A depth-to-diameter (d/D) ratio of 0.8 was used. The maximum flow for an 8" pipe at minimum slope is 0.88 cfs and the maximum flow for a 10" pipe at minimum slope is 1.36 cfs. These flows are greater than the required capacity of 0.1981 cfs, therefore, provided sewer pipes have sufficient capacity to convey the projected flows from the proposed development.

# VICINITY MAP FOR ACOMA COURT SURPRISE, ARIZONA

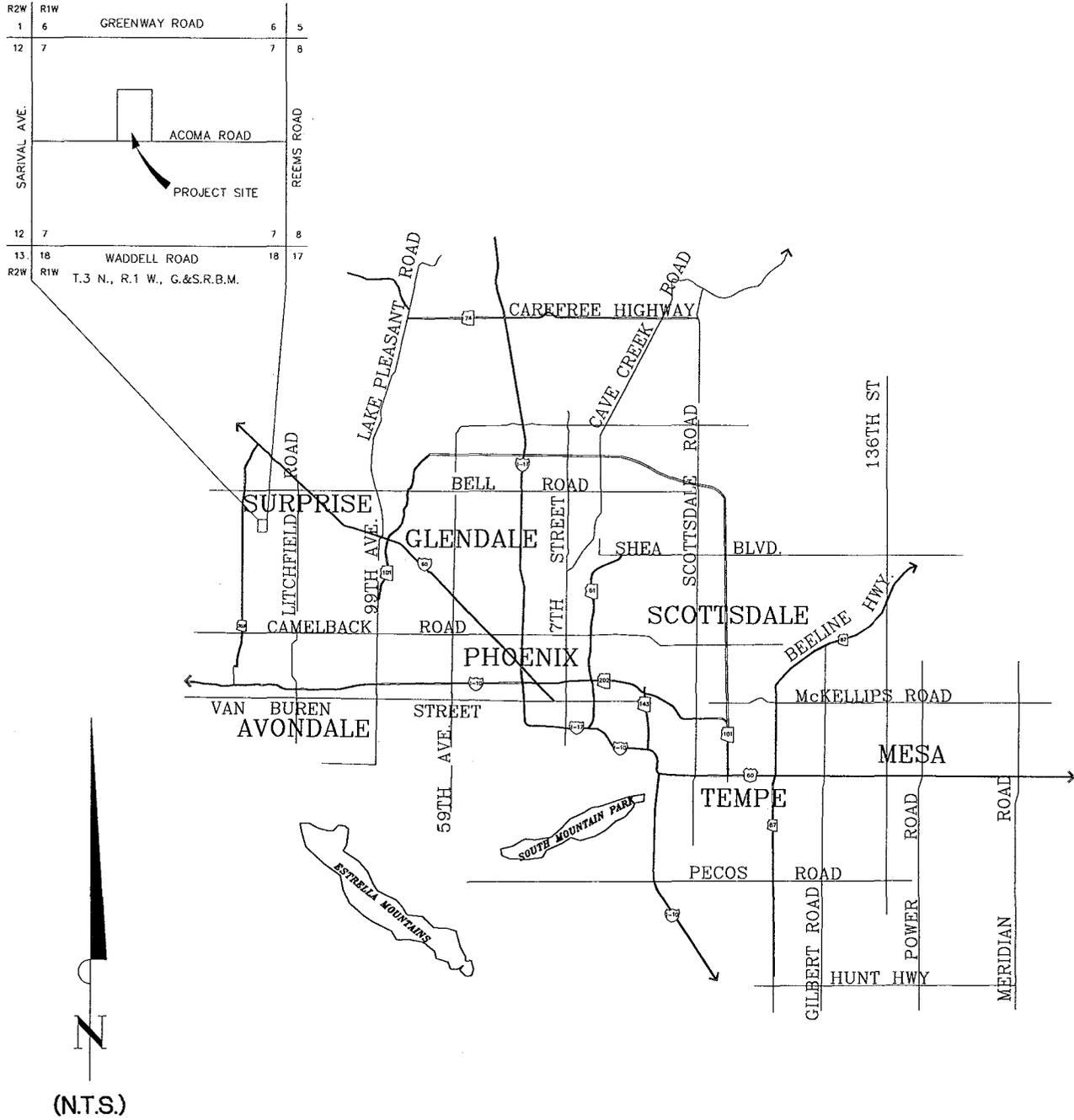


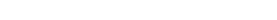
FIGURE 1: VICINITY MAP



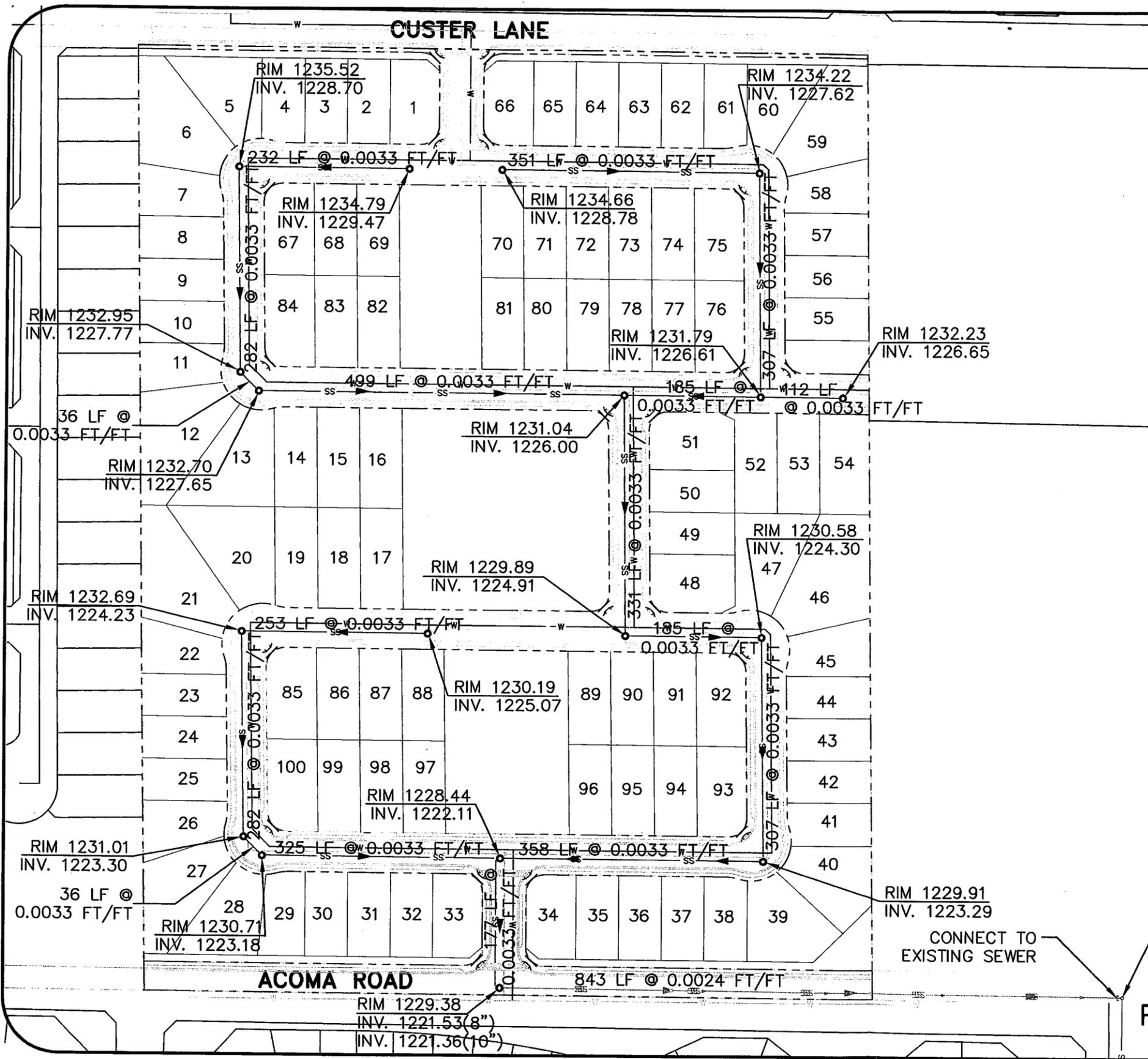
# ACOMA COURT

OCTOBER 2007

## LEGEND

-  LOT LINE
-  PROPERTY LINE
-  RIGHT OF WAY LINE
-  PROPOSED 8" SEWER LINE
-  PROPOSED 10" SEWER LINE
-  PROPOSED MANHOLE
-  EXISTING SEWER LINE
-  PROPOSED WATER LINE

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SCALE: 1" = 150'

FIGURE 2: SANITARY SEWER SITE MAP



APPENDIX A: SEWER CAPACITY CALCULATIONS

---

## Worksheet for 8" Sanitary Sewer

---

### Project Description

Friction Method                      Manning Formula  
Solve For                                Discharge

### Input Data

Roughness Coefficient	0.010	
Channel Slope	0.00330	ft/ft
Normal Depth	0.53	ft
Diameter	0.67	ft

### Results

Discharge	0.88	ft <sup>3</sup> /s
Flow Area	0.30	ft <sup>2</sup>
Wetted Perimeter	1.47	ft
Top Width	0.54	ft
Critical Depth	0.45	ft
Percent Full	79.1	%
Critical Slope	0.00507	ft/ft
Velocity	2.95	ft/s
Velocity Head	0.14	ft
Specific Energy	0.67	ft
Froude Number	0.70	
Maximum Discharge	0.98	ft <sup>3</sup> /s
Discharge Full	0.91	ft <sup>3</sup> /s
Slope Full	0.00308	ft/ft
Flow Type	SubCritical	

### GVF Input Data

Downstream Depth	0.00	ft
Length	0.00	ft
Number Of Steps	0	

### GVF Output Data

Upstream Depth	0.00	ft
Profile Description		
Profile Headloss	0.00	ft
Average End Depth Over Rise	0.00	%
Normal Depth Over Rise	79.10	%
Downstream Velocity	Infinity	ft/s
Upstream Velocity	Infinity	ft/s

---

---

## Worksheet for 8" Sanitary Sewer

---

### GVF Output Data

Normal Depth	0.53	ft
Critical Depth	0.45	ft
Channel Slope	0.00330	ft/ft
Critical Slope	0.00507	ft/ft

---

## Cross Section for 8" Sanitary Sewer

---

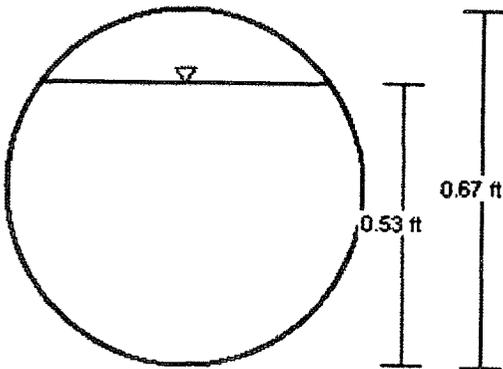
### Project Description

Friction Method	Manning Formula
Solve For	Discharge

### Input Data

Roughness Coefficient	0.010
Channel Slope	0.00330 ft/ft
Normal Depth	0.53 ft
Diameter	0.67 ft
Discharge	0.88 ft <sup>3</sup> /s

### Cross Section Image



V:1   
H:1

## Worksheet for 10" Sanitary Sewer

### Project Description

Friction Method                      Manning Formula  
Solve For                                Discharge

### Input Data

Roughness Coefficient	0.010	
Channel Slope	0.00240	ft/ft
Normal Depth	0.67	ft
Diameter	0.83	ft

### Results

Discharge	1.36	ft <sup>3</sup> /s
Flow Area	0.47	ft <sup>2</sup>
Wetted Perimeter	1.85	ft
Top Width	0.65	ft
Critical Depth	0.52	ft
Percent Full	80.7	%
Critical Slope	0.00448	ft/ft
Velocity	2.91	ft/s
Velocity Head	0.13	ft
Specific Energy	0.80	ft
Froude Number	0.61	
Maximum Discharge	1.48	ft <sup>3</sup> /s
Discharge Full	1.38	ft <sup>3</sup> /s
Slope Full	0.00233	ft/ft
Flow Type	SubCritical	

### GVF Input Data

Downstream Depth	0.00	ft
Length	0.00	ft
Number Of Steps	0	

### GVF Output Data

Upstream Depth	0.00	ft
Profile Description		
Profile Headloss	0.00	ft
Average End Depth Over Rise	0.00	%
Normal Depth Over Rise	80.72	%
Downstream Velocity	Infinity	ft/s
Upstream Velocity	Infinity	ft/s

---

## Worksheet for 10" Sanitary Sewer

---

### GVF Output Data

Normal Depth	0.67	ft
Critical Depth	0.52	ft
Channel Slope	0.00240	ft/ft
Critical Slope	0.00448	ft/ft

---

## Cross Section for 10" Sanitary Sewer

---

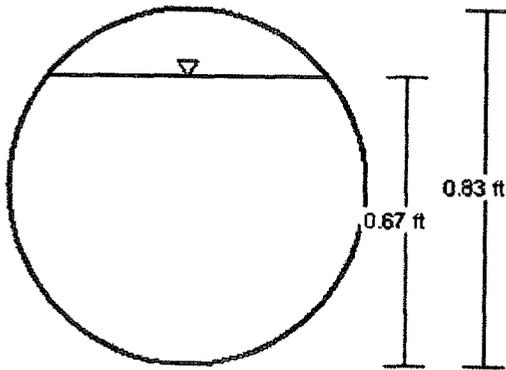
### Project Description

Friction Method                      Manning Formula  
Solve For                                Discharge

### Input Data

Roughness Coefficient	0.010
Channel Slope	0.00240 ft/ft
Normal Depth	0.67 ft
Diameter	0.83 ft
Discharge	1.36 ft <sup>3</sup> /s

### Cross Section Image



V: 1   
H: 1

**LEGAL DESCRIPTION**

PARCEL NO. 1:  
 THAT PORTION OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 7, TOWNSHIP 3 NORTH, RANGE 1 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:  
 COMMENCING AT THE EAST QUARTER CORNER OF SAID SECTION 7;  
 THENCE NORTH 89°36'26" WEST, 2281.33 FEET ALONG THE EAST-WEST MIDSECTION LINE OF SAID SECTION 7 TO THE POINT OF BEGINNING;  
 THENCE CONTINUING NORTH 89°36'26" WEST 366.23 FEET TO THE CENTER POINT OF SAID SECTION 7;  
 THENCE NORTH 00°45'35" WEST, ALONG THE NORTH-SOUTH MID-SECTION LINE, 1320.5 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 7;  
 THENCE SOUTH 89°36'04" EAST 363.88 FEET;  
 THENCE SOUTH 00°51'40" EAST 1320.66 FEET TO THE POINT OF BEGINNING;  
 EXCEPT THE NORTH 25 FEET AS CONVEYED TO THE COUNTY OF MARICOPA, A POLITICAL SUBDIVISION OF THE STATE OF ARIZONA IN DEED RECORDED IN BOOK 234 OF DEEDS, PAGE 418.

PARCEL NO. 2:  
 A PORTION OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 7, TOWNSHIP 3 NORTH, RANGE 1 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:  
 COMMENCING AT THE EAST QUARTER CORNER OF SAID SECTION 7;  
 THENCE NORTH 89°36'26" WEST, 1974.24 FEET ALONG THE EAST-WEST ONE QUARTER LINE OF SAID SECTION 7 TO THE TRUE POINT OF BEGINNING OF THIS DESCRIPTION;  
 THENCE CONTINUING ALONG SAID EAST-WEST ONE QUARTER SECTION LINE, NORTH 89°36'26" WEST, 307.09 FEET;  
 THENCE NORTH 00°51'40" WEST, 1320.66 FEET TO A POINT ON THE NORTH LINE OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF SAID SECTION 7;  
 THENCE SOUTH 89°36'04" EAST 448.10 FEET ALONG SAID NORTH LINE OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER;  
 THENCE SOUTH 00°40'49" EAST, 239.09 FEET;  
 THENCE SOUTH 89°08'20" WEST 140.22 FEET;  
 THENCE SOUTH 00°51'40" EAST, 1078.44 FEET TO THE TRUE POINT OF BEGINNING;  
 EXCEPT THE NORTH 25 FEET AS CONVEYED TO THE COUNTY OF MARICOPA, A POLITICAL SUBDIVISION OF THE STATE OF ARIZONA IN DEED RECORDED IN BOOK 234 OF DEEDS, PAGE 418.

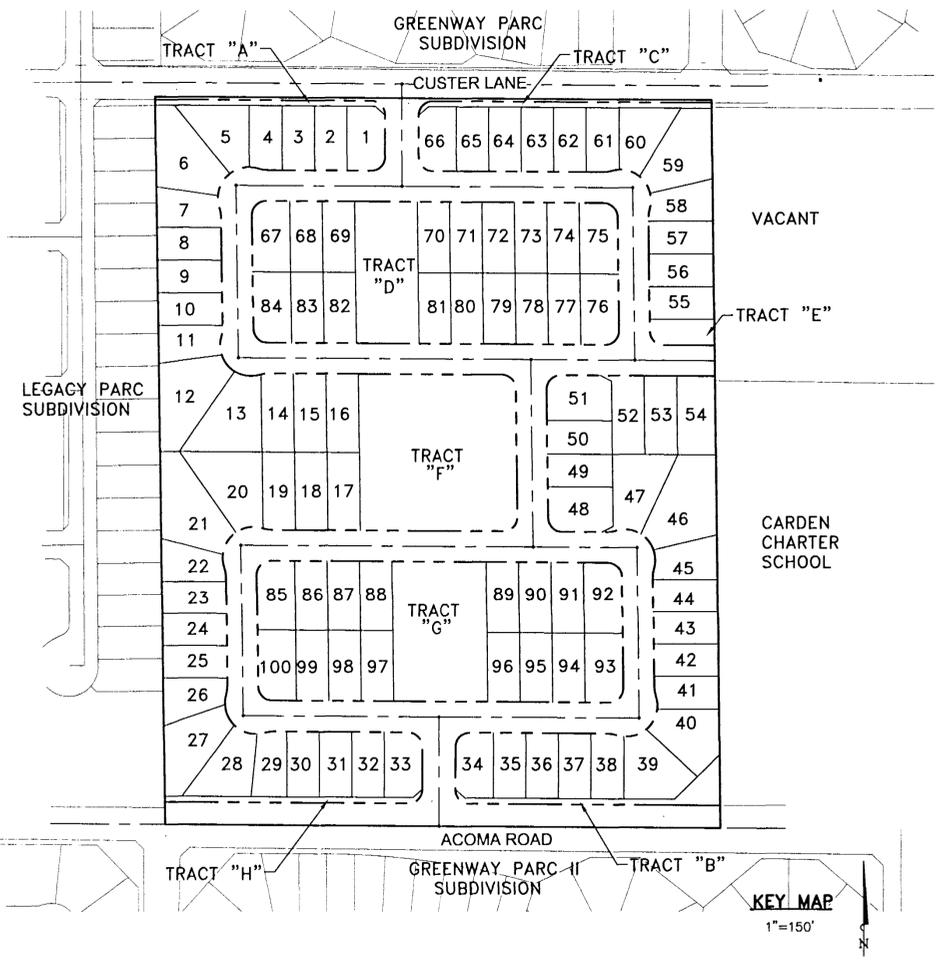
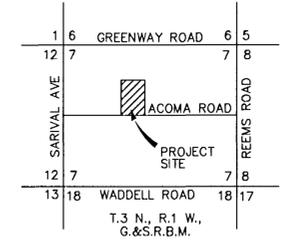
PARCEL NO. 3:  
 A PORTION OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 7, TOWNSHIP 3 NORTH, RANGE 1 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:  
 COMMENCING AT THE EAST QUARTER CORNER OF SAID SECTION 7;  
 THENCE NORTH 89°36'26" WEST, 1654.73 FEET, TO A POINT ON THE EAST LINE OF THE WEST HALF OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 7 AND THE POINT OF BEGINNING;  
 THENCE CONTINUING NORTH 89°36'26" WEST 319.51 FEET;  
 THENCE NORTH 00°51'40" WEST 1078.44 FEET;  
 THENCE NORTH 89°08'20" EAST 140.22 FEET;  
 THENCE NORTH 00°40'49" WEST 239.09 FEET;  
 THENCE SOUTH 89°36'04" EAST 182.67 FEET TO A POINT ON THE EAST LINE OF THE WEST HALF OF THE EAST HALF OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 7;  
 THENCE SOUTH 00°40'49" EAST, ALONG THE EAST LINE OF THE WEST HALF OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 7 A DISTANCE OF 1320.51 FEET TO THE POINT OF BEGINNING;  
 EXCEPT THE NORTH 25 FEET AS CONVEYED TO THE COUNTY OF MARICOPA, A POLITICAL SUBDIVISION OF THE STATE OF ARIZONA IN DEED RECORDED IN BOOK 234 OF DEEDS, PAGE 418.

- NOTES:**
- DEDICATIONS AND ASSURANCE OF OFF-SITE CONSTRUCTION SHALL OCCUR BY MAP OF DEDICATION AND COMMUNITY WITH RECORDATION OF THE FINAL PLATS.
  - ZONING OF THE SUBJECT PRE-PLAT IS PROPOSED TO BE P.A.D.
  - GENERAL PLAN DESIGNATION = LDR (LOW DENSITY RESIDENTIAL).
  - ALL EXISTING AND FUTURE OVERHEAD POWER LINES TO BE UNDERGROUND AND RELOCATED WITHIN THE PROPOSED P.U.E.'S.
  - ALL PERIMETER WALLS ADJACENT TO AN ARTERIAL, MAJOR COLLECTOR OR THE COMMUNITY OPEN SPACE SYSTEM AND PERIMETER TRAILS SHALL BE VIEW FENCES. THE TOP OF ANY VIEW FENCE, IF CONSTRUCTED OF ORNAMENTAL IRON OR A SIMILAR MATERIAL, SHALL HAVE A RAIL OR HORIZONTAL MEMBER SUCH THAT NO PORTION OF THE VIEW FENCE PROTRUDES ABOVE THE TOP RAIL OR HORIZONTAL MEMBER.
  - ALL PERIMETER WALLS SHALL BE FINISHED ON ALL SIDES TO MATCH THE RESIDENTIAL PRODUCT ARCHITECTURAL STYLE AND DESIGN.
  - TRAIL PROVIDED WITHIN TRACTS D, F & G.
  - ALL TRACTS SHALL BE DEDICATED AS PUBLIC ACCESS EASEMENTS.
  - HOME OWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL LANDSCAPE MAINTENANCE (RIGHT OF WAY AND OPEN SPACE AND TRACTS).
  - ALL RETENTION BASINS MUST BE MAINTAINED TO DRAIN WITHIN 36 HOURS AFTER A STORM EVENT.
  - ALL DEVELOPMENT PHASES DEPICTED ON THIS PRELIMINARY PLAT SHALL BE PROVIDED A MINIMUM OF TWO (2) SEPERATE POINTS OF UNOBSTRUCTED ACCESS WITH A MINIMUM WIDTH OF TWENTY (20) FEET, INSTALLED AND MAINTAINED PURSUANT TO THE REQUIREMENTS OF THE CITY OF SURPRISE.
  - VEHICULAR NON ACCESS EASEMENTS (V.N.A.E.) CREATED BY THIS PLAT ARE INTENDED TO BENEFIT THE CITY OF SURPRISE AND BE RESTRICTIVE IN NATURE. THE INTENT OF SAID EASEMENTS IS TO PREVENT ACCESS TO PUBLIC RIGHT-OF-WAY AND PRIVATE H.O.A. MAINTAINED TRACTS. THE RESTRICTIVE NATURE OF V.N.A.E. WOULD PREVENT CONSTRUCTION OF PERMANENT R.V.GATES, DRIVEWAYS, OR RELOCATE POINTS OF ACCESS OVER SAID V.N.A.E. INTO REAR OR SID YARDS. THE V.N.A.E. IS NOT INTENDED TO PREVENT TEMPORARY CONSTRUCTION ACCESS AS LONG AS APPROVED BY THE CITY OF SURPRISE AND THE WALL ARE RECONSTRUCTED TO THEIR ORIGINAL CONDITION.

# ACOMA COURT

## PRELIMINARY PLAT OF P.A.D. LOTS

BEING A PORTION OF THE SOUTHWEST QUARTER (SW 1/4) OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 7, TOWNSHIP 3 NORTH, RANGE 1 WEST, GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



**OWNER/DEVELOPER**

ACOMA LAND COMPANY, LLC  
 16020 SOUTHERN HIGHLANDS PARKWAY  
 SUITE 110-235  
 LAS VEGAS, NV 89140  
 PHONE: (702) 250-7554  
 CONTACT: MARC S. SPERBERG

**UTILITIES**

WATER ARIZONA AMERICA WATER COMPANY  
 SEWER CITY OF SURPRISE  
 GAS SOUTHWEST GAS  
 ELECTRIC S.R.P.  
 TELEPHONE QWEST  
 FIRE RURAL METRO

**ENGINEER**

KIMLEY-HORN AND ASSOCIATES, INC.  
 125 SOUTH AVONDALE BOULEVARD  
 SUITE 115  
 AVONDALE, ARIZONA 85323  
 PHONE: (623) 907-1155  
 CONTACT: PHILIP D. SARANDOS, P.E.

**SITE DATA**

EXISTING: VACANT LOT  
 GROSS AREA = 29.56 ACRES  
 NET AREA = 28.77 ACRES  
 GROSS DENSITY = 3.38 D.U./ACRE  
 NET DENSITY = 3.48 D.U./ACRE  
 TOTAL NUMBER OF LOTS = 100  
 EXISTING ZONING = R1-43  
 PROPOSED ZONING = P.A.D.  
 OPEN SPACE REQUIRED = 2.07 ACRES  
 OPEN SPACE PROVIDED = 4.07 ACRES  
 RETENTION REQUIRED = 6.10 AC-FT  
 RETENTION PROVIDED = 7.00 AC-FT

**BENCHMARKS**

BM 31-2  
 3" BRASS CAP FLUSH, STAMPED "CITY OF SURPRISE", EAST QUARTER CORNER OF SECTION 7, T. 3N, R. 1W, INTERSECTION OF ACOMA RD. AND REEMS RD.  
 ELEVATION=1219.98 (NAVD 88 DATUM)

**BASIS OF BEARING**

THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 7, TOWNSHIP 3 NORTH, RANGE 1 WEST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING S89°35'51"E (M), GDACS BEARINGS ON SAME LINE BEING S89°02'52"E (GDACS) BOOK 688, PAGE 41, (M.C.R.).

**TRACT AREAS**

TRACT NO.	AREA (AC)	USE
A	0.09	LANDSCAPE
B	0.18	LANDSCAPE
C	0.12	LANDSCAPE
D	0.65	LANDSCAPE/DRAINAGE
E	0.12	LANDSCAPE
F	1.78	LANDSCAPE/DRAINAGE
G	0.98	LANDSCAPE/DRAINAGE
H	0.11	LANDSCAPE
TOTAL	4.03	

**LEGEND**

- — — — — PROPERTY LINE
- — — — — PROPOSED LOT LINE
- — — — — PROPOSED CENTERLINE
- — — — — PROPOSED RIGHT OF WAY LINE
- - - - - PUBLIC UTILITY EASEMENT
- - - - - EXISTING EASEMENT
- - - - - PROPOSED SEWER LINE
- - - - - EXISTING SEWER LINE
- - - - - PROPOSED WATER LINE
- - - - - EXISTING WATER LINE
- - - - - SIGHT DISTANCE EASEMENT
- PROPOSED SURVEY MONUMENT PER MAG STD DET 120-1, TYPE 'B'
- PROPOSED MANHOLE
- PROPOSED FIRE HYDRANT
- EXISTING MANHOLE
- - - - - PUBLIC UTILITY EASEMENT
- - - - - SIGHT DISTANCE EASEMENT
- - - - - RIGHT-OF-WAY
- - - - - PROPERTY LINE
- 84 PROPOSED LOT NUMBERS

**LAND USE DATA**

PROPOSED USE	EXISTING ZONING DIST.	PROPOSED ZONING DIST.	MINIMUM LOT AREA (SF)	AVERAGE LOT AREA (SF)	MAXIMUM LOT AREA (SF)	GROSS PARCEL AREA(AC)	PROPOSED NUMBER OF LOTS PER PARCEL	DENSITY (DWELLING UNITS PER ACRE)
LOW DENSITY RESIDENTIAL	R1-43	P.A.D.	6,670	8,049	16,284	29.55	100	3.38



ACOMA COURT  
 PRELIMINARY PLAT  
 SURPRISE, ARIZONA  
 COVER SHEET

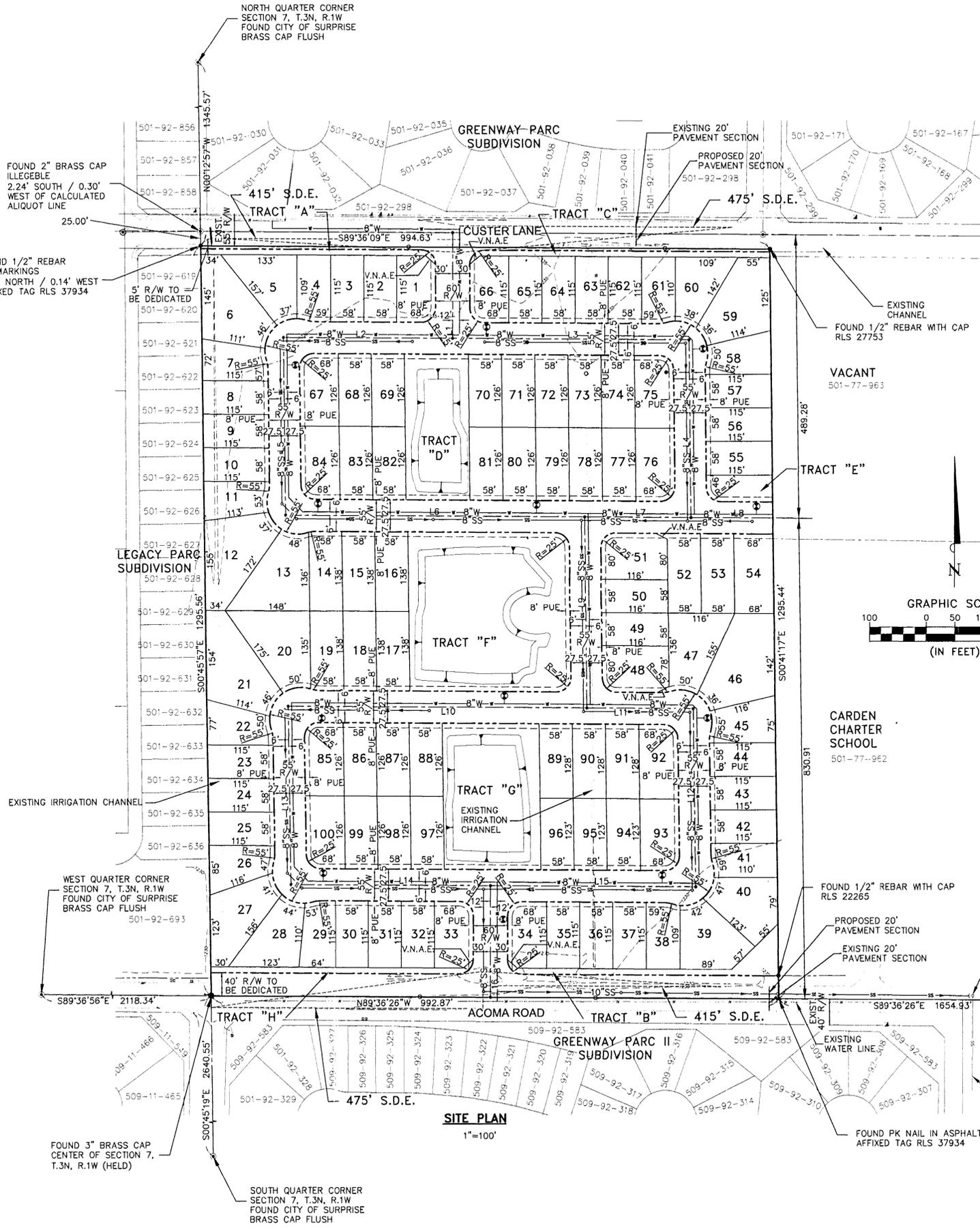
Kimley-Horn and Associates, Inc.  
 125 South Avondale Boulevard, Suite 115  
 Avondale, Arizona 85323 (623) 907-1155

SCALE (H): 1"=150'  
 SCALE (V): N/A  
 DESIGNED BY: PDS  
 DRAWN BY: PDS  
 CHECKED BY: GBN  
 DATE: DEC 2007

PROJECT NO. 191143002  
 DRAWING NAME 027004-PP01  
 1 OF 2

CASE # PP07-380

K:\A\19113002\ACOMA\19113002-PP02.DWG Feb 07, 2008 philip.sarandos  
 THIS DOCUMENT IS PREPARED FOR THE SPECIFIC PROJECT AND CLIENT FOR WHICH IT WAS PREPARED. REUSE  
 OF THIS DOCUMENT FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF KIMLEY-HORN AND ASSOCIATES, INC.  
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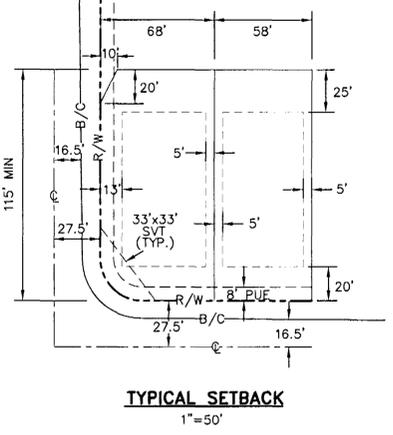
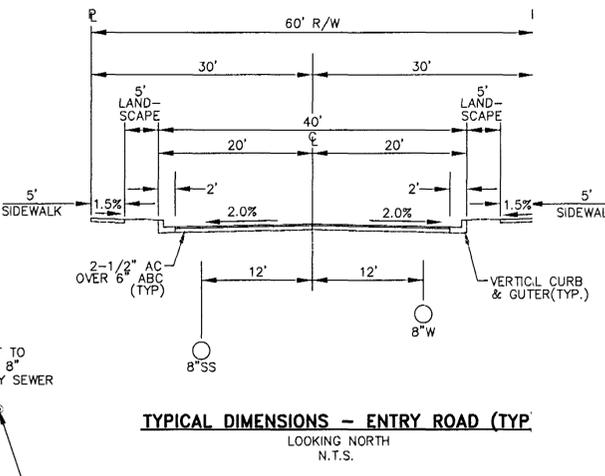
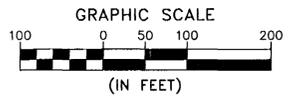
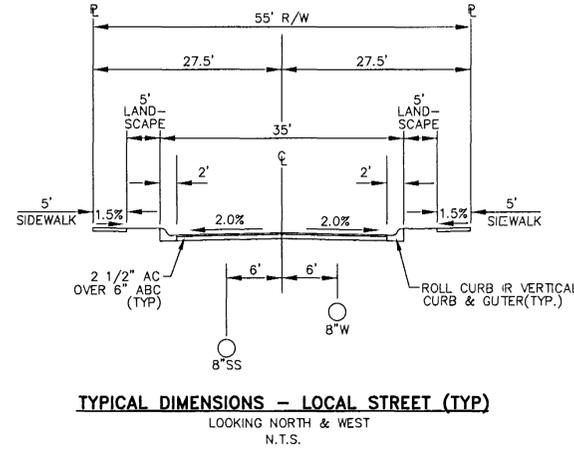


**CENTERLINE DATA**

LINE	BEARING	LENGTH
L1	S0°00'00"E	182.50'
L2	S8°36'02"E	296.63'
L3	S8°36'02"E	412.77'
L4	S0°40'52"E	307.05'
L5	S0°44'52"E	307.06'
L6	N8°36'02"W	523.65'
L7	N8°36'02"W	185.40'
L8	N8°36'02"W	143.04'
L9	S0°40'52"E	331.10'
L10	N8°36'02"W	523.31'
L11	N8°36'02"W	185.40'
L12	S0°40'52"E	307.05'
L13	N0°47'38"W	307.07'
L14	N8°36'02"W	349.97'
L15	N8°36'02"W	358.13'
L16	S0°00'49"W	192.78'

**LOT AREAS**

LOT NO.	AREA (SF)	LOT NO.	AREA (SF)
1	7,552	51	9,144
2	6,670	52	8,006
3	6,670	53	8,006
4	6,700	54	9,437
5	9,951	55	6,670
6	13,907	56	6,670
7	7,248	57	6,670
8	6,671	58	7,054
9	6,671	59	13,403
10	6,671	60	8,579
11	6,787	61	6,716
12	14,663	62	6,670
13	13,482	63	6,670
14	7,998	64	6,670
15	8,006	65	6,670
16	8,006	66	7,558
17	8,006	67	8,430
18	8,006	68	7,309
19	7,992	69	7,309
20	13,680	70	7,309
21	15,119	71	7,309
22	7,102	72	7,309
23	6,671	73	7,309
24	6,671	74	7,309
25	6,671	75	8,456
26	7,486	76	8,444
27	11,966	77	7,309
28	9,950	78	7,309
29	6,886	79	7,309
30	6,876	80	7,309
31	6,874	81	7,309
32	6,873	82	7,309
33	7,566	83	7,309
34	7,554	84	8,445
35	6,670	85	8,438
36	6,670	86	7,309
37	6,670	87	7,309
38	6,719	88	7,309
39	11,105	89	7,436
40	10,462	90	7,436
41	6,655	91	7,436
42	6,670	92	8,605
43	6,670	93	8,295
44	6,670	94	7,182
45	7,621	95	7,182
46	16,284	96	7,182
47	11,352	97	7,309
48	9,150	98	7,309
49	6,729	99	7,309
50	6,729	100	8,441



SCALE (H): 1"=100'  
 SCALE (V): NONE  
 DESIGNED BY: PDS  
 DRAWN BY: PDS  
 CHECKED BY: GBN  
 DATE: DEC 2007

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 125 South Avondale Boulevard, Suite 115  
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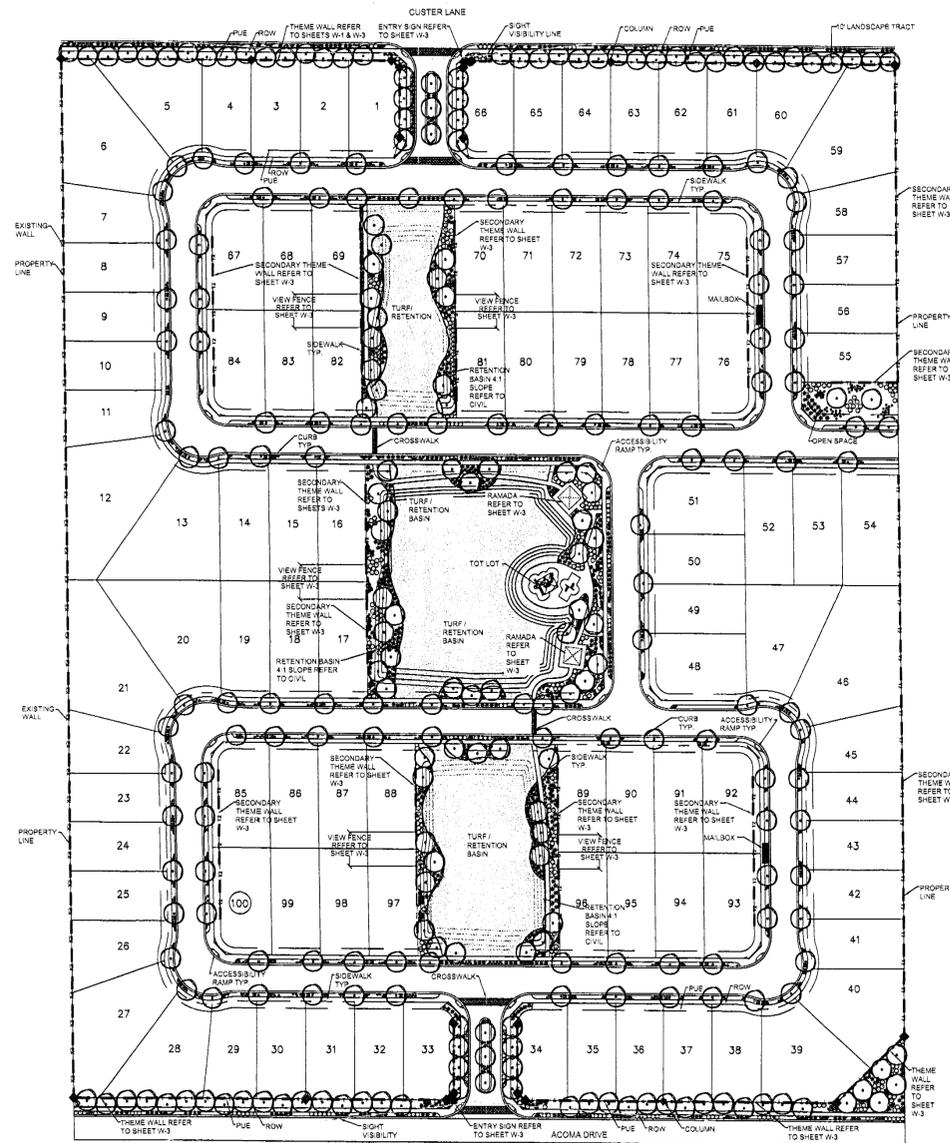
ACOMA COURT  
 PRELIMINARY PLAT  
 SURPRISE, ARIZONA  
 PLAN SHEET

PROJECT NO.  
191143002  
 DRAWING NAME  
027004-PP02  
 2 OF 2

# ACOMA COURT

SURPRISE, ARIZONA

## PRELIMINARY LANDSCAPE PLANS FOR NEW SITE IMPROVEMENTS



OVERALL CONCEPTUAL LANDSCAPE PLAN



SCALE: 1" = 100'-0"  
0' 50' 100' 200'

### LANDSCAPE CALCULATIONS

TOTAL SITE AREA= 28 ACRES  
 TOTAL LANDSCAPABLE AREA= 6 ACRES (21%)  
 TOTAL INTERIOR STREET FRONTAGE LF= 6,771 L.F.  
 TOTAL TREES REQUIRED= 270  
 TOTAL TREES WILL PROVIDE PRIOR TO C.O.= 270

### SHEET KEY:

- L-0 COVER SHEET / NOTES
  - L-1 THRU L-2 CONCEPTUAL LANDSCAPE PLANS
  - W-1 THRU W-3 CONCEPTUAL WALL PLANS AND DETAILS
- (PRELIMINARY NOT FOR CONSTRUCTION)

Landscape Architect: LVA Urban Design Studio  
 Rep. - Ed Lorden, RLA  
 120 South Ash Avenue  
 Tempe, AZ 85281  
 p - 480.994.0994  
 f - 480.994.7332

Civil Engineer: Kimberly - Horn and Associates  
 Rep. - Phillip D. Sandros, PE  
 11946 Port Labelle  
 Las Vegas, Nevada  
 p - 623.907.1155  
 f - 623.907.3355

Developer: Acoma Land  
 Rep. - Janette Byrne  
 11946 Port Labelle  
 Las Vegas, Nevada  
 p - 702.878.6156

### CONCEPTUAL PLANT LIST

- TREES**
- SHOESTRING ACACIA
  - DESERT MUSEUM PALO VERDE
  - NATIVE MESQUITE
  - LIVE OAK
  - FANTEX ASH
  - ALLEE' ELM
  - SWEET ACACIA
  - DALBERGIA SISSOO
  - WEeping ACACIA

### ACCENTS / GRASSES

- \* YUCCA SPECIES
- \* AGAVE SPECIES
- \* DESERT SPOON
- \* MUHLENBERGIA SPECIES
- \* BEAR GRASS

### LARGE SHRUBS

- CASCALOTE
- TEXAS MOUNTAIN LAUREL
- SUGAR SUMAC

### SHRUBS

- SAGE SPECIES
- RUELLIA SPECIES
- SENNA SPECIES
- HOPSEED
- CAESALPINIA SPECIES
- PETITE OLEANDER
- BURSAGE / BRITTLEBUSH MIX

### GROUND COVER

- LANTANA SPECIES
- TRAILING ACACIA
- TRAILING ROSEMARY
- DAMIANITA
- TURPENTINE BUSH
- VERBENA SPECIES
- BUSH MORNING GLORY
- DALEA SPECIES

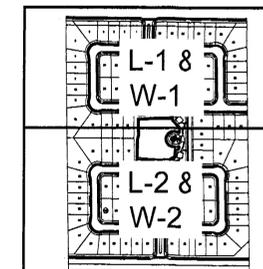
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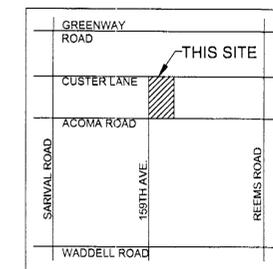
COMMUNITY DEVELOPMENT

### GENERAL NOTES

1. ALL LANDSCAPE AREAS WILL BE COVERED WITH DECOMPOSED GRANITE TOP DRESSING.
2. ALL TURF SHALL BE MIDIRON HYBRID BERMUDA VARIETY
3. PLANT QUANTITIES SHALL BE INSTALLED PER CITY OF SURPRISE REQUIRED DENSITIES AND SIZES
4. ALL HEADERS SHALL BE CONCRETE 'CREATIVE CURBING' OR EQUAL
5. ALL BERMING AND RETENTION BASINS ARE TO HAVE A MAXIMUM SLOPE OF 4:1.
6. TREES SHALL BE A MINIMUM OF 24" BOX
7. ONE 48" BOX TREE SHALL BE PLANTED EVERY 25' ALONG INTERIOR STREET FRONTAGE.
8. ALL TREES AT INTERSECTION TO BE TRIMMED UP TO 7'-8"
9. ALL OPEN SPACE AREAS, AS WELL AS THE PARK, ARE TO BE MAINTAINED BY HOA.



KEY MAP



VICINITY MAP

LVA urban design studio  
 land planning • landscape architecture  
 120 south ash avenue • tempe, arizona 85281 • phone: 480.994.0994



ACOMA COURT  
 SURPRISE, ARIZONA

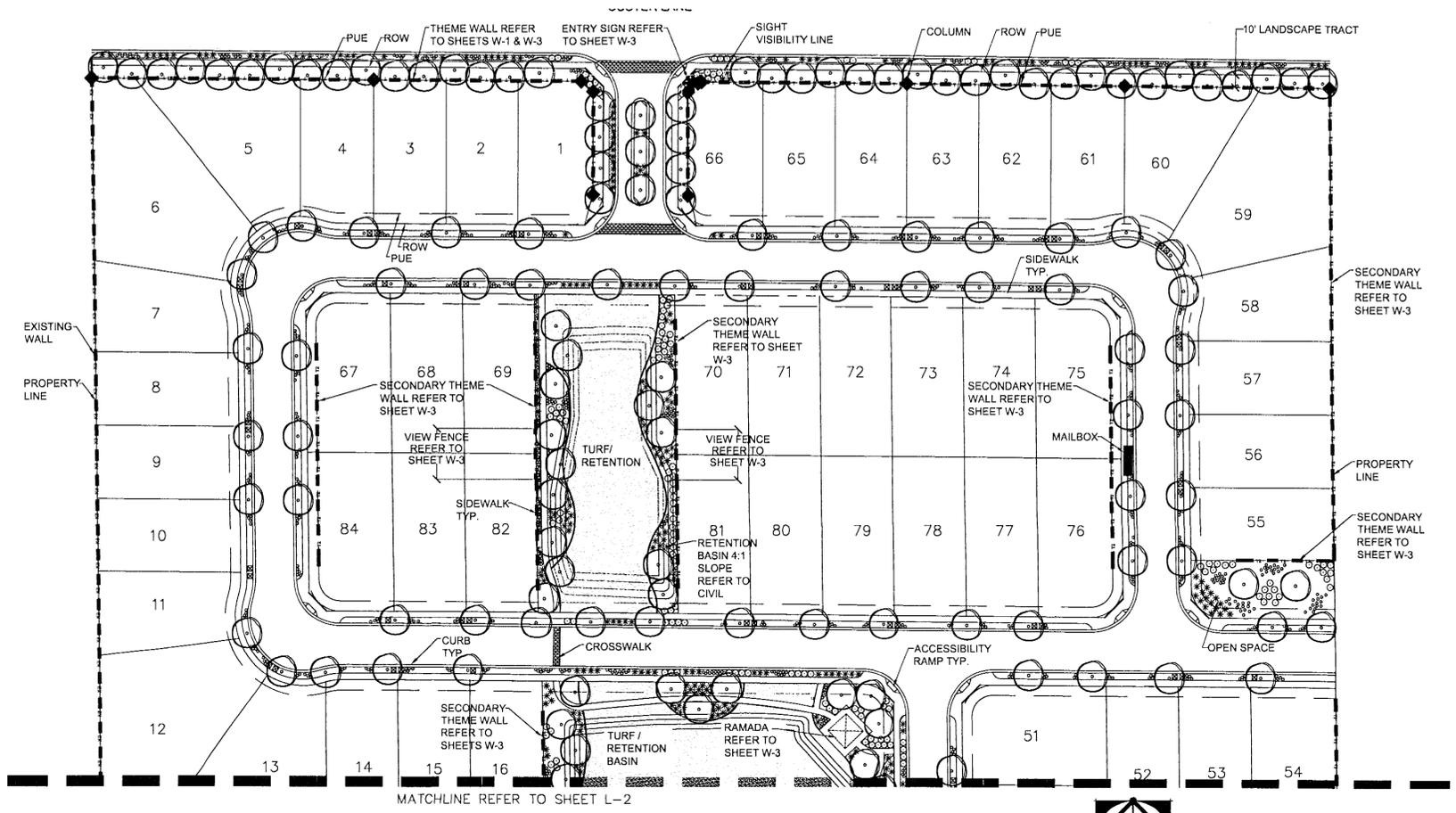
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Revision	Date

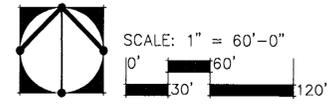
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 Job No.: 0654.0  
 Drawn: MD  
 SHEET #  
 L-0 1 OF 6

CASE # PP07-380



CONCEPTUAL LANDSCAPE PLAN



- CONCEPTUAL PLANT LIST**
- TREES**
- SHOESTRING ACACIA
  - DESERT MUSEUM PALO VERDE
  - NATIVE MESQUITE
  - LIVE OAK
  - FANTEX ASH
  - 'ALLEE' ELM
  - SWEET ACACIA
  - DALBERGIA SISSOO
  - WEEPING ACACIA

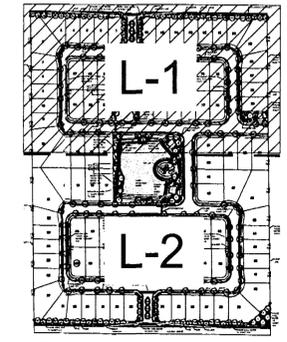
- ACCENTS / GRASSES**
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KEY MAP NTS



**ACOMA COURT**  
 SURPRISE, ARIZONA

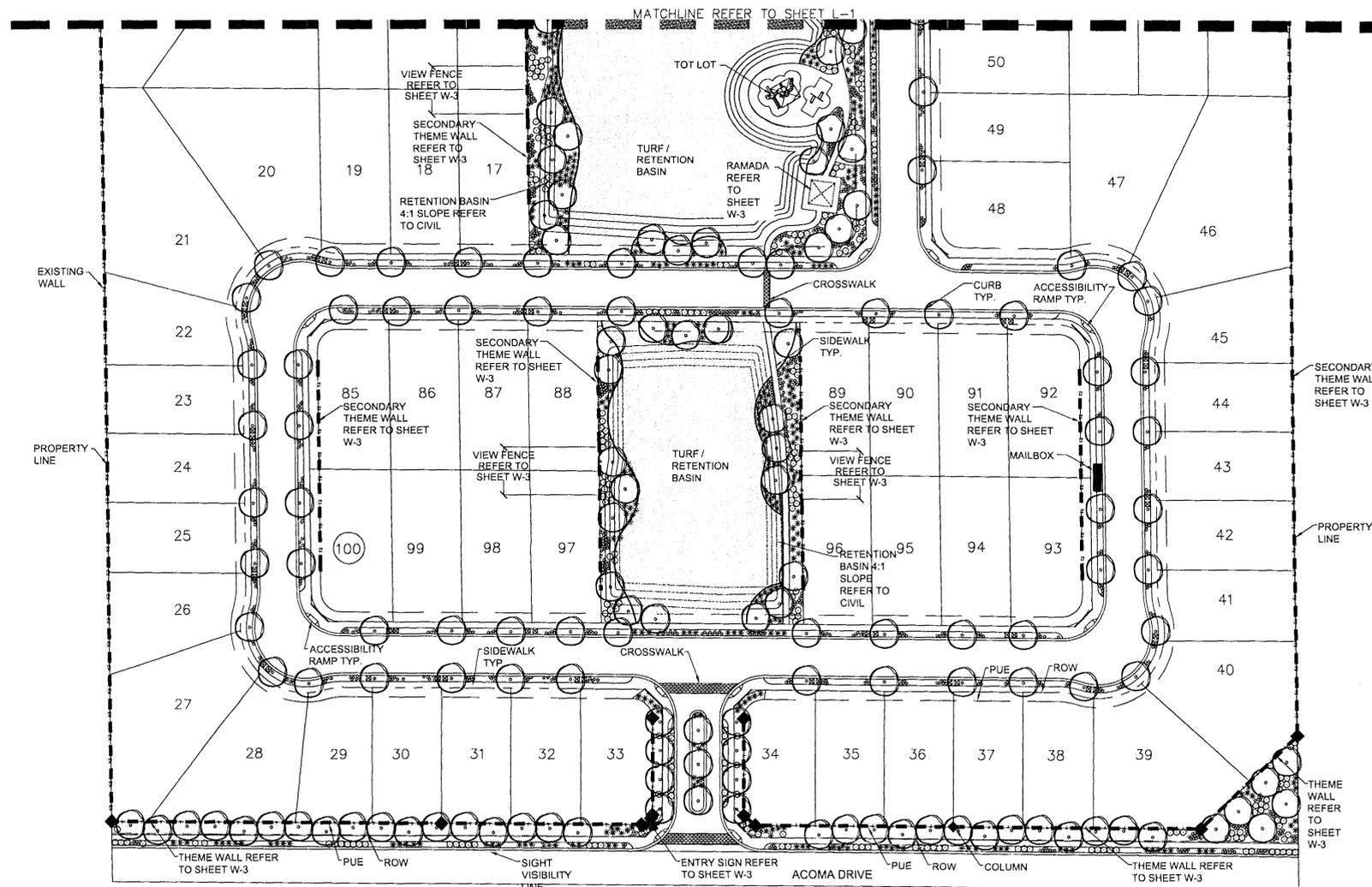
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Revision	Date

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Date: 9/20/07  
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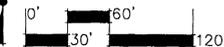
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 L-1 2 OF 6



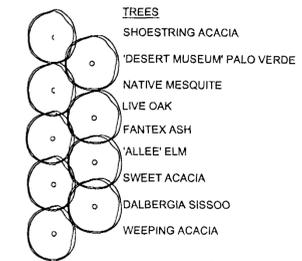
CONCEPTUAL LANDSCAPE PLAN



SCALE: 1" = 60'-0"



CONCEPTUAL PLANT LIST



- TREES**
- SHOESTRING ACACIA
  - DESERT MUSEUM PALO VERDE
  - NATIVE MESQUITE
  - LIVE OAK
  - FANTEX ASH
  - ALLEE' ELM
  - SWEET ACACIA
  - DALBERGIA SISSOO
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**ACCENTS / GRASSES**

- \* YUCCA SPECIES
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- \* BEAR GRASS

**LARGE SHRUBS**

- CASCALOTE
- TEXAS MOUNTAIN LAUREL
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- HOPSEED
- CAESALPINIA SPECIES
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**GROUNDCOVER**

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- TRAILING ACACIA
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 SURPRISE, ARIZONA

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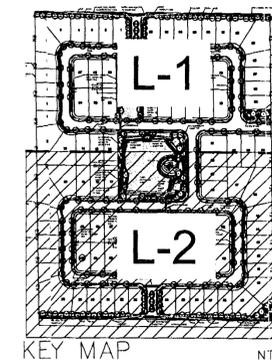
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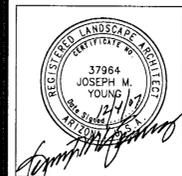
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Date: 9/20/07  
 Job No.: 0654.0  
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SHEET #  
 L-2<sup>3</sup> OF 6



KEY MAP NTS



**ACOMA COURT**  
 SURPRISE, ARIZONA

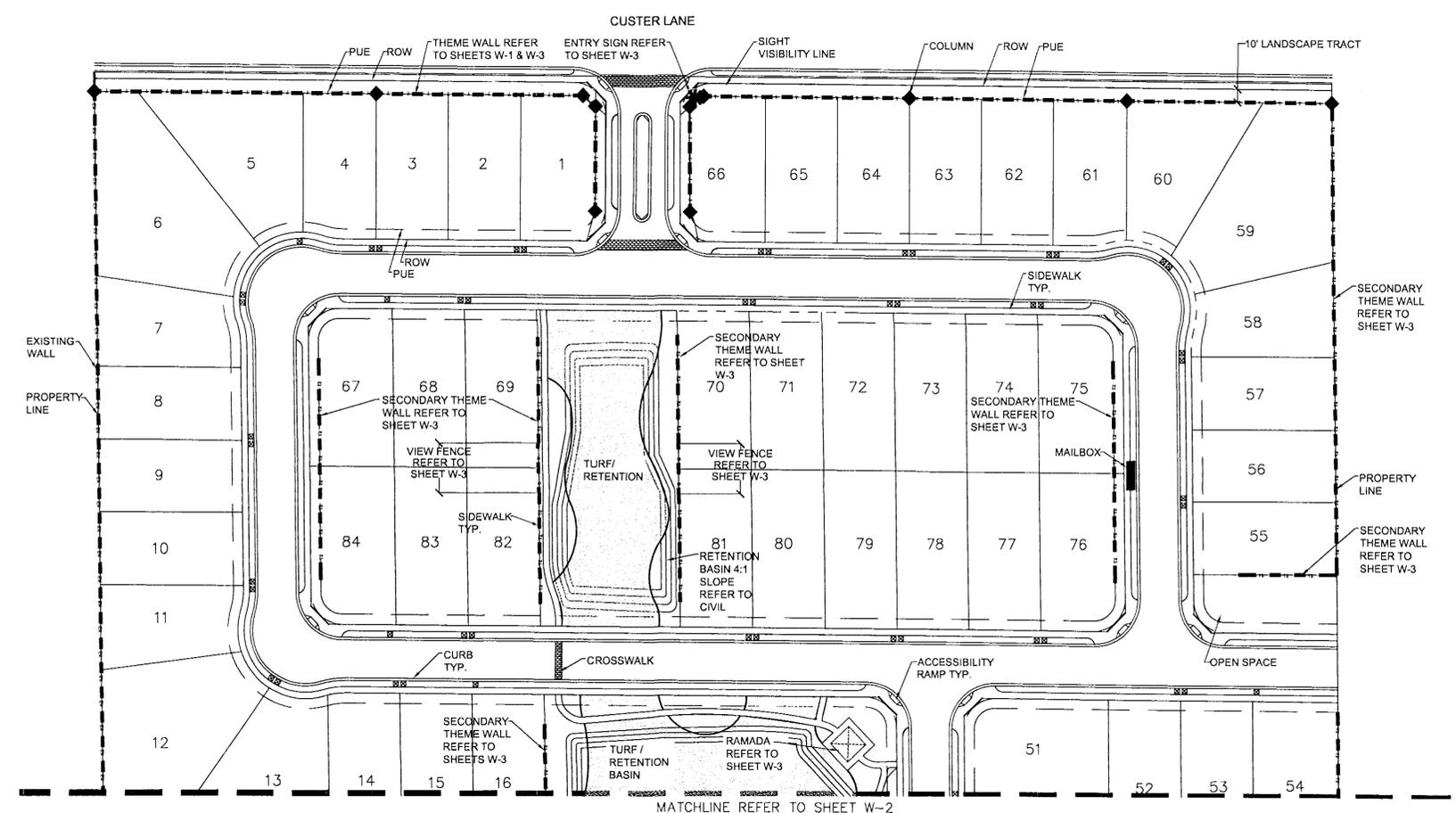
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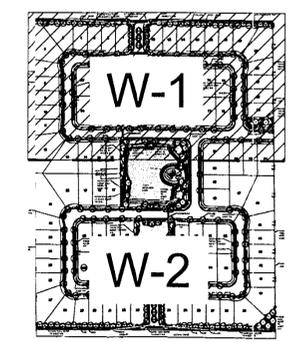
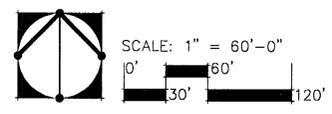
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 Job No.: 0654.0  
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**W-1** 4 OF 6



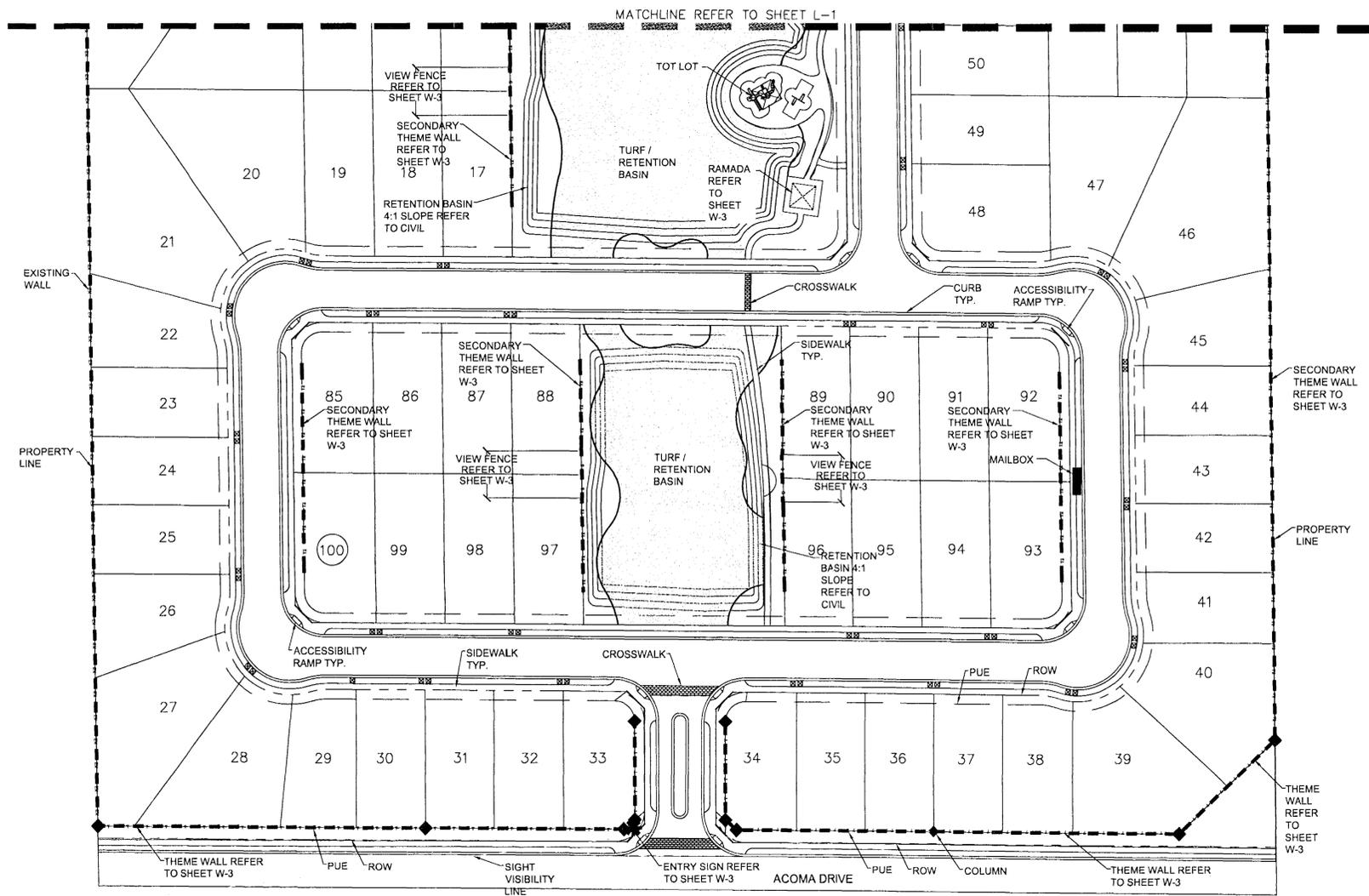
**WALLKEY**

- — — — — PROJECT THEME WALL (SEE ELEVATION '1', SHEET W-3)
- - - - - SECONDARY THEME WALL (SEE ELEVATION '2', SHEET W-3)
- · - · - · - VIEW FENCE (SEE ELEVATION '4', SHEET W-3)
- - - - - EXISTING WALL
- ◆ THEME COLUMN (SEE ELEVATION 'D', SHEET W-3)
- \* PRIMARY PROJECT IDENTITY MONUMENTATION (SEE ELEVATION 'A', SHEET W-3)

CONCEPTUAL WALL PLAN

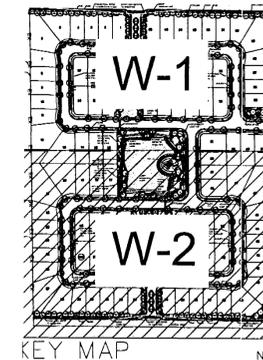


KEY MAP NTS

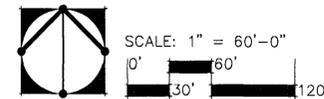


**WALL KEY**

	PROJECT THEME WALL (SEE ELEVATION '1', SHEET W-3)
	SECONDARY THEME WALL (SEE ELEVATION '2', SHEET W-3)
	VIEW FENCE (SEE ELEVATION '4', SHEET W-3)
	EXISTING WALL
	THEME COLUMN (SEE ELEVATION 'D', SHEET W-3)
	PRIMARY PROJECT IDENTITY MONUMENTATION (SEE ELEVATION 'A', SHEET W-3)



CONCEPTUAL WALL PLAN



**ACOMA COURT**  
 SURPRISE, ARIZONA

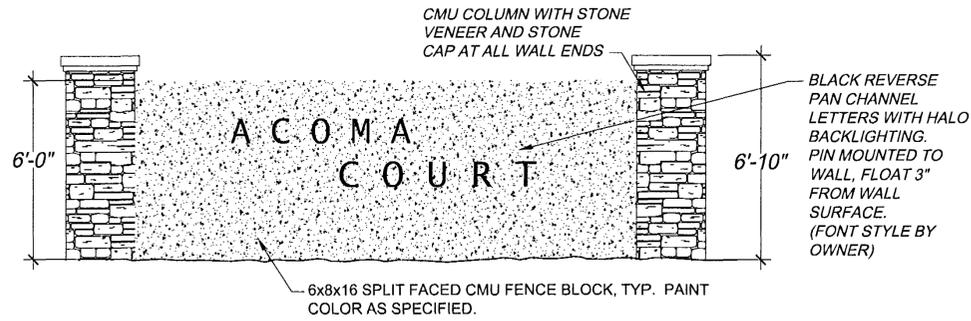
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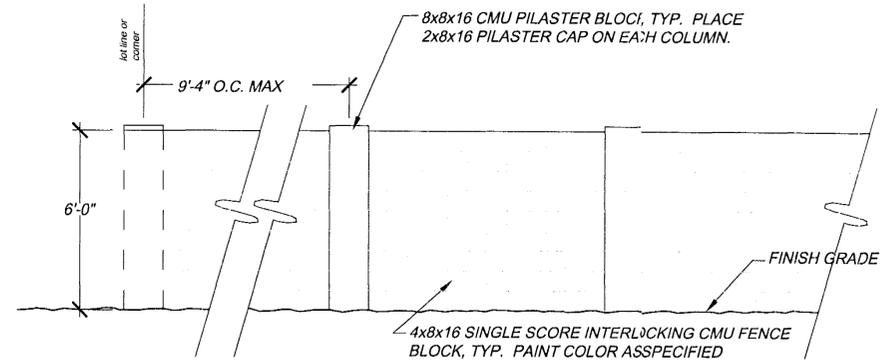
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 Job No.: 0654.0  
 Drawn: MD

SHEET #  
 W-2<sup>5</sup> OF 6



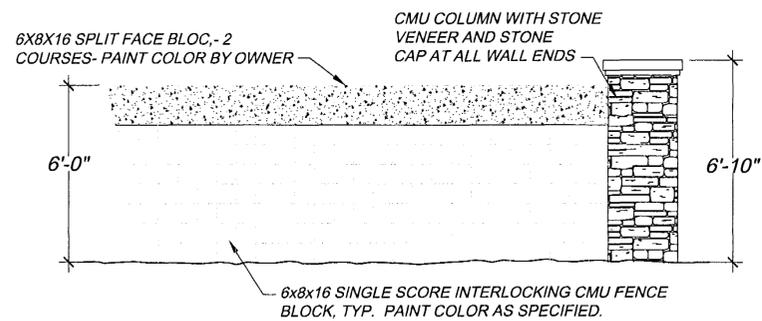
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N.T.S.



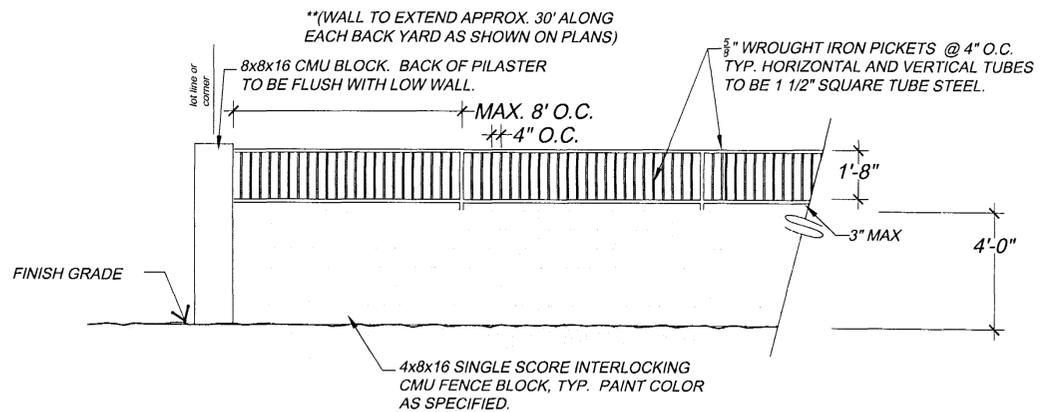
2 SECONDARY THEME WALL

N.T.S.



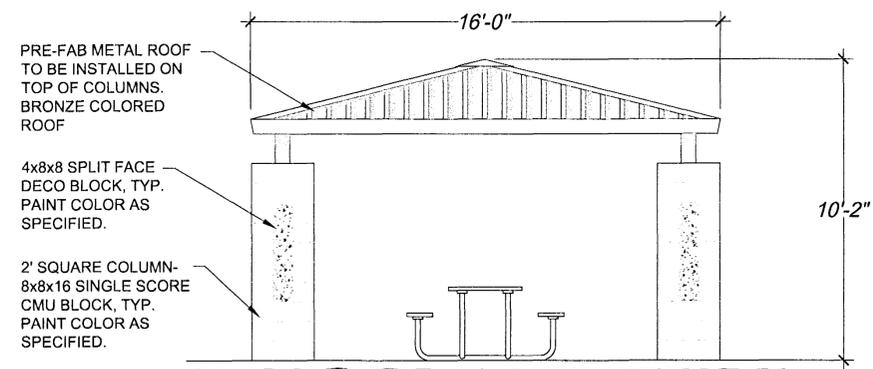
3 THEME WALL

N.T.S.



4 VIEW FENCE

N.T.S.



5 RAMADA

N.T.S.

Not for construction unless approved by local government

Revision	Date

Call Two Working Days Before You Dig  
263-1100  
1-800-STAKE  
(Outside Maricopa County)

Date: 9/20/07

Job No.: 0654.0

Drawn: MD

SHEET #

W-3<sup>6</sup><sub>OF 6</sub>

Scott W. Thompson  
Executive Director  
Business Services

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www.dysart.org

August 28, 2007

Carol Dager  
Planning Department  
City of Surprise  
12425 West Bell Road  
Surprise AZ 85374-9002

**RECEIVED**

FEB 11 2008

COMMUNITY  
DEVELOPMENT

RE: Acoma Court

Dear Mrs. Dager,

Thank you for your continued cooperation with the Dysart Unified School District. The District has reviewed, discussed and met with representatives of the Acoma Court development in reference to their planned project in the City of Surprise and the Dysart Unified School District.

The project has included provisions to accommodate new students that will attend the Dysart Unified School District. These students will have an impact on district operations, and as communities grow, developers have a social responsibility to assist in providing the services needed for the community's success. The result of these discussions with the developer has provided the District with a development agreement that is satisfactory to the District.

We appreciate the value you and the City place upon the public schools in your planned communities. We anticipate continuing to work together to build attractive communities that met the educational needs of the residents.

Sincerely,



Scott W. Thompson  
Executive Director for Business Services

Superintendent  
Gail Pletnick, Ed.D.

Governing Board  
Bill Lipscomb  
Charles Otterman  
Bridget Pauletich-Otterman  
Christine A.K. Pritchard  
Mike Planeta

cc: Don Peters – Miller, LaSota & Peters  
Chris Bertch – LVA Urban Design Studio, LLC  
Scott Chesney – City of Surprise

**CITY OF SURPRISE  
COMMUNITY DEVELOPMENT DEPARTMENT**

**TA07-368**  
**TEXT AMENDMENT**  
to  
**CHAPTER 125**  
**PLANNING AND ZONING COMMISSION**  
  
Hearing Date: **March 18, 2008**

**STAFF:** Adam Copeland, 623.222.3137  
**LOCATION:** Citywide  
**DESCRIPTION OF THE REQUEST:** Approval of a text amendment.  
**SUMMARY ANALYSIS:** This is a city-initiated request for a text amendment to Chapter 125 of the Surprise Municipal Code.

**SUGGESTED MOTION:** I move to recommend approval of TA07-368, a Text Amendment to Chapter 125 of the Surprise Municipal Code, subject to stipulations a through b.

## ITEM 5

Another major change to the guidelines is the use of landscaping in the design process. This document will more clearly define a standard for types, sizes and, new to the guidelines, densities of plant materials. Front yard landscaping guidelines have been more realistically defined, not by numbers, but by density based on the actual size of the front yard area. Also, addressed are significant measures to promote water conservation, which include the reduction of turf in the City Rights-of-Way and non-active retention areas. Streetscapes, which are not addressed in the current document, are given minimum standards based on street classification.

Open space requirements have been altered to align with the proposed Parks and Open Space Master Plan and the Trails Master Plan. Pedestrian routes and connections have been enhanced to ensure a standard that would provide complete and continuous trail systems.

The Sun Valley Parkway Scenic Corridor Overlay has been included with this update. The intent of the overlay is to provide design standards that aid in the preservation of the unique character of the desert landscape along the Sun Valley Parkway. This will be achieved through minimizing the impacts of development by enacting greater controls over the location, access, intensity, and design of development projects within the corridor.

Other elements addressed by this document update relate to building form and architecture, Americans with Disabilities Act, signs, and the inclusion of medium-density home products.

### **STIPULATIONS:**

- a. This code change will be reformatted to include new text layout, pictures, and exhibits to exemplify the language.
- b. The design guidelines will be revised to show current staff, dates, and public officials.

**ADDED LANGUAGE (IN RED) FOLLOWING WORKSHOP:**

Sec. 125-222. Single Family Residential Design Guidelines

**All single-family detached residential development shall comply with the American with Disabilities Act requirements and regulations per the current adopted building code.**

Sec. 125-223. Planning and Design Guidelines

**All projects both residential and non-residential shall comply with the American with Disabilities Act.**

...

**Utility Doors: In order to preserve the character of our city streets, no delivery, loading, dock, mechanical, electrical, trash removal door or utility shall be located on the community entryways, major or minor arterials. These items shall be located in the least obtrusive manner, preferably on a less prominent and visible side of the building and shall be adequately screened from public view.**

...

**For all commercial and industrial buildings metal siding may be used as an exterior finish material as long as the amount used does not exceed twenty-five percent (25%) of the total building area and provided it matches or complements the building color and/or material scheme. Further, such metal siding shall be a "standing seam" type or equivalent quality.**

**Other architectural metals, such as bronze, brass, copper and wrought iron, may be used and may exceed the twenty-five percent (25%) area limit.**

...

**Unightly utility boxes, transformers, generators, chiller farms, air-conditioning units and trash bins ~~should~~ shall be screened from view, yet remain accessible for servicing and shall be placed not to impede pedestrian movement.**

...

**All non-age restricted residential development shall include tot lots appropriately spaced per the discretion of City staff. In addition, programmed open space within a quarter mile of each home site shall be provided, which could include benches, tables, swings, chess boards, physical fitness work out equipment, gazebos, public art, and similar attractions. **Such amenities shall incorporate areas to accommodate persons with disabilities per ADA standards.****

...

**Major entryways providing access to new residential and non-residential development ~~should~~ shall be designed and constructed using decorative block paving patterns, landscaped open space setback areas, lighting to enhance the identity and character of the development and provide visual linkages to the community open-space-system pedestrian network. **Commercial and****

residential developments that have decorative paving can include colored concrete or the use of various textured surfaces. These textured surfaces shall be of a smooth surface to avoid as much vibration as possible. There shall not be gaps of more than 1/4" on any form of decorative concrete or pavers. If heavier textured decorative paving is utilized, this shall only be in an area outside of the walkway to ensure a smooth pedestrian walking surface.

...

Major new Large acreage commercial and civic development shall incorporate decorative paving patterns, traffic "calming" devices, landscaping, street furnishings, lighting and open space setbacks at onsite street intersections. If decorative paving, traffic "calming" devices, landscaping, street furnishings, lighting and open space setbacks are used in the Right of Way it shall require the approval of the Community Development Director and City Engineer for maintenance coordination. **Such improvements shall be ADA compliant.**

...

As the center of pedestrian activity for a development, plazas in non-residential developments shall provide adequate seating in the form of benches or low seating walls in addition to any seating areas that may be provided in association with dining. **For every bench that is placed in residential or non-residential development, an area shall be designated next to the bench with a minimum of 30" wide and 48" deep area for a wheelchair.**

...

**ending in any dead end situation. For the persons with visual disability, where a sidewalk adjacent to a street branches off into a trail connection, a textured surface should be used to delineate such a change.** should consider:

...

**In addition to the sidewalk all arterial roads shall have a minimum of a 6' multi-use path. The multi-use path shall consist of concrete or stabilized disintegrated granite that is ADA compliant.**

...

#### **SUN VALLEY PARKWAY SCENIC CORRIDOR STANDARDS**

...

**All projects adjacent to or within the Sun Valley Parkway Scenic Overlay District shall be designed to meet all ADA requirements. The City will encourage applicants to go above and beyond to ensure persons with disabilities will be able to function and move along sidewalks and across streets with ease.**

...

**will be required when developing in an urban setting. All pedestrian crossings shall incorporate ADA approved ramps, and shall not be designed with a 90 degree curb. Attention to textured details shall be used for persons with visual disability. Truncated domes shall be used in accordance with ADA and the current adopted building codes.**

...

Off-Street, or multi-use bicycle pathways ~~should~~ **shall** be designed to include occasional rest stations that are developed in conjunction with clusters of shade trees, a drinking fountain and seating areas. **These stations will be determined by staff at the time of site planning, master planning, and platting. Drinking fountains shall include an accessible fountain, according to the ADA.**

...

17.28.210 Single- family home product design guidelines

...

**Homebuilders shall include a visitability option on all model home types to give a homeowner the choice to include the minimum following standards for all single-family residential housing:**

1. **All doors shall have a minimum of a 32" clearance.**
2. **One bathroom on the main floor shall be accessible.**
3. **One zero-step entrance.**

...

## **DEFINITIONS**

...

**ADA – Americans with Disabilities Act.**

...

**“Visitability” – Single-family housing designed in such a way that it can be lived in or visited by people who have trouble with steps or who use wheelchairs or walkers.**

(The language is to be added)

Section 125-188. Community Commercial Zone (C-2).

...

(17) Warehouse, residential storage (miniwarehouse)

...

d. Fencing and screening standards are as follows:

...

2. All outdoor storage shall be limited to recreational vehicles, ~~shall be limited to a maximum of ten percent of the net site area,~~ and shall be screened from view from the surrounding properties.

...

**k. Outdoor storage shall be limited to recreational vehicles. If the area of stored recreational vehicles exceeds ten percent of the net site area, then findings need to be made to the Planning and Zoning Commission that demonstrates the increase will not adversely affect the public health, safety, or welfare of surrounding residents and property owners.**

Code of Ordinances City of Surprise, Arizona

...

Chapter 125 Zoning

...

Sec. 125.180 Single-family residential zone (R1-18)

...

F. Setbacks, Yards and Heights

...

Use	Front	Interior Side	Corner Side	Rear Yard
Parking lots or any parking spaces for schools, civic, cultural and religious institutions	10'	10'	10'	10'

...

Section 125.181 Single-family residential zone (R1-12)

...

F. Setbacks, Yards and Heights.

...

Use	Front	Interior Side	Corner Side	Rear Yard
Parking lots or any parking spaces for schools, civic, cultural and religious institutions	10'	10'	10'	10'

...

Sec. 125-182 Single-family residential zone (R1-8)

...

F. Setbacks, Yards and Heights.

...

Use	Front	Interior Side	Corner Side	Rear Yard
Parking lots or any parking spaces for schools, civic,	10'	10'	10'	10'

3. Maximum building height: Thirty-five feet; **provided, however, that a building may exceed thirty-five feet in height if the entire portion of the building which exceeds thirty-five feet is so constructed that it cannot be used or occupied by humans for any purpose, and if the Planning and Zoning Commission approves the extension above thirty-five feet prior to the commencement of construction. If the building height exceeds 20', then the setback shall be increased in an amount equal to or greater than the height of the building in areas adjacent to any residentially zoned area.**

...

Sec. 125-185 Multifamily residential zone (R-3)

...

Use	Front	Interior Side	Corner Side	Rear
Multifamily structure	20' <b>Unless required landscape buffer exceeds setback</b>	20'	20'	20'
Townhouse Cluster	20' <b>Unless required landscape buffer exceeds setback</b>	45' 20'	20'	20'

...

3. Maximum building height: Thirty-five feet; provided, however, that a building may exceed thirty-five feet in height if the entire portion of the building which exceeds thirty-five feet is so constructed that it cannot be used or occupied by humans for any purpose, and if the **Planning and Zoning Commission** approves the extension above thirty-five feet prior to the commencement of construction. **If the building height exceeds 20', then the setback shall be increased in an amount equal to or greater than the height of the building in areas adjacent to any residentially zoned area.**

...

Sec. 125-187 Neighborhood commercial zone (C-1)

...

F. Setbacks and Height.

b. Parking lots:	
i. Front	4
ii. Interior side and rear	3
iii. Corner side	4
iv. Residential zone boundary	3

...

2. Maximum Building Height. The maximum height for any building in this zone shall ~~can~~ be **up to thirty-five forty** feet; provided, however, that a building may exceed ~~thirty-five~~ **forty** feet in height if the entire portion of the building which exceeds ~~thirty-five~~ **forty** feet is so constructed that it cannot be used or occupied by humans for any purpose, and if the ~~community development director~~ **Planning and Zoning Commission** approves the extension above ~~thirty-five~~ **forty** feet prior to the commencement of construction. **If the building height exceeds 45' of any building, then the setback shall be increased in an amount equal to or greater then the height of the building in areas adjacent to any residentially zoned area.**

...

Sec. 125-190 Business Park zone (BP)

...

F. Setbacks and Height.

...

b. Parking lots:	
i. Front	10
ii. Interior side and rear	3
iii. Corner side	10
iv. Residential zone boundary	10

...

2. Maximum Building Height. The maximum height for any building in this zone shall ~~can~~ be **up to thirty-five forty** feet; provided, however, that a building may exceed ~~thirty-five~~ **forty** feet in height if the entire portion of the building which exceeds ~~thirty-five~~ **forty** feet is so constructed that it cannot be used or occupied by humans for any purpose, and if the ~~community development director~~ **Planning and Zoning Commission** approves the extension above ~~thirty-five~~ **forty** feet prior to the commencement of construction. **If the building height exceeds 75' of any building, then the setback shall be increased in an amount equal to or greater then the height of the building in areas adjacent to any residentially zoned area.**

...

approves the extension above ~~thirty-five~~ **forty** feet prior to the commencement of construction. **If the building height exceeds 75' of any building, then the setback shall be increased in an amount equal to or greater then the height of the building in areas adjacent to any residentially zoned area.**

...

Sec. 125-193 Landfill and mineral extraction zone industrial zone (I-3)

...

F. Setbacks and Height.

...

Setbacks	feet
iv. residential zone boundary	<del>50'</del> <b>75'</b>

b. Parking lots:	
i. Front	<del>4</del>
ii. Interior side and rear	<del>4</del>
iii. Corner side	<del>4</del>
iv. Residential zone boundary	<del>4</del>

...

~~2. The maximum height of any structure shall be thirty-five feet, except as determined by the community development director.~~ 2. Maximum Building Height. The maximum height for any building in this zone shall ~~can~~ be **up to thirty-five forty** feet; provided, however, that a building may exceed ~~thirty-five~~ **forty** feet in height if the entire portion of the building which exceeds ~~thirty-five~~ **forty** feet is so constructed that it cannot be used or occupied by humans for any purpose, and if the ~~community development director~~ **Planning and Zoning Commission** approves the extension above ~~thirty-five~~ **forty** feet prior to the commencement of construction. **If the building height exceeds 75' of any building, then the setback shall be increased in an amount equal to or greater then the height of the building in areas adjacent to any residentially zoned area.**

...

Sec. 125-222. Single Family Residential Design Guidelines

...

Purpose

...

**All other single-family detached residential development shall comply with the Planning and Design Guidelines and Home Product Design Guidelines.**

**Community Development Director at the time the required documents are submitted for the Planning and Zoning Commission and/or City Council (depending on case type) hearing. The appeal letter shall describe the unresolved issues and describe what design solutions are proposed by the applicant. Staff will include the letter of appeal in the packets distributed to the Planning and Zoning Commission and/or City Council (depending on case type).**

...

**All projects both residential and non-residential shall comply with the American with Disabilities Act.**

...

Building Form and Architecture Chapter 2

...

Building Form/Scale/Bulk/Height/Rhythm

Diversity of quality residential and non-residential architectural design ~~should be~~ **is** encouraged throughout the City;

...

Monotonous look-a-like structures ~~should~~ will be discouraged. ~~Every effort should be made to design~~ Buildings **shall be designed that to** create visually interesting "building rhythm" by carrying building form, volume, massing, heights, roof styles and site orientation.

...

The concentrated use and location of stylized buildings as advertising ~~should~~ **is** be generally discouraged.

...

High quality "stylized" or "theme" architecture that is characteristic of a particular historic period or forward-looking architectural trend ~~should be~~ **is** permitted, ~~provided~~ **as long as** it generally reflects, and is consistent with, the architecture of the area, and maintains architectural continuity and harmony with the community as a whole.

...

The rear and side of **commercial and multi-family residential** buildings, especially those visible from adjacent streets, ~~should~~ **shall** be aesthetically enhanced and of an architectural character comparable with the front of the building **to create a lively atmosphere along the street as well as internal to the site.**

...

Chimneys, roof flashing, rain gutters, downspouts and other roof protrusions ~~should~~ **shall** be painted and finished to match the color of the adjacent surface, unless being used expressly as a trim or accent element.

...

~~Solar panels located on rooftops should~~ **If solar panels are used on rooftops they shall** be placed consistent with roof pitch, and sized and colored so as to appear as an integral part of the overall roof design.

...

#### Colors and Materials

...

The use of accent colors, especially in commercial areas, ~~should~~ **will** be encouraged to provide a festive and lively streetscape.

...

#### Window and Door Placement

...

Windows and doors ~~should~~ **shall** be aligned and sized to bring order to the building façade.

...

Doors and entryways for all commercial and office centers and civic buildings, ~~should~~ **shall** be designed and located to portray the importance of the building and its relationship to external pedestrian circulation systems.

...

#### Building Details

...

Building and site details related to utility boxes, transformers, generators, chiller farms, mailboxes, trash bins and air conditioning units ~~should~~ **shall** be integrated into the overall design of the building and development.

...

...Unsightly utility boxes, transformers, generators, chiller farms, air-conditioning units and trash bins ~~should~~ **shall** be screened from view, yet remain accessible for servicing and ~~shall be placed not to impede pedestrian movement.~~

...

Design of enclosures for accessory elements such as mailboxes, trash bins, and security huts and gates ~~should~~ **shall** be compatible with the architectural style of the project in which it is located.

...

**consistent with the current Council adopted trails master plan or internal policies of the trails master plan.**

...

**Where** pedestrian, bicycle and equestrian trails ~~should be a part of the linear park and open space system of the community, and landscaped, lighted and furnished to provide~~ **are used they shall be designed with the integration of** shade and rest areas **where appropriate**, in order to encourage their extensive use as a secondary mode of travel and access throughout neighborhoods and the City.

...

Regional, Community and Neighborhood Parks

...

**In all non-residential and residential areas landscaping and amenity features that require water usage shall comply with Water Conservation Ordinance (Ord #07-03).**

...

Regional, community and neighborhood parks ~~should~~ shall be located and developed as the principle components of the City's overall, interconnected, community open space system **and the parks and recreation master plan.**

...

Parks should be interconnected by the community open space system and located along and adjacent to principle pedestrian ways, bicycle paths and equestrian trails **consistent with the current Council adopted trails master plan or internal policies of the trails master plan.**

...

**All non-age restricted residential development shall include tot lots appropriately spaced per the discretion of City staff. In addition, programmed open space within a quarter mile of each home site shall be provided, which could include benches, tables, swings, chess boards, physical fitness work out equipment, gazebos, public art, and similar attractions. Such amenities shall incorporate areas to accommodate persons with disabilities per ADA standards.**

...

**For all other single-family residential development recreation amenities for children and adults of all ages shall be incorporated and there shall be programmed open space throughout the development or within a quarter mile of each home site.**

...

### Plazas and Courtyards

...

Paved and landscaped plazas ~~should~~ **shall** be incorporated in all new high density residential, mixed-use and **significant** commercial/office/civic/institutional developments a critical element in establishing a sense of place.

...

**Where plazas are used** ~~Mixed-use and commercial/office developments~~ retail shops, restaurants, offices or other activity-generating uses **shall be oriented** at the edges of plazas **to create a pedestrian friendly atmosphere.**

...

A minimum of twenty (20) percent of a plaza's surface area ~~should~~ **shall** be set aside as landscaped area.

...

As the center of pedestrian activity for a development, plazas in non-residential developments ~~should~~ **shall** provide adequate seating in the form of benches or low seating walls in addition to any seating areas that may be provided in association with dining. **For every bench that is placed in residential or non-residential development, an area shall be designated next to the bench with a minimum of 30" wide and 48" deep area for a wheelchair.**

...

New high-density residential and non-residential development utilizing courtyards ~~should~~ **shall** locate and orient the courtyard along and toward the internal pedestrian access system of a development.

...

### Terraces and Arcades

...

Terraces ~~should~~ **shall** be paved with tile or other decorative materials and remain free of landscaping, fountains or any other improvement that would impede the terraces full unobstructed use for internal gatherings on the site or dining in connection with and adjacent restaurant use.

...

An arcade ~~should~~ **shall** have sufficient openings onto the courtyard to ensure visual contact at all times with seating areas, as well as storefronts or entryways of the buildings around the courtyard.

...

**ending in any dead end situation. For the persons with visual disability, where a sidewalk adjacent to a street branches off into a trail connection, a textured surface should be used to delineate such a change.** ~~should consider: the use of shorter blocks servicing no more than twenty (20) detached residential units;~~

Minimizing cul-de-sac's, except where physical constraints of the site dictate their use; **Cul-de-sacs shall not terminate at other streets 150' or less measured from the curb of the street to the curb of the closest portion of the Cul-De-Sac. When they are used, Cul-De-Sacs shall terminate on usable open space and include a landscape island irrigated with reclaimed water.**

...

**All commercial corners on intersecting arterials and/or parkways shall have a minimum of a 700' depth along the property line on each side adjacent to the arterial and/or parkway. This requirement is intended for all commercial corners on intersecting arterials and/or parkways within new master planned communities.**

**Each commercial project that is considered a master site plan shall have a minimum of one shared collector road leading to the adjacent development. This will allow vehicular and pedestrian connectivity to the adjacent community without accessing the adjacent arterial and/or parkway.**

...

Constructing stub streets to serve adjacent undeveloped properties, **nearby activity centers, and ensuring connections to, or continuation of, existing or approved streets, will be required;** ~~providing street connections to nearby activity centers; and ensuring connections to, or continuation of, existing or approved public streets.~~

...

**All convenience food restaurants shall have a minimum of 100' of automobile stacking space measured from the beginning of the drive-thru entrance to the speaker location. This will allow space to stack without stopping within the drive aisles.**

...

twenty percent (20%) from the distance stated in the descriptions below. However, in no case shall the average distance along a property or development project average less than the distances stated below.

#### **1. Scenic Preservation Zone**

The Scenic Preservation Zone is the area located from the centerline of the Sun Valley Parkway to a line two hundred and fifty feet (250') from the centerline of Sun Valley Parkway. This area is the most restrictive of the zones. It is critical in offering sight visibility from the Sun Valley Parkway, buffering adjacent land uses from the passing traffic, creating an expanded sense of open space, providing opportunities for the safe movement of wildlife and separating non vehicular traffic from vehicular travel.

#### **2. Transition Zone**

The Transition Zone is located from a line two hundred and fifty feet (250') from the centerline of Sun Valley Parkway and also described as the outer edge of the Scenic Preservation Zone, to a line that is one thousand feet (1000') from the centerline of the Sun Valley Parkway. Development within the Transition Zone shall protect viewsheds and any environmentally sensitive lands, while recognizing the reasonable expectations of property owners.

#### **District Standards**

Subsequent standards shall be required for all projects within the Sun Valley Parkway Overlay District. These standards do not negate any development requirements in the underlying zones. In case of conflict between the underlying zone and the standards in this section, the standards in this section shall control. The applicable sub district is noted after the standard.

##### **1. Overall Site Design**

400 to 750 Feet	Two Story
-----------------	-----------

<sup>1</sup> Basement level shall not count in the story calculations.

## **Sun Valley Parkway Corridor Vegetation**

### **2. Vegetation**

- a. Vegetation in public spaces shall consist primarily of native desert planting. Any landscaping shall enhance desert coverage by imitating the colors, patterns, textures and quantities of the Sonoran desert environment. (Scenic Preservation Zone, Transition Zone)**
  
- b. To preserve the existing Sonoran Desert character, trees in public and semi-public spaces shall be limited to those that are indigenous, or are of a species that complement the existing Sonoran Desert environment. A list of allowed trees can be found in the tree list for Area B in the City of Surprise Streetscape Program Handbook. Accent plantings contained in a pot or other temporary plantings shall not be subject to this requirement. (Scenic Preservation Zone, Transition Zone)**
  
- c. Plant materials that are not indigenous to the area shall not exceed twenty (20) feet in height and shall be limited to private areas such as rear or court yards. (Transition Zone)**
  
- d. Specimen trees and cacti shall be preserved in their original locations, except when the original locations are the only locations for building sites and roadways. Plants that are to be salvaged shall be either replanted as close to their original location as possible or replanted in areas requiring revegetation, with the exception that cacti be located a safe distance from the walkway for safety reasons of pedestrian traffic. (Scenic Preservation Zone, Transition Zone)**

anchored mulches, rolled straw or a similar material or any other method.

- iv. A temporary watering system must be installed until the revegetation materials are established.
- v. After the revegetation is commenced, the property owner or the property owner's association shall be responsible for the management of private revegetated areas. Where revegetation occurs at the edge between public and private development, the public open space shall be revegetated at the same time as the private open space.
- g. The use of vegetation to subtly highlight an entrance may be considered on a case by case basis. (Scenic Preservation Zone, Transition Zone)
- h. Turf shall be limited to enclosed areas that are not visible from public places and recreational areas. In areas where turf may be allowed, the edge of turf areas shall be no closer than fifty (50) feet from desert wash banks with the exception of synthetic turf which may be allowed in most areas where granite or rock is allowed. In all turf areas, a sterile grass variety shall be used to limit the spread of the grass. (Scenic Preservation, Transition Zone)
- i. Areas that are landscaped shall be blended among adjacent developments to provide a continuous appearance and to avoid a distinct or abrupt change. (Scenic Preservation Zone, Transition Zone)
- j. Enhanced landscaping that blends into the Sonoran Desert environment and provides relief from the sun shall be planted along walking paths, trails and other areas where human activity occurs. In areas where additional vegetation would compromise the natural environment, the use of shade structures should be considered. (Scenic Preservation Zone, Transition Zone)

material to discourage nuisance animals from burrowing into the rock openings. (Scenic Preservation Zone, Transition Zone)

- f. Drainage methods shall use natural systems that mimic desert solutions for drainage. Basins shall be revegetated, stabilized to prevent erosion, and designed to mimic the natural contours of the land. These standards shall comply with the current adopted City of Surprise engineering standards, unless agreed to otherwise by the City Engineer (Scenic Preservation Zone, Transition Zone)
- g. Where a public or private multi-use trail easement is located in a wash corridor, the trail shall be located above the bank of the wash or above the floodway limits, except where the trail crosses the wash. If the trail passes under a bridge, the trail shall be located at least three (3) feet above the sandy bottom of the wash or in another area approved by the City Engineer or designee. (Scenic Preservation Zone, Transition Zone)
- h. Box gabions and concrete channels shall not be allowed unless needed for public safety. Where used, they should be designed to blend with the desert setting through texture, landscaping or other means. (Scenic Preservation Zone, Transition Zone)

#### **4. Building**

- a. To maintain undisturbed desert in a natural state, while allowing for development of private property, cluster development concepts shall be encouraged. (Transition Zone)
- b. Building pads should follow the natural undisturbed contours of the site. In the case of sloped property the site should be designed to follow the site topography. (Transition Zone)
- c. Lots shall be based on the topography and any unusual natural features identified by the site analysis. To aid in the blending of man-made features with the desert environment, lot sizes and

- g. To minimize the visual effect of residential development, driveways shall be designed to blend with the desert by use of indigenous or matching decomposed granite combined with a stabilizer. (Transition Zone)**
- h. Residential driveway pavement width on individual lots shall be limited to a maximum of twenty (20) feet in width. Alternative driveway paving methods that limit impervious surface while maintaining adequate dust control, driving surface and fire access are encouraged. (Transition Zone)**
- i. Reflective materials will be strongly discouraged unless absolutely necessary. (Scenic Preservation Zone, Transition Zone)**

## **5. Circulation**

- a. Vehicular access along the Sun Valley Parkway shall be limited to the intersecting section-line arterials and half mile intervals. Any property owners not having frontage to arterials shall be required to acquire cross property access agreements or access to and from interior streets. (Scenic Preservation Zone)**
- b. Trails traversing the Scenic Preservation Zone shall be designed to limit activity and minimize disturbances to the natural surroundings while within the Scenic Preservation Zone. (Scenic Preservation Zone)**
- c. Street patterns and lot design shall allow direct access to washes or open space areas for maintenance, to prevent fire hazards and allow emergency department access. Design methods may include a combination of single loaded streets and/or open spaces between lots. Points of access should be a maximum of six hundred (600) feet apart measured from centerline to centerline with openings a**

also be considered, taking into consideration thorny or desert cacti should be a safe distance from walkways for the safety of pedestrian traffic. (Transition Zone)

- f. Shade structures for parking lots are highly encouraged. (Transition Zone)

## **7. Lighting**

- a. Dark skies shall be encouraged in this area. All streetlights and other exterior lights shall be full cutoff shielded. (Scenic Preservation Zone, Transition Zone)
- b. When necessary for safety reasons, low level trail lighting shall be allowed. Such lights shall be no higher than three (3) feet and should be installed with an activity sensor to minimize light pollution. (Scenic Preservation Zone, Transition Zone)
- c. All poles, fixtures and related hardware shall be visually non-intrusive and be approved by the Community Development Department. (Scenic Preservation Zone, Transition Zone)

## **8. Utilities**

- a. Any utility easements shall be planned to have minimal intrusion. Before any easement is created, an Easement Plan showing existing vegetation and proposed revegetation shall be approved by the Community Development Department and Engineering Department. (Scenic Preservation Zone)
- b. All utilities lines shall be located underground. (Scenic Preservation Zone, Transition Zone)
- c. All utility cabinets, bollards, poles, power pedestals, valves, vaults, or other exposed apparatus shall be reasonably located with other

- d. All sign backs visible to the road should be finished with a non-reflective dark color (does not include transportation signage). (Scenic Preservation Zone, Transition Zone)
- e. Internally illuminated signage shall not be allowed, unless used in street name signs on traffic signals per the review and approval by the City Engineer.

**A. Design Considerations**

In accordance with the overall design intent of this Overlay District, alternative methods that meet or exceed the intent of the Sun Valley Parkway Scenic Corridor Standards or have significant topographic issues may be approved by the Planning and Zoning Commission if the appropriate findings are made.

...

Sidewalks

...

Proposed sidewalk improvements in residential and non-residential development ~~should~~ **shall** have a minimum hard-surface width of five-feet (5') or greater depending on code requirements; and ~~should~~ **shall** be curb-separated from the edge of the roadway by a minimum landscaped area of five-feet (5'); **non curb-separated sidewalks may be allowed in commercial urban/downtown centers or urban/downtown style multi-family/single-family developments.**

**Characteristics of urban/downtown developments, such as, larger pedestrian friendly sidewalks (8' or greater), pedestrian scale lighting, and tree-grates, will be required when developing in an urban setting. All pedestrian crossings shall incorporate ADA approved ramps, and shall not be designed with a 90 degree curb. Attention to textured details shall be used for persons with visual disability. Truncated domes shall be used in accordance with ADA and the current adopted building codes.**

...

Off-Street or Multi-Use Bicycle Pathways

...

Where off-street bicycle paths are not grade-separated, and they intersect and cross major arterial streets that have four (4) or more traffic lanes with a raised

landscaping along the perimeter of the lot, as well as throughout the interior of the lot.

...

**Street layout shall be designed to accommodate automatic side load style sanitation collection vehicles. Uninhibited access shall be provided to the 90 gallon rolling containers used for trash and recycling collection. Stub streets, "T" Streets, or dead end streets may require residents to transport their containers to an area of an adjacent street where sanitation access is available. Alleys, streets, and cul-de-sac layout shall accommodate the width and turning radius of side load style sanitation trucks. On street parking shall be designed to accommodate uninhibited access for curbside sanitation collection.**

...

Private parking lots in non-residential developments that are adjacent to one another, but operate under separate property ownership, ~~should~~ **shall** be designed and located contiguously to each other and have shared access and an internal circulation system that provides for the safe and efficient internal site movement of motor vehicles, pedestrians, and cyclists from one property to another without having to re-enter the street serving the developments.

...

Parking areas throughout the City ~~should~~ **shall** be designed and located to incorporate all American For Disabilities Act (ADA) requirements governing access to parking facilities, location of ~~handicap~~ **accessible** spaces, and access to buildings served by the parking facility.

...

Orientation of Parking Facilities to the buildings they serve

...

~~The locations of parking areas in the front of buildings in neighborhood and convenience shopping centers may be considered; provided the parking lot is setback at least thirty five (35') from the street right-of-way and heavily screened from the street and adjoining uses by landscape materials and landscape berms.~~

...

Access To/Circulation in Parking Facilities

...

~~Placement of ingress/egress points for parking facilities should be coordinated with median openings and existing driveways opposite the new development.~~

...

Peripheral site landscaping for screening purposes should consist of low maintenance, low-water shrubbery and trees in sufficient quantity and mature size to serve as a heavy screen. ~~All trees to be installed should be forty-eight inch (48") box or larger with a minimum three (3) inch caliper.~~

...

Landscape Design, Buffering and Screening Chapter 6

...

~~Energy conservation within structures; and~~

...

General Landscape Design Guidelines

...

**In new developments both residential and non-residential, turf areas irrigated with sprinkler systems shall be a minimum of 24 inches from curbs, driveways, and sidewalks to prevent water from running into the streets. Areas between curb, sidewalks, and driveway from grass should be designed with rock, cobble or decomposed granite and landscaped with shrubs or ground cover appropriately sized.**

...

**Golf courses shall be limited to four acres of grass per hole and ten acres for driving ranges and practice areas. Acreage can roll over if all four acres are not used on a particular hole.**

...

**All single family residential development with at least five (5) homes or more and all non-residential development shall use irrigation systems with "smart controllers" that is weather-based to adjust to climate changes.**

...

#### **PLANT QUANTITIES FOR MULTI-FAMILY AND NON-RESIDENTIAL**

**The following standards shall be required on all Multi-Family and Non-Residential development.**

#### **On-Site Landscape Areas**

##### **Multi-Family and Non-Residential**

**Trees: 1 per 400 S.F. of required landscaping**

**Shrubs: 4 per 400 S.F. of required landscaping**

...

Landscape design ~~should~~ **shall** respect existing topographic and landscape attributes of new development sites, including existing mature trees on the site; and, at the same time, respond to the character and thematic environment created by surrounding areas and facilities. **All projects will be required to comply with current City of Surprise water conservation ordinance, stormwater ordinance, preservation standards of native plants, and any other requirements per the City of Surprise Municipal Code at the time of project review.**

...

Landscaping ~~should~~ **shall** consist of a combination and diversity of tree and shrubbery types that can be intermixed to achieve a complementary and thematic landscape design for a project or thoroughfare.

...

**With the exception of synthetic lawn/turf** the use of sod/turf is ~~discouraged~~ **prohibited** in public medians and in other public rights-of-way, ~~except as an integral part of a total landscape design developed to accent special areas.~~ **The use of higher quality sustainable artificial turf will be allowed in the Public Right of Way.**

...

Placement of trees within **any** development, or along the public right-of-way, ~~should~~ **shall** be based upon a well-conceived spatial design pattern that incorporates a variety of placement approaches and appropriate locations; including the use of random clusters of trees where the clusters are spaced no more than thirty-five (35) feet apart, grid patterns and formal alignments of single and double rows of trees. **All landscape standards for any type of development shall comply with AASHTO standards.**

Trees and other plant materials ~~should~~ **shall** be planted on a development site, along street rights-of-ways and in street medians in a manner that will maximize their ability to contribute to the reduction of air and noise pollution, sun glare and heat radiation.

Trees and shrubbery, as well as accent, color or ground cover planting ~~should~~ **shall** be done in groupings and clusters to create strong accent points and highlight major entries to developments.

they ~~should~~ **shall** be screened by substantial landscaping and/or an architectural barrier.

...

**Undisturbed** Bare soil as part of a landscape element ~~should~~ **may** be permitted in any new development project **if it is designed to compliment the community character and environment (non disturbed areas, non-mass graded areas)**, and dead vegetation should be promptly removed and replaced with healthy, living plant material.

...

~~All landscaping should be properly maintained by property owners and Homeowner Associations, except in and along those public rights-of-way and easements where the City of Surprise has agreed to provide maintenance.~~

...

## LANDSCAPE GUIDELINES FOR RESIDENTIAL DEVELOPMENT

...

### Single Family Residential

...

Entries to large planned residential developments and the edges of their perimeter roadways ~~should~~ **shall** have a mature, ~~formal~~ landscape treatment that combines layered plant materials consisting of trees, shrubbery, annual and perennial flowers, and ground cover; with such additional features as earth berms, possible water elements (**to be reviewed and approved by the Water Services Director or designee**), decorative gates and structures, trellis work, lighting and signage.

...

**All landscaping in non-residential areas shall comply with AASHTO standards.**

...

Median-divided arterials and collectors serving new developments ~~should~~ **shall** be lushly landscaped and consist of continuous clusters of low-maintenance, drought-resistance plant materials, tall canopy trees, street lighting and a drip irrigation system **not to impede with AASHTO site visibility standards.**

...

~~Residential developments with local streets that have curb-separated sidewalks should contain in the planting area between the sidewalk and curb, a minimum of one (1) forty-eight (48) inch box, canopy type shade tree with three (3) inch caliper for every twenty (20) linear feet of street frontage; as well as clusters of other plant~~

**At the time of the home product design guidelines**, residential landscape packages for each individual lot should **shall** incorporate specific planting plans that reflect the character and theme of the neighborhood; as well as the compatibility with, and connectivity to, adjoining lots.

...

~~For each individual single family lot in a new residential development, and for a residential infill lot in an existing neighborhood, a basic front and backyard landscape package should be provided that consists of a minimum of:~~

- ~~—four (4), twenty-four inch (24") box, canopy type, shade trees;~~
- ~~—a minimum mixture of forty (40) plants consisting of one (1), five (5) and fifteen (15) gallon shrubs of different varieties;~~
- ~~—ground cover, including sod/turf;~~
- ~~—various porous rock and/or decomposed granite materials; and~~
- ~~—an irrigation system(s) appropriate for the plant material used.~~

...

~~Basic front and backyard landscape packages should apply to all minimum lot sizes in a development.~~

...

**For each individual single family lot in a new residential development, and for a residential infill lot in an existing neighborhood, basic front yard landscaping shall be provided by the developer. Individual lot front yard landscaping will be reviewed, and approved by City staff.**

- a. **All front yards are required to have a minimum of two (2) twenty four (24) inch box trees exclusive of the tree requirement for the landscaped area between the curb and sidewalk.**
- b. **The landscaping shall include a minimum of one (1) five (5) gallon shrub or accent plant and one (1) one (1) gallon shrub, accent or groundcover plant per one hundred twenty-five (125) square feet of landscapable area. Plants must be installed on both sides of the driveway. If turf is not installed in the front yard or is less than twenty (20) percent of the total front and side yard landscapable**

...

Entryway landscaping ~~should~~ **shall** be sized and placed so as not to obstruct vehicular or pedestrian lines of sight.

...

Plant materials ~~should~~ **shall** be integrated with entry monument signs; and frame or provide a visual base for entry signs.

...

In order to achieve an established and mature appearance for new multi-family development, as well as provide connectivity to adjoining community open space areas, a densely treed landscaped strip of mature trees and plant materials, at least ~~seventy five (75)~~ **forty (40) feet**, measured from the back of the street curb line, and running along the entire frontage of a new multi-family development shall be required. **Flexibility in Landscape Area Dimensions may be given if the site is designed within or adjacent to an Urban Center. Only 30% of storm water retention areas can be considered as open space/landscape in the front landscaped area for any residential or non-residential project.**

...

~~Trees, shrubs and ground cover to be planted in street set back areas, as well as front, side and rear yards of multi-family developments should consist of a mixture of twenty four (24) inch, thirty six (36) inch and forty eight (48) inch box trees with three (3) inch caliper, with five (5), ten (10) and fifteen (15) gallon shrubs and ground cover.~~

...

~~At least fifty (50) percent of all trees planted in multi-family developments should be forty eight (48) inch box trees or larger with three (3) caliper.~~

...

**Trees, shrubs and groundcover shall be planted in the street setback areas, as well as front, side and rear yards of multi-family developments.**

**a. Trees are to be planted with the following minimum requirements:**

- i. Fifty (50) percent of the trees are to be twenty four (24) inch box.**
- ii. Thirty (30) percent of the trees are to be thirty six (36) inch box.**
- iii. Twenty (20) percent of the trees are to be forty eight (48) inch box. The larger box trees are to be located at entrances and other appropriate areas.**

barbeque areas, with architectural lighting **that shall be** consistent with the character of the development.

...

~~Carport parking areas that are detached from the building unit should~~ **shall be** densely landscaped and screened from external views of the site.

...

Landscape Guidelines for Commercial/Office/Business/Industrial Park Development

...

The following landscape design approaches and techniques are intended to **provided for** ~~assist existing and potential~~ commercial, office, business park and industrial park property owners and developers in preparing landscape plans and designs. ~~that, when implemented, will: provide a "mature" and "established" look upon the opening of the development;~~

...

~~A master landscape plan should be provided for every commercial, office, business park and industrial park development detailing: location and type of on-site and street right-of-way landscaping, retention areas, permanent water features, proposed irrigation systems, architectural lighting, signage, existing tree preservation techniques and guarantees; and any existing and proposed obstructions such as street lights, meters, backflow devices, utility covers, transformers and similar objects that may affect plant placement and installation limitations.~~

...

~~A mixture of twenty four (24) inch, thirty-six (36) inch, and forty-eight (48) inch box trees with a minimum three (3) inch caliper; along with five (5), ten (10) and fifteen (15) gallon shrubs and ground cover, should be used for all commercial, office and business and industrial park development.~~

...

~~Fifty (50) percent of all trees planted as part of the internal portion of a commercial, office and/or business/industrial park development site, especially in and around parking clusters and along the development's perimeter road in the street right-of-way, should be composed of forty-eight (48) inch box, non-fruit bearing, canopy-type shade trees and evergreens, having a minimum caliper of three (3) inches.~~

...

All plantings ~~and signs~~ should be sized by growth height and placed to preserve vehicle and pedestrian lines of sight at entry drives, and to avoid screening of street light and traffic control devices **per AASHTO Standards.**

...

~~A heavily landscaped area of seventy feet (70'), extending from the back of the curb line, and consisting of trees, shrubbery, earth berms and other landscape materials, should be provided around the perimeter of all commercial, office and industrial sites, except in those areas of the City designated as higher density urbanized gateway centers where "architecture forward" is encouraged and buildings are encouraged to be placed along the street right-of-way line.~~

...

Landscaping within ~~both public and private~~ courtyards and atriums ~~should~~ **shall** include a balance of hard and softscape materials, as well as shaded seating areas. Fountains and decorative plant containers ~~should be considered where appropriate.~~ **Use of fountains will need to be approved by the Water Services Director or designee.**

...

In commercial, office and business/industrial park developments where there is high pedestrian activity, the inclusion of landscaped plazas, courtyards, gardens, **exterior employee break areas**, and atriums as part of the site and building design are strongly encouraged.

...

All trees in paved areas ~~should~~ **shall** have "deep root" barriers, and tree wells with automatic irrigation ~~and metal grates.~~ **Metal tree grates should be considered where appropriate to create aesthetics and urban vibrancy in intense urban pedestrian areas.**

...

Landscaping in parking lots serving commercial, office and business/industrial park developments ~~should~~ **shall**: accent the importance of entryways from the adjoining street; frame the major circulation aisles and highlight pedestrian pathways.

...

Landscaping, including trees, shrubbery, and other plant materials, ~~should~~ **shall** always be provided to separate parking areas from buildings in a commercial, business park or industrial park development.

...

Permanent landscape irrigation ~~should~~ **shall** be provided for all landscape

## Minimum Perimeter Road Landscaped Area

*Measurement starting from back of curb adjacent to street*

		Street Classifications				
	Zoning	Local	Residential Collectors	Minor Arterial	Major Arterial /Parkway	Commercial Collector
(A)	C-1 C-2	35'	35'	35'	50'	26'
(B)	I-3	65'	65'	70'	80'	65'
(C)	I-1, I-2, C-3, BP	50'	50'	50'	50'	26'
(D)	R-2, R-3	20**	20**	30**	50'	20**
(E)	Single Family Residential	18'	30'	40'	50'	30'

- (A) Flexibility in Landscape Area demensions may be given if the site is designed as an urban center to be determined by the Community Development Director.
- (B) Flexibility in Landscape Area dimensions may be given if the site is designed within or adjacent to a downtown style urban center to be determined by the Community Development Director.

\*The front of all Multi-Family projects will be required to have a minimum of a 40' landscaped area measured from the back of the street curb line, and running along the entire frontage, unless the number above exceeds 40', then the higher number will be the minimum front landscape area requirement.

For all Zoning Classifications:

If retention is used in the landscape area, up to 30% will be counted as open space/landscaped area.

Non-Residential Development

Underground Retention is strongly encouraged on all commercial developments and shall comply with the current adopted City standards.

earthen berms, “see-through” walls-view fencing, pedestrian and bicycle pathways , and architectural lighting. **Equestrian trials may be recommended to be shown, to be determined on a case-by-case basis.**

...

~~Landscaping materials in “edge-city” buffer zones should consist of a mixture of twenty-four (24) inch, thirty-six (36) inch, and forty-eight (48) inch box canopy, shade-type trees with a minimum three (3) inch caliper planted informally in clusters, along with five (5), ten (10) and fifteen (15) gallon shrubs and ground cover. The majority of trees should be thirty-six (36) inch box or greater.~~

**Landscaping materials in edge-city buffer zones shall be planted with the following minimum requirements:**

- a. Trees are to be planted with the following minimum requirements:**
  - i. Fifty (50) percent of the trees are to be twenty four (24) inch box.**
  - ii. Thirty (30) percent of the trees are to be thirty six (36) inch box.**
  - iii. Twenty (20) percent of the trees are to be forty eight (48) inch box. The larger box trees are to be located at entrances and other appropriate areas.**
- b. Shrubs are to be planted with the following minimum requirements:**
  - i. Groundcovers to be a minimum one (1) gallon size.**
  - ii. Shrubs and accent plants shall consist of five (5), ten (10) and fifteen (15) gallon specimen. A minimum ten (10) percent are to be ten (10) gallon, and five (5) percent are to be fifteen (15) gallon.**
  - iii. Ninety (90) percent of the plant material is to be included on the Arizona Department of Water Resources (ADWR) low water use list. Xeriscape will be encouraged.**
  - iv. Plant sizes shall be based on Arizona Nurseryman’s Association (ANA) standards.**
  - v. Inorganic ground cover, consisting of decomposed granite or other rock, shall be provided in all landscapable areas. The groundcover shall be screened and be a minimum one half (1/2) inch size.**
  - vi. An automatic irrigation system appropriate for the plant material shall be provided.**

- vi. **An automatic irrigation system appropriate for the plant material shall be provided.**
- vii. **With the exception of synthetic lawn/turf, turf is to be located only in areas that are suitable for active recreation.**

...

#### Screening

...

In order to promote a more “visually friendly” and open community, the construction of long, unbroken and monotonous expanses of high, solid fences and stucco walls around the perimeter of new single and/or multi family residential developments **shall not be permitted** ~~should be strongly discouraged.~~

...

If a fence or wall is determined to be appropriate **within and/or around** ~~for use around the perimeter of a development to screen and separate it from adjoining streets and other development,~~ then either a view fence that incorporates a combination of low solid wall base not to exceed three feet in height with wrought iron fence placed in between solid pilasters with cap, or a low wall developed in conjunction with an earth berm and landscaping is strongly encouraged

...

Walls and fences should be kept as low as possible and be designed to blend with the site’s architecture **and environment** through the use of similar materials and colors.

...

Walls and fences shall be designed to minimize visual monotony by including changes in the surface plane of the wall or fence, variable heights, articulated recesses and wall offsets sufficient in depth to permit landscaped pockets for the planting of significant clusters of mature trees and shrubbery **and** decorative materials textures and colors appropriate to the theme and style of the development. **In no case shall an uninterrupted section of fence or wall be greater than two hundred (200) linear feet in length.**

...

The use of chain-link and/or slat-filled chain link fences for screening less visually attractive areas ~~is strongly discouraged and should~~ **shall** not be permitted.

...

**All light poles that are used in the City of Surprise shall not consist of unfinished metal. All light poles in the City of Surprise shall be powder coated with the appropriate color, to be approved by City staff.**

...

Pole lighting for safety and security of neighborhood open space, trails, bicycle paths and pedestrian ways ~~should~~ **shall** not exceed twelve (12) feet in height (**this does not include trails, bicycle paths, open space, and pedestrian ways along streets**); and should be supplemented with lower light levels using "bollard" or "foot"-type lighting. **All trails, bicycle paths, and pedestrian ways shall have lighting unless stated otherwise in any adopted trails master plans. All trail lighting outside of the Right of Way shall be maintained by the Homeowners Association or Owner unless agreed to otherwise by the City of Surprise.**

...

General Lighting Guidelines

...

Except for arterial streets, outdoor performance areas, sport and recreation facilities, playfields, and those structures and facilities where lighting must be used to illuminate potential obstructions and/or hazards to air navigation, all pole-mounted light fixtures ~~should~~ **shall** not exceed sixteen (16') feet in height, measured from the finished grade to the top of the light fixture. The height of any pedestals upon which pole fixtures are placed should be included in the overall height measurement.

...

Non-Residential Lighting

...

**Lighting within a non-residential development shall not exceed twenty (20) feet in height measured from finished grade to the light fixture. All lighting in a non-residential project within 45' of a residential zone boundary shall not exceed sixteen (16') in height measured from finished grade to the light fixture.**

...

Residential Lighting

...

Single Family and Rural Neighborhoods

...

Street lighting fixtures in single family neighborhoods ~~should~~ **shall** be no taller than sixteen (16) feet, measured from finished grade to the top of the fixture; and shall be

...

In order to establish visual continuity among storefronts on the same site, new signs should be placed in a manner that is consistent with sign location on adjacent buildings. ~~and complies with a master sign program for that area.~~

...

A window sign, either permanent or temporary, should shall not cover more than ~~fifteen~~ **twenty five (25)** percent of each window surface located at the front of a building.

...

The height of a freestanding sign should be compatible with the overall scale of the development it serves and the building heights therein; but under no circumstances should the height of a freestanding sign exceed ~~twelve (12)~~ **ten (10)** feet; **unless along a highway, freeway, or set back substantially from the street right of way due to significant typographic constraints, sign heights may be taller if it does not compromise the public health, safety, or welfare to be determined by the Planning and Zoning Commission with findings.**

...

#### ~~CANVAS SIGNS, BANNERS, FLAGS AND STREAMERS~~

~~Defined as temporary or wind type signs made of cloth, plastic, canvas or other materials which have been tested and shown to have long life expectancy and resistance to the elements.~~

- ~~• The use of canvas signs, banners, flags and streamers should be encouraged; provided they are:
  - ~~— not used for advertising;~~
  - ~~— maintained in good repair and replaced when fading or deterioration occurs;~~
  - ~~— an integral part of the design of a building;~~
  - ~~— creatively used to enhance, promote and engender a festive atmosphere for pedestrian activity in designated areas of the City.~~~~
- ~~• Temporary or wind type signs such as banners and canvas signs should be permitted~~

...

**Cluster development - A development design technique that concentrates buildings on a part of the site to allow the remaining land to be used for recreation, common open space and preservation of environmentally sensitive features.**

...

**Cluster grading – A technique that limits grading to only those areas that are required for building and associated improvements.**

...

**Construction envelope - The area defined on a lot in which all improvements must be made, including alterations to existing landscaping. Improvements include but are not limited to buildings, accessory buildings, structures, pools, patios, parking lots, refuse areas, fences, or walls. The construction envelope defines the maximum allowable construction area on the lot.**

...

**G**

...

**Grading- Any stripping, cutting, filling or stockpiling of earth or land.**

...

**O**

...

**Open Space – For calculation purposes in this section, open space shall include all land that is in a predominantly natural state such as floodplains and wash areas; and all land in an altered state which provides functional, recreational, or semi-public use such as driveways, plazas, and parking. Altered areas shall provide a continuous flow of open space from other open spaces in the area. Open space calculations may include both public and private lands. Individual lots which have a portion set aside for open space may also be included in the calculation.**

...

**P**

...

**Permanent undisturbed open space - Areas containing naturally occurring Sonoran Desert vegetation and topographical features that have not been altered except to enhance the desert environment through restoration or to allow trails and utility easements as necessary.**

**street with larger sidewalks, street furniture, and other pedestrian amenities that create a place to live, work, and play.**

17.28.210 Single- family home product design guidelines

...

## SUMMARY

The Home Product Design Guidelines is a supplement to the Single-Family Residential Design Guidelines and is intended to provide direction to the Homebuilders as the to the type of architectural standard and building siting desired by the citizen's of Surprise. It has been implemented out of the concern of the vast number of homes built during this current architectural period and the overwhelming dominance of the garage in single-family home design.

These Guidelines provide insight into, and clarification of, definitions, goals and objectives set forth by the City of Surprise City Council. The guidelines are intended to foster healthy development that will enhance residential community's overall physical image, identity, value and appearance; and achieve the integration of well-planned and designed projects into an overall development pattern that supports community goals for a more sustainable and livable community.

These residential architectural guidelines are also intended to encourage creativity and design excellence in meeting development goals and objectives; and assist the Homebuilders and Architects in understanding the City's minimum design criteria for new residential home designs. All guidelines reflect awareness of public safety and crime prevention needs and requirements, and they incorporate a variety of proven, research-based design techniques currently utilized in communities throughout the United States, to

1. improve natural surveillance;
2. encourage greater neighborhood opportunities;
3. improve the overall function and visual quality of the streetscape;
4. enhance neighborhood character and overall community design; and
5. stimulate investment in and strengthen economic vitality of the community.

These guidelines contain both qualitative (non-numeric based) and quantitative (numeric based) guidelines. The majority of the guidelines are qualitative and use

5. Utilize Hollywood Drives and/or Salt-finished Drives as standard on one (1) elevation per each plan submitted;
6. Provide enhanced landscape packages in addition to standard packages;
7. Include plans that offer a Basement as an option.

As of December 12, 2002, the Home Product Design Guidelines have been adopted by City Council and codified as an ordinance.

### **Applicability**

**All projects that fall into a Low Density Residential Land Use Classification shall comply with this document. All other single family residential detached residential units will also need to submit for a home product review, and shall be reviewed on a case by case basis as it relates to points. In addition, all residential projects shall comply with the planning and design guidelines manual.**

Homebuilders shall include a visitability option on all model home types to give a homeowner the choice to include the minimum following standards for all single-family residential housing:

1. All doors shall have a minimum of a 32" clearance.
2. One bathroom on the main floor shall be accessible.
3. One zero-step entrance.

### **DEFINITION OF GARAGE DOMINANT ARCHITECTURE**

What compositions of façades and architectural elements define Garage Dominant Architecture? Simply stated; garage dominance exists when any portion of the garage space projects into the front yard, including side-entry garages, beyond the livable space of the home and/or, when garage doors comprise a large percentage of linear frontage of the front elevation.

### **REQUIREMENTS FOR NON-GARAGE DOMINANT ARCHITECTURE**

In order to achieve a non-garage dominant architecture, the following standards must be met: (attached, zero lot-line and multi-family units will be evaluated on a per submittal basis)

## **GENERAL GUIDELINES**

The guidelines set forth in this section are established in order to provide a diverse mix to the home products constructed in the City of Surprise. As described in the introduction, a greater need for homes to address the street, coupled with new street section standards is the primary concern. Urban design plays an important role in fostering neighborhood interaction and therefore shoulders much responsibility in the development of communities.

Diversity of quality residential architectural design is encouraged throughout the City; with the design of projects reflecting a general continuity and harmony consistent with the character of the community, while at the same time providing new, creative, forward-looking and dynamic approaches to design.

### **Form**

- A.) High quality “stylized” or “theme” architecture that is characteristic of a particular historic period of forward-looking architectural trend is encouraged provided it generally reflects, and is consistent with the community.
- B.) Home design and siting should consider solar orientation, as well as climatic and other environmental conditions.
- C.) Home design and orientation on the site should encourage safety and privacy of adjacent outdoor spaces, and should reduce noise and other impacts received from, or generated by, the project.
- D.) Monotonous look-a-like structures (cookie-cutter homes) are discouraged. Every effort should be made to design homes that create a visually interesting “building rhythm” by varying building form, volume, massing, heights, roof styles and site orientation.
- E.) “Side-entry” homes are strongly discouraged and will be considered on a per submittal basis.

- C.) Chimneys, roof flashing, rain gutters, downspouts and other roof protrusions should be painted and finished to match the color of the adjacent surface, unless being used expressly as a trim or accent element.
- D.) Solar panels located on rooftops should be consistent with roof pitch, and sized and colored so as to appear as an integral part of the overall roof design.

### **Colors and Materials**

- A.) A change in the use of building material on a structure should reflect a change in the plane of the structure.
- B.) Materials applied to any building elevation should wrap around onto adjoining walls of the structure to a visually appropriate terminating point so as to provide design continuity and a finished appearance.
- C.) Variation of colors in roof and façade treatment in residential development is encouraged, provided the color variations maintain harmony and consistency with the overall character of the surrounding community.
- D.) **Vibrant** colors that are compatible with the general environment of the community, and that help **reduce reflected heat and glare into the surrounding area, are encouraged.**
- E.) The use of bright or intense primary colors should be moderated, and permitted only in areas where their use would not overwhelm surrounding development or create an uncoordinated or cluttered-looking development.
- F.) ~~Color~~ **Colors and materials** should be used to accent entry-ways and special architectural features of a home.

### **Windows and Doors**

- A.) Windows and doors should be aligned and sized to bring order to the building façade.

## REQUIREMENTS

As part of all Home Product Lines submitted for Design Review, Homebuilders are presented three options for meeting the requirements for the City of Surprise; Option A, B and C. Each possess a unique base requirement as well as required additional features listed under Point Options Lists.

The following lists, Option A, B and C, establish the minimum requirements for all Product Lines submitted to the City of Surprise. In addition to the minimum requirements, Options A and B require 100 points to be accumulated from the Point Options Lists.

### Option A

#### Minimum Requirements

Include:

- ~~75%~~ **85%** of plans submitted must be Non-Garage Dominant Architecture;
- At minimum, three (3) distinctly different elevations;

It is the City's desire to establish the above requirement such that the distinction between each elevation shall not be cost related. It is understood that certain elements that create character differences share difference in cost (i.e. Gable roofs vs. Hip roofs). However, elevations establishing specific architectural themes should comprise substantial articulation for each theme such that "elevation 'A' does not cost less than 'B', which costs less than elevation 'C', etc., etc.

- Multiple roof truss configurations for each plan with each elevation to include: Gable, Hip, Clipped-Hip, Shed, Flat, or a combination thereof, etc;
- Multiple roofing material styles: Flat tile, Barrel (S) tile; etc; Additionally, specific roofing material styles must be restricted in use to a specific individual style to ensure architectural accuracy, i.e.: Flat tile – French/European, Barrel (S) – Spanish/Southwest, etc.
- Four-sided Architecture: Door and Window-casing treatments (pop-outs) located on front elevations must be continued to all subsequent elevations for all plans;. **Door and window trim color and profile should be reflected on all four sides.**

- g. The landscaping shall include a minimum of one (1) five (5) gallon shrub or accent plant and one (1) one (1) gallon shrub, accent or groundcover plant per one hundred twenty five (125) square feet of landscapable area. Plants must be installed on both sides of the driveway. If turf is not installed in the front yard or is less than twenty (20) percent of the total front and side yard landscapable areas, excluding walkways, driveways or patios, one (1) additional one (1) gallon groundcover plant per one hundred twenty five (125) square feet of landscapable area will be required in addition to the required shrubs and accent plants.
- h. Ninety (90) percent of the plant material is to be included on the Arizona Department of Water Resources (ADWR) low water use list. Xeriscaping is encouraged.
- i. Plant sizes shall be based on Arizona Nurseryman's Association (ANA) standards.
- j. Inorganic ground cover, consisting of decomposed granite or other rock, shall be provided in all landscapable areas. The groundcover shall be screened and be a minimum one half (1/2) inch size.

An automatic irrigation system appropriate for the plant material shall be provided.

...

For individual lots in a development having landscaped curb-separated sidewalks, the front yard planting plan shall include placement of at least one (1) 24" box or larger canopy-type shade tree per twenty-five feet (25') of linear frontage, and a minimum of one (1) shrub per 15' of lot frontage. The trees between sidewalks and curb shall be completed prior to Letter of Compliance and/or Certificate of Occupancy on tract/community landscaping inspection.

**Lot sizes less than 5830 sq. ft.**

~~Lots fifty two feet (52') or less must include a minimum:~~

- ~~Two (2) trees (1) 24" box and (1) 15-gallon;~~
- ~~A minimum of fourteen (14) shrubs ranging in sizes from 1 to 5-gallons or Turf (grass) area and ten (10) shrubs ranging in sizes from 1 to 5-gallons; and,~~
- ~~Decomposed Granite of varying color ranging in size from 1/4" minus to 3/4" screened.~~

## Point Option List A

### **Elevation Options**

1. At minimum, three (3) elevations per plan must comprise three (3) distinctly different, architecturally “themed” styles. (“Themes” must relate to a historical style - elements that characterize a specific style will be strictly enforced to validate the theme).  
**(50 pts)**
2. At minimum, two (2) elevations per plan must comprise two (2) distinctly different, architecturally “themed” styles. (“Themes” must relate to a historical style - elements that characterize a specific style will be strictly enforced to validate the theme).  
**(40 pts)**
3. At minimum, one (1) elevation per plan must comprise one (1) distinctly different, architecturally “themed” style. (“Themes” must relate to a historical style - elements that characterize a specific style will be strictly enforced to validate the theme).  
**(30 pts)**
4. One (1) architectural theme for all plans, minimum of three distinctly different elevations, that is architecturally “themed”. (“Themes” must relate to a historical style - elements that characterize a specific style will be strictly enforced to validate the theme).  
**(50 pts)**
5. Predetermining elevations for all lots within a development/subdivision.  
**(30 pts)**
6. Architectural exterior finish that establishes a distinct elevation: Brick; Stone Veneer; Split-face CMU; Scored CMU; Decorative Stucco; Decorative Wrought Iron; Light Fixtures; Railings; etc., standard on ~~one~~ **two** elevations per each plan submitted.  
**(10 pts)**
7. Porches (see requirements) and/or Courtyards as standard on ~~50%~~ **75%** of all elevations for each plan submitted.  
**(20 pts)**
8. Embellished Garage Doors on all elevations subsequent to the primary elevation (primary elevation = elevation A). The addition of windows does NOT satisfy this requirement. Embellishment must relate to the elevations architectural ~~architectural~~ **architectural** theme.  
**(5 pts)**
9. Significant (8” minimum) Shadow Boxes and/or Recesses or Pilaster for front elevation Windows as standard one (1) elevation per each plan submitted.

19. Incorporate Dormers (~~standard~~), Internal Dormers and Eyebrow Windows as standard on one (1) elevation per each plan submitted.

**(5 pts & 5 pts for each additional elevation – 15 pts max.)**

20. Incorporate multiple roof variations for each Rear Elevation per each plan submitted.

**(10 pts)**

21. Plans that incorporate as standard, Unique Roofing Styles on 25% of all plans per submittal: Shed; Barrel; Butterfly; Flat/Parapet; etc.

**(30 pts)**

**(5 pts if offered as only optional on plans and utilized on one plan constructed in a model home complex)**

\*(Santa Fe style plans are excluded from this heading due to the fact that a Flat/Parapet roof is fundamental to its architectural style. Points may be acquired for specific architectural style under a separate heading)

\*\* (An undecided amount of points - to be determined by the Community Development Director - may be acquired from this heading for incorporating some of the unique roofing styles in combination with contemporary roof styles.

22. Incorporate Unique Roofing materials (i.e. Standing Seam Metal, etc.) as standard for: one (1) elevation per each plan submitted; or, for all elevations of one (1) plan per submittal.

**(30 pts)**

**(5 pts if offered as only optional on plans and utilized on one plan constructed in a model home complex)**

~~23. Unique Roofing patterns standard on one elevation: Diagonal Slating; Open Slating; Ribbon Course.~~

~~**(5 pts)**~~

24. Architecturally integrated Active Solar Power (Panels) standard on one (1) plan per submittal or one (1) elevation per each plan submitted.

**(20 pts)**

### **Hardscape and Fencing Options**

~~25. Utilize Hollywood Drives and/or Salt finished Drives, stamped or patterned concrete as standard on one (1) elevation per each plan submitted and optional on all. Utilize – Hollywood Drives Exposed Aggregate Drives, Salt, Stained or Acid finished Concrete Drives, and/or, drives created with Pavers – as standard on (2) elevations per each plan submitted and optional on all.~~

~~**(10 5 pts & 5 pts for each additional elevation – 20 15 pts max.)**~~

## Landscape Options

~~30. Front-yard landscape package for all lots 63' wide and larger – 6930 sq. ft. and larger to include:~~

- ~~— Two (2) trees – 24" box in size;~~
- ~~— Twenty five (25) shrubs ranging in sizes from 1 to 5-gallons, or Turf (grass) area and twenty (20) shrubs ranging sizes from 1 to 5-gallons;~~
- ~~— One (1) surface select boulder; and,~~
  - ~~— Decomposed Granite of varying color ranging in size from ¼" minus to ¾" screened.~~
- ~~— (5 pts)~~

~~31. Enhanced front-yard landscape package for all lots less than 63' wide – 6930 sq. ft. or less to include:~~

- ~~— Two (2) trees – 24" box in size;~~
  - ~~— Fifteen (15) 5-gallon shrubs, or Turf (grass) area and ten (10) 5-gallon shrubs;~~
- ~~— One (1) surface select boulder; and,~~
  - ~~— Decomposed Granite of varying color ranging in size from ¼" minus to ¾" screened.~~
- ~~— (5 pts)~~

~~32. Rear-yard landscape package for all lots less than 63' wide to include:~~

- ~~— Three (3) trees – (1) 24" box tree and (2) 15-gallon trees;~~
  - ~~— Twenty (20) shrubs ranging in sizes from 1 to 5-gallons, or Turf (grass) area and fifteen (15) shrubs ranging is sizes from 1 to 5-gallons; and,~~
- ~~— Decomposed Granite of varying color ranging in size from ¼" minus to ¾" screened.~~
- ~~— (5 pts)~~

~~33. Rear-yard landscape package for all lots 63' wide and larger to include:~~

- ~~— Four (4) trees – two (2) 24" box trees and two (2) 15-gallon trees;~~
  - ~~— Thirty (30) shrubs ranging in sizes from 1 to 5-gallons, or Turf (grass) area and twenty (20) shrubs ranging in sizes from 1 to 5-gallons; and,~~
- ~~— Decomposed Granite of varying color ranging in size from ¼" minus to ¾" screened.~~
- ~~— (5 pts)~~

~~For all communities with curb separated sidewalks, one (1) 24" box tree included with all packages is required to be planted in the area between the curb and sidewalk.~~

## Option B

### Minimum Requirements

- ~~At minimum, three (3) elevations per plan that comprise three (3) distinctly different, architecturally and historically accurate styles.~~ Elements that characterize a specific historical style (elevation) will be strictly enforced;- **At a minimum all elevations will vary and adhere to at least one architectural style.**

It is the City's desire to establish the above requirement such that the distinction between each elevation shall not be cost related. It is understood that certain elements that create character differences share difference in cost (i.e. Gable roofs vs. Hip roofs). However, elevations establishing specific architectural themes should comprise substantial articulation for each theme such that "elevation 'A' does not cost less than 'B', which costs less than elevation 'C', etc., etc.

- Multiple roof truss configurations for each plan with each elevation to include: Gable, Hip, Clipped-Hip, Shed, Flat, or a combination thereof, etc;
- Multiple roofing material styles: Flat tile, Barrel (S) tile; etc; Additionally, specific roofing material styles should be restricted in use to a specific individual style, i.e.: Flat tile – French/European, Barrel (S) – Spanish/Southwest, etc.
- Four-sided Architecture: Door and Window-casing treatments (pop-outs) located on front elevations must be continued to all subsequent elevations for all plans;
- Horizontal Bands, Wainscots, columns and/or Pilasters, or any other architectural element and decorative materials applied to any front building elevation must wrap around (corners) onto adjoining walls of the structure to a visually appropriate terminating point (all horizontal elements will be ~~assessed~~**assessed** at the time of submittal and type of architecture as to what the recommended termination point must be);
- Rear covered patio that integrates architecturally with the home;
- One (1) Elevation per plan must include a Front Porch or Covered Entry-Way as standard. Required Front Porches and Covered Entry-Ways must be at minimum 5' X 8' clear of obstructions;
- ~~Provide a front yard landscape package including an automatic drip irrigation system for all lots less than 63' wide to following standards:~~

...

**Compliance and/or Certificate of Occupancy on tract/community landscaping inspection.**

**LANDSCAPE OPTIONS**

~~Lot sizes less than 5830 sq. ft.~~

~~Lots fifty two feet (52') or less must include a minimum:~~

- ~~— Two (2) trees – (1) 24" box and (1) 15-gallon;~~
- ~~— A minimum of fourteen (14) shrubs ranging in sizes from 1 to 5-gallons or Turf (grass) area and ten (10) shrubs ranging in sizes from 1 to 5-gallons; and,~~
- ~~— Decomposed Granite of varying color ranging in size from ¼" minus to ¾" screened.~~

~~Lot sizes between 5830 sq. ft. and 6930 sq. ft~~

~~Lots between sixty two feet (62') and fifty three feet (53') must include a minimum:~~

- ~~— Two (2) trees – (1) 24" box and (1) 15-gallon;~~
- ~~— A minimum of eighteen (18) shrubs ranging in sizes from 1 to 5-gallons or Turf (grass) area and twelve (12) shrubs ranging in sizes from 1 to 5-gallons; and,~~
- ~~— Decomposed Granite of varying color ranging in size from ¼" minus to ¾" screened.~~

~~For all communities with curb separated sidewalks, the 24" box tree included with all packages is required to be planted in the area between the curb and sidewalk.~~

~~Individual homebuyers may request fewer shrubs or opt out entirely of a standard landscape package but the HOA requirements must still be met with the type and time allowed. Additionally, all communities with curb separated sidewalks must plant one (1) 24" box tree per lot in the area between the curb and sidewalk regardless.~~

~~Shallow wide lot configurations may require different planting calculations and will be evaluated on a per submittal basis.~~

(30 pts & 10 pts for each additional plan)

\*(See definition of Significantly recessed Garage)

**4412.** Side-Entry Garage Plan on a minimum of 25% of all plans submitted.

(10 pts)

**4213.** One (1) plan where the Garage is accessed from an adjacent side street.

(15 pts & 5 pts for each additional plan – 25 pts max.)

**4314.** One (1) plan per product line submittal with a Detached Garage.

(30 pts & 5 pts for each additional plan – 40 pts max.)

\*(One (1) plan must be constructed in a model home complex in order to receive the accumulated points from this category.)

**4415.** Porte Corchère as standard on one elevation of a non-garage dominant plan utilizing a significantly recessed (attached) garage.

(15 pts & 5 pts for each additional plan – 25 pts max.)

(5 pts if offered as only optional on plans and utilized on one plan constructed in a model home complex.)

**4516.** Pergola as standard on one elevation per plan submitted.

(15 pts & 5 pts for each additional plan – 25 pts max.)

(5 pts if offered as only optional on plans and utilized on one plan constructed in a model home complex.)

#### Roofing Options

**4617.** Include a minimum of five (5) different color and roof combinations per product line submittal.

(5 pts)

**4718.** Incorporate Dormers (standard), Internal Dormers and Eyebrow Windows as standard on one (1) elevation per each plan submitted.

(5 pts & 5 pts for each additional elevation – 15 pts max.)

**4819.** Incorporate multiple roof variations for each Rear Elevation per each plan submitted.

(10 pts)

**4920.** Plans that incorporate as standard, Unique Roofing Styles on 25% of all plans per submittal: Shed; Barrel; Butterfly; Flat/Parapet; etc.

(30 pts)

(5 pts if offered as only optional and utilized on one plan constructed in a model home complex)

(4015 pts & 5 pts for each additional elevation – 25 20 pts max.)

(5 pts if offered as only optional on all plans and utilized in all plans constructed in a model home complex)

\*(Points may be acquired from this heading for any one (1) design/material use or any combination thereof)

**2526.** Entry Sidewalks (between: driveway and porch/front entry and City sidewalk and porch/front entry) that utilize as standard - Stone and/or Natural Flagstone; Pavers; Exposed Aggregate, Salt-finished, Colored Aggregate Concrete, Stamped or Patterned Concrete, - or any combination of materials/designs thereof.

(10 pts for 50% or greater, of elevations per each plan submitted)

(15 pts for ALL elevations per each plan submitted)

(5 pts if offered as only optional on all plans and utilized in all plans constructed in a model home complex)

**2627.** Fence return walls that incorporate as standard, decorative materials to match the home: i.e. Decorative Columns, Stucco, Scored CMU, Split-face CMU, Brick, Stone Veneer, etc.

(5 pts)

**2728.** Fence return walls that incorporate, as standard for an entire (Home Builder's) parcel, tract or total number of lots; Wrought Iron View Fencing.

(10 pts for walls that are less than 100% transparent)

(15 pts for walls that are 100% transparent)

\*(View Fencing must be at minimum, 50% transparent)

\*(For areas where screening of trash receptacles is desired, standard six-foot (6') high CMU fencing may be utilized in conjunction with View Fencing)

#### Landscape Options

~~28. Front yard landscape package for all lots 63' wide and larger – 6930 sq. ft. and larger to include:~~

~~— Two (2) trees – 24" box in size;~~

~~— Twenty five (25) shrubs ranging in sizes from 1 to 5 gallons, or Turf (grass) area and twenty (20) shrubs ranging sizes from 1 to 5 gallons;~~

~~— One (1) surface select boulder; and,~~

~~— Decomposed Granite of varying color ranging in size from ¼" minus to ¾" screened.~~

~~— (5 pts)~~

~~29. Enhanced front yard landscape package for all lots less than 63' wide – 6930 sq. ft. or less to include:~~

~~— Two (2) trees – 24" box in size;~~

**3330.** Product lines that incorporate a Split-Level design on one (1) plan per submittal.  
(20 pts & 5 pts for each additional plan – 30 pts max.)

**3432.** Product lines that incorporate two (2) Zero Lot-Line plans per submittal.  
(20 pts & 5 pts for each two additional plans – 30 pts max.)

**35 33. Architecturally Integrated Solar Power (Panels) standard on one (1) plan per submittal or one (1) elevation per each plan submitted.  
(20 pts)**

#### Miscellaneous

**3534.** Any other architectural feature that is not listed, but which meets the general intent for Non-Garage Dominant plans and/or architectural diversity, may be considered for point accumulation. Examples may include, but are not limited to: enlarged roof overhangs; extended porches; energy efficient design (“green” building); etc.

(Points will be determined by the Community and Economic Development Director)

#### Option C

##### Minimum Requirements

- **100% of plans submitted must be Non-Garage Dominant Architecture including 50% that utilize a significantly recessed garage.**
- **At minimum, three (3) distinctly different elevations;**

**It is the City’s desire to establish the above requirement such that the distinction between each elevation shall not be cost related. It is understood that certain elements that create character differences share difference in cost (i.e. Gable roofs vs. Hip roofs). However, elevations establishing specific architectural themes should comprise substantial articulation for each theme such that “elevation ‘A’ does not cost less than ‘B’, which costs less than elevation ‘C’, etc., etc.**

- **Multiple roof truss configurations for each plan with each elevation to include: Gable, Hip, Clipped-Hip, Shed, Flat, or a combination thereof, etc;**

## Lot standards and other Requirements

The following requirements apply to all developments:

1. Approved plans that utilize a “side-entry **front door**” plan must site similar plans which are immediately adjacent, in a mirrored (flipped) configuration.  
\*Corner lots may be exempt.
2. Front-yard landscape packages must be submitted with Home Product Design Review submittals.

## SPANISH/SOUTHWEST:

### Defining Characteristics

- ~~Facade usually asymmetrical~~
- ~~Multi-level roofs~~
- ~~Red tile roof covering~~
- ~~Deeply recessed windows and doors~~
- ~~Wall surface usually stucco~~
- ~~Stucco or tile decorative vents~~
- ~~Elaborate chimney tops~~
- ~~Towers, round or square~~

## ARTS AND CRAFTS:

### Defining Characteristics

- Multiple roof planes
- Dormers, gabled or shed
- Trellised porch or porte cochere

### Typical Roof-Wall Junctions

- Exposed roof beams and/or rafters
- Triangular knee brace

### Typical Porch Supports and Porch Railings

- Columns or piers continue to ground level without break at porch floor
- Columns or piers have sloping (battered) sides

## TRADITIONAL ECLECTIC:

### Defining Characteristics

- Facade usually symmetrical
- Roofs either hipped or gable or both
- Regularly spaced windows and doors
- Dentiled cornice

### Typical Porch Supports

- Colonnaded entry

## TUSCAN:

### Defining Characteristics

- Stone
- Arches above doors, windows or porches
- Gable and/or hipped roofs

### Typical Roof-Wall Junctions

- Cornice or brackets

## ITALIANATE:

### Defining Characteristics

- Hipped roof
- Entries usually accentuated by columns or pilasters
- Arches above doors, windows ~~or~~ **and** porches

### Typical Roof-Wall Junctions

- Cornice or decorative brackets

## DEFINITIONS

### Explanation

The following definitions provide interpretations and explanations for the many words, phrases and terms used to describe a particular action(s) set forth in recommendations presented in the Planning and Design Guidelines Manual. These words, phrases and terms have been given the defined meaning as set forth below; and where words are used in the singular, they include the plural, and words in the plural include the singular. Where words are used in the present tense, they include the future tense and words used in the future tense include words in the present tense.

The word “should” is intended to express the City of Surprise’s desire and expectation, while the words “encouraged” and “discouraged” are meant to express a more or less desirable design solution.

A

**Abut** – To border with or physically share a common property line.

**Abutting** – The condition of two (2) adjoining land parcels having a common property line or boundary, including situations where two (2) or more lots adjoin only a corner or corners.

**Access** – The place, means or way by which pedestrians and vehicles can have safe, adequate and usable entry to and exit from a property or land use.

**ADA** – Americans with Disabilities Act.

**Adjacent** – The condition of being near or close to, but not necessarily touching or abutting or having a common dividing line; such as two (2) properties which may be separated only by a street or alley.

**Adjoining** – The condition of two (2) or more land parcels having a common property line.

**Aesthetics** – The science and philosophy of visual beauty and quality.

**Alley** – A public or private ~~street right-of-way~~ primarily designed to serve as secondary access to the side or rear of those properties whose principal frontage is on some other street.

**Alleyways** – A public or private ~~street right-of-way~~ designed to serve as primary access to the side or rear of those residential properties whose principal frontage is on some other street, but whose garages are located to the side or rear of the

**Building Elevation** – The view of any building or other structure from any side showing the relationship of the site grade to floor level, and such features as design, construction materials, height, dimensions, windows and doors.

**Building Frontage** – The part of a building where the primary entry fronts a public street.

**Building Massing** – The compositional use of two or more three-dimensional forms in the design a building(s).

**Building Rhythm** – The regular or harmonious recurrence of vertical and/or horizontal lines, shapes, forms, elements or colors, usually within a proportional system.

## C

**“Canopy Tree”** – A tree whose growth, when mature, will have moderate to dense foliage and branches that extend outward from the tree trunk in a cascading fashion to provide an umbrella or canopy-type shape to the tree.

**Collector Street** – (See Streets)

**Common Area Open Space** – Intimately-scaled open space areas such as terraces, courtyards, atriums, arcades, plazas, etc. that are normally associated with building entries and/or interior open spaces of office, commercial and multi-family residential developments.

**Community Character** – The image by which the community is distinguished from other communities and viewed by those living in and passing through the community as defined by such factors as its built environment, natural features and open space elements, type of housing, architectural style, use of color and materials, streetscape, infrastructure and the type and quality of public facilities and services.

**Community Design** – The design of buildings, streets, open space, landscaping, signs, lighting, neighborhoods, and all other physical elements of the community that when combined, provide a unique identification and consistent character throughout the community.

**Community Open Space System** – The community’s parks, playgrounds, active and passive recreational areas, natural features, and environmentally sensitive land areas that collective provide a continuous and integrated system of open space.

development review; master plans; native plant removal, relocation or revegetation; or use permit.

“Discouraged” – The word used in the guidelines manual to express a more or less preferred direction to be taken in achieving a planning and design solution.

## E

Egress – A continuous and unobstructed way by which to exit from a given point of a building, structure or site.

Egress Point – The actual point of exit from a building, structure or site

“Encouraged” – See “Discouraged”

“Established Landscaping” – Landscaped areas that either have, or provide the appearance of having, grown and/or mature plant materials.

## F

Façade – The exterior wall(s) of a building that is exposed to public view.

Fence – A barrier constructed of materials erected for the purpose of protection, confinement, enclosure or privacy.

## G

Garage Dominate Architecture – When any portion of the garage space projects into the front yard beyond the livable space of the home and/or, when garage doors comprise a large percentage of linear frontage of the front elevation.

Garage-Scape – When the architectural presence of the street and/or community is dominated by the garage.

Grade – The percent of rise or descent of a sloping surface.

Grading – Any stripping, cutting, filling or stockpiling of earth or land, ~~including the land in its cut or filled condition, to create new grades.~~

## H

“Hardscape” – Any hardened and/or paved surface, such as a street, sidewalk, plaza or other similar surface, where the surface materials have been used to create unique patterns of color, design and texture for purposes of creating visual interest.

Minor Arterial Street – See Streets

Mixed-Use Development – A single building containing more than one type of land use; or a single development project having more than one building and land use in which the different land uses are located in close proximity to one another, the project is planned and designed as a unified total project, and the development is functionally integrated to enable the use of shared vehicular and pedestrian access and parking areas.

Multi-Family Residential Area – An area developed as a group of dwellings, a single building, or a portion of a building constructed on one parcel to provide living units completely separated by a common wall, floor and/or ceiling to accommodate five (5) or more families living independently of each other.

N

Non-Residential Development – Development whose intended use is other than residential.

O

Open Space – Land and water areas intended to provide light and air, and which have been retained and designed, depending upon the specific situation, for environmental, scenic, conservation and/or active and passive recreational purposes.

Open Space, Active – Land and water areas specifically designed as an activity-based recreational area to include boating, water sports, sports fields, local and community parks having picnic, playground, recreational and support components, golf courses and pedestrian, hiking, bicycle and equestrian trails.

Open Space, Passive – Land and water areas that are either partially improved, undeveloped or in a natural state that are intended for scenic, environmental, conservation, and/or resource protection; and include such resource-based activities as nature study, nature trails, and any other activities requiring a natural condition that cannot easily be duplicated by human actions.

P

Parapet Wall – A low wall generally running around the perimeter of a flat roof building at the roofline.

Parking Bay – A paved parking area used for on-street parking on local residential streets that is placed on alternating sides of the street within a

## S

Screening – A technique of visually shielding, obscuring, and/or spatially separating a portion or all of a site from an adjacent property or right-of-way by the use of vegetation, fences, walls, berms or a combination thereof.

“Sense of Place” – The melding of architecture, landscape architecture, open space, streets, streetscapes, signage, lighting and natural site features into a complete and unique visual, social, and cultural place.

“Should” -- Used in the Guidelines Manual to express the City of Surprise’s desire and expectation as related to meeting or exceeding a particular guideline.

“Side-entry **front door**” – A plan that utilizes an entry (front door) that is recessed to a point that is equal to or greater than one-third (1/3) the distance from the front most portion of the street side/front yard facade to the rear or the home.

Sidewalk – The portion of a street between the curb lines or lateral lines of a roadway and the adjacent property lines that is improved and designed for or is ordinarily used for pedestrian travel.

“Significantly Recessed Garage” – The elevation of the garage containing the door and which faces the front-yard and street, must be recessed a minimum of twenty-feet (20’) from the forward most living space (not including a porch or courtyard).

Single-Family Residential Area – An area developed solely for the construction of one-family homes.

Site Plan – An overall development plan for one or more parcels of land depicting existing and proposed conditions of the parcel(s), including topography, vegetation, drainage, floodplains, floodways, washes, rock outcroppings, and sensitive land areas; landscaping, berms, buffers, screening devices and open space; pedestrian and bicycle paths; site ingress and egress; circulation, utility services; buildings and structures; signs; lighting; surrounding development; and any other information deemed reasonable and necessary that may be required for review and approval of the development by City Staff.

Site Specific Plan – A detailed plan prepared for a specific aspect or part of a larger site.

Special Design/Development Area – An area of the City with unique qualities and/or characteristics in which new development must follow special, specific and sensitive planning and design guidelines.

alignment, installation of barriers, and other physical measures such as speed humps, traffic circles, curb extensions and raised crosswalks to enhance street safety and livability and create a pedestrian-friendly environment.

## U

Urban Area – A fully developing, continuously built-up, land area that is a part of, or contiguous to, a greater urbanized area; and which contains a wide range of infrastructure and municipal services to support a combination of residential, commercial, industrial and support uses.

## V

“View Corridor” – The area or areas along a street, pedestrian path, hiking trail or other such openings that allow for a clear and unobstructed view of or frames, highlights or accentuates, a prominent building, object, site, structure, scene, or panorama, patterns or rhythms of buildings, objects, sites or structures.

“View-Type Fence” – A fence that is constructed in a manner that allows for a clear view of an area beyond the fence from any angle.

“Visually-Friendly” – An area or object within the urban environment that is visually interesting and pleasing to observe.

“Visitability” – Single-family housing designed in such a way that it can be lived in or visited by people who have trouble with steps or who use wheelchairs or walkers.

## W

Wall – A street façade that is characterized by the lack of transparency into or through which a pedestrian can see.