



**City of Surprise Planning and Zoning Commission
AGENDA**

**Tuesday, February 5, 2008 - 6 P.M.
Surprise City Hall**

12425 West Bell Road, Suite D100, Surprise, AZ

CALL TO ORDER

- A. Roll Call
- B. Pledge of Allegiance
- C. Election of Vice Chairman
- D. Approval of items on the **Consent** Agenda – all items with an asterisk (*) are considered to be routine matters and will be enacted by one motion and one roll call vote to the Planning and Zoning Commission. There will be no separate discussion on these items unless a Commissioner requests; in which event, the item will be removed from the consent agenda and considered in its normal sequence on the agenda.

ITEM NO.	ITEM DESCRIPTION	STAFF RECOMMENDATION
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CURRENT EVENTS REPORT

1	PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT REPORT	DISCUSSION
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CONSENT AGENDA:

2*	APPROVE PLANNING/ZONING COMMISSION MINUTES FOR JANUARY 15, 2008.	APPROVE SECRETARY: CAROL DAGER
3*	SP07-342 – CONSIDERATION AND ACTION – HAM, INC: REVIEW A SITE PLAN FOR HAM INC. AN AVIATION MACHINE BUSINESS LOCATED AT VARNEY AND 132 ND AVENUE WITHIN SKYWAY BUSINESS PARK. REQUEST IS SUBJECT TO STIPULATIONS A THROUGH H.	APPROVE PLANNER: ADAM COPELAND
4*	SP07-339 – CONSIDERATION AND ACTION – SURPRISE PROFESSIONAL VILLAGE: REVIEW A SITE PLAN FOR A COMMERCIAL OFFICE PROJECT LOCATED AT THE SOUTHWEST CORNER OF GRAND AVENUE AND YORKSHIRE DRIVE. REQUEST IS SUBJECT TO STIPULATIONS A THROUGH H.	APPROVE PLANNER: BART WINGARD
5*	SP07-251 – CONSIDERATION AND ACTION – CANYON PIPE AND SUPPLY: REVIEW A SITE PLAN FOR A COMMERCIAL OFFICE, SHOWROOM AND WAREHOUSE PROJECT LOCATED GENERALLY AT THE NORTHEAST CORNER OF PEORIA AVENUE AND MILGARD WAY. REQUEST IS SUBJECT TO STIPULATIONS A THROUGH H.	APPROVE PLANNER: BART WINGARD
6*	SP06-364 – CONSIDERATION AND ACTION – ARIZONA FEDERAL CREDIT UNION – SURPRISE BRANCH: REVIEW A SITE PLAN FOR ARIZONA FEDERAL CREDIT UNION LOCATED AT THE NORTHWEST CORNER OF GREENWAY AND REEMS ROADS. REQUEST IS SUBJECT TO STIPULATIONS A THROUGH I.	APPROVE PLANNER: DAVID NEAL

Surprise Planning & Zoning Commission

Jan Blair, Chair

Matthew Bieniek, Ken Chapman, John Hallin, Robert Rein, Steve Somers, Fred Watts

REGULAR AGENDA ITEM REQUIRING A PUBLIC HEARING:

- 7 **PP06-405 – CONSIDERATION AND ACTION – ASANTE PHASE 2 UNIT 14:**
REVIEW A PRELIMINARY PLAT FOR ASANTE PHASE 2 UNIT 14 PROPOSING
205 RESIDENTIAL LOTS. SITE IS LOCATED ON THE SOUTHWEST CORNER
OF TILLMAN AND WEST ASANTE BOULEVARDS. REQUEST IS SUBJECT TO
STIPULATIONS A THROUGH I.

**RECOMMEND
APPROVAL**

**PLANNER:
LANCE FERRELL**

OPEN CALL TO PUBLIC:

CALL TO THE PUBLIC

Note: During this time members of the public may address the Commission on any item not on the agenda. At the conclusion of the open call, Commissioners may respond to criticism, may ask staff to review the matter or may ask that the matter be put on a future agenda. No discussion or action shall take place on any item raised.

CURRENT EVENTS REPORT

CHAIRPERSON AND COMMISSIONERS

CONSIDERATION AND ACTION TO HOLD AN EXECUTIVE SESSION:

Pursuant to A.R.S. § 38-431.03(A)(3), the Planning and Zoning Commission may go into executive session with the City Attorney for legal advice on any item listed on the agenda.

ADJOURNMENT:

POSTED: JANUARY 29, 2008 TIME: 9 a.m.

Kathy S. Rice, Acting Director
Community Development

REQUEST TO SPEAK: Comments pertaining to the Planning and Zoning Commission business are welcome. If you wish to address the Planning and Zoning Commission, please complete a Public Comment Form and present it to the secretary before the call to order for this meeting.

SPECIAL NOTE: Individuals needing reasonable accommodations, such as large print materials and oral/ ASL interpreters, should contact the Disability Advocate at **623.222.3821** (Voice) or **623.222.3802** (TTY/VP) at least three (3) business days prior to the event so arrangements can be made.

Surprise Planning & Zoning Commission

Jan Blair, Chair

Matthew Bieniek, Ken Chapman, John Hallin, Robert Rein, Steve Somers, Fred Watts



City of Surprise Planning and Zoning Commission

WOKSHOP AGENDA

Tuesday, February 5, 2008 - 5 P.M.

Surprise City Hall
12425 West Bell Road, Suite D100
Surprise, AZ 85374

CALL TO ORDER

WORK SESSION TOPICS

- ◆ Text Amendment To Chapter 125

ADJOURNMENT

Kathy S. Rice, Acting Director
Community Development

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City of Surprise Planning and Zoning Commission

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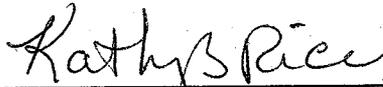
CHAIRPERSON AND COMMISSIONERS

CONSIDERATION AND ACTION TO HOLD AN EXECUTIVE SESSION:

Pursuant to A.R.S. § 38-431.03(A)(3), the Planning and Zoning Commission may go into executive session with the City Attorney for legal advice on any item listed on the agenda.

ADJOURNMENT:

POSTED: JANUARY 29, 2008 TIME: 9 a.m.



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Surprise Planning & Zoning Commission

Jan Blair, Chair

Matthew Bieniek, Ken Chapman, John Hallin, Robert Rein, Steve Somers, Fred Watts

CITY OF SURPRISE

PLANNING AND ZONING COMMISSION 12425 West Bell Road, Suite D-100 Surprise, Arizona 85374

January 15, 2008

REGULAR MEETING MINUTES

CALL TO ORDER:

Vice Chair Blair called the Planning and Zoning Commission Meeting to order at 6:00 p.m. at the Surprise City Hall, 12425 West Bell Road, Suite D100, Surprise, Arizona 85374, on Tuesday, January 15, 2008.

SWEARING-IN OF NEWLY APPOINTED COMMISSIONERS

Sherry Ann Aguilar, City Clerk, swore in the following commissioners: Matthew Bieniek, Ken Chapman, and Robert Rein.

ROLL CALL:

In attendance with Vice Chair Blair were Matthew Bieniek, Ken Chapman, John Hallin, Robert Rein, Steve Somers and Fred Watts.

PLEDGE OF ALLEGIANCE:

ELECTION OF CHAIRMAN

Commissioner Somers made a motion to nominate Vice Chair Blair as Chairman of the Planning and Zoning Commission. Commissioner Watts seconded the motion and closed the nominations. The motion to close the nominations passed with a voice vote of 7 ayes. The motion to nominate Vice Chair Blair as Chairman passed with a vote of 7 ayes.

CONSENT AGENDA:

All items listed with an asterisk (*) are considered to be routine by the Planning and Zoning Commission and were approved by one motion. There was no separate discussion of these items during this meeting.

Chairman Blair asked if the Commissioners would like to pull any items from the consent agenda.

Commissioner Somers made a motion to approve the **Consent Agenda**. Commissioner Hallin seconded the motion. The motion passed with a vote of 7 ayes.

- Approved Item 2*: **Planning and Zoning Commission Minutes for December 18, 2007.**

- Approved **Item 3***: **SP07-384 – Consideration and Action – Surprise Valley – Trader Joe’s and Shops**, Stipulations ‘a’ through ‘g.’
- Approved **Item 4***: **SPA07-316 – Consideration and Action – Parkway Christian Church**, Stipulations ‘a’ through ‘l.’
- Approved **Item 5***: **SP07-194 – Consideration and Action – FirstBank Holding Company**, Stipulations ‘a’ through ‘h.’

OLD BUSINESS: REGULAR AGENDA ITEM REQUIRING A PUBLIC HEARING

Item 6: PADA07-155 – Consideration and Action – Sycamore Farms Parcel 12

Planner Bart Wingard announced that the project has been withdrawn by the applicant.

REGULAR AGENDA ITEMS REQUIRING A PUBLIC HEARING

Item 7: CUP07-328 – Consideration and Action – Montessori of Surprise

Planner Lance Ferrell presented the project to the Commission. Staff recommended approval of **CUP07-328, Montessori of Surprise**, subject to stipulations ‘a’ through ‘f.’

In response to Commissioner Rein, **Jamie Evans, representing applicant**, indicated that there will be staggered drop-off and pick-up times at the school to assist with alleviating traffic problems. Only seven parents would be picking up and dropping off children at any given time. Approximately 24 children will be outside in the play area at any given time.

Chairman Blair opened the meeting for public comment.

Jim Olmsted, Surprise resident, voiced the following concerns:

- Handicap accommodations for children with disabilities.
- Need to ensure this is done correctly, because so many are not.

Roy Bade, developer, stated that they will meet all the handicap code requirements throughout the interior and exterior of the facility.

Mr. Olmsted provided additional information, specifically noting that there are varying degrees of accommodations needed for the children with disabilities.

Hearing no further comments from the public, Chairman Blair closed the public hearing.

Commissioner Watts made a motion to **approve CUP07-328, Montessori of Surprise**, subject to stipulations ‘a’ through ‘f.’ Commissioner Somers seconded the motion. The motion passed with a vote of 7 ayes.

Item 8: CUP07-210 – Consideration and Action – Montessori Children’s Garden

Planner Adam Copeland presented the project to the Commission. Staff recommended approval of **CUP07-210, Montessori Children’s Garden**, subject to stipulations ‘a’ through ‘i.’ Planner Copeland recommended adding stipulation ‘j’ – Gates shall be added to both entrances per Fire Department standards. The gates will be closed during non-business hours.

Cecilia Smith, applicant, provided additional information about the project, specifically addressing the email sent to the commissioners from an adjacent property owner concerning the parking lot facing their property. She pointed out that the area will be fenced and landscaped.

In response to Commissioner Rein, Ms. Smith provided further information about phase two of the project which would include expanding the garden area. However, there are no current plans to expand the building.

In response to Commissioner Hallin, Planner Copeland indicated that the maximum occupancy for this building is 36 students. There was some discussion regarding street improvements throughout the area. He mentioned that a community outreach meeting was held with approximately eight residents attending with no opposition to the project.

In response to Commissioner Watts, Planner Copeland explained the zoning of the various surrounding projects. He also pointed out that the Commission would be required to review and approve the addition of phase two, as well as another outreach meeting would need to be held.

In response to Commissioner Somers, Planner Copeland noted that horses are allowed on the adjacent properties.

In response to Chairman Blair, Planner Copeland stated that he would research the number of Montessori Schools in Surprise and provide that information to the Commissioners.

Chairman Blair opened the meeting for public comment.

Jeanmarie Elkins, Surprise resident, spoke in favor of the school:

- There are very few cultural opportunities for preschool children in Surprise.
- This school is exceptional.

Jim Olmsted, Surprise resident, voiced his concerns as follows:

- Concerns are the same as with the previous school.
- Specifically addressing the needs of the handicapped children.
- It is very important that they have the same capabilities as the able-bodied children.
- Recommend that a high fence be erected around the facility.

Hearing no further comments from the public, Chairman Blair closed the public hearing.

In response to Chairman Blair, Assistant City Manager Rice stated that all projects are reviewed and approved by the Building Safety plans examiners following the guidelines set forth in the international code.

Commissioner Rein made a motion to **approve CUP07-210, Montessori Children's Garden**, subject to stipulations 'a' through 'j' as amended. Commissioner Watts seconded the motion. The motion passed with a vote of 5 ayes and 2 nays (Blair, Somers).

Item 9: TA07-368 – Consideration and Action – Text Amendment to Chapter 125

Assistant City Manager Rice asked that this project be continued to March 18, 2008 to allow for staff to conduct a workshop with the Planning and Zoning Commission

Commissioner Watts made a motion to **continue TA07-368, Text Amendment to Chapter 125** to March 18, 2008 and hold a workshop on February 5, 2008. Commissioner Somers seconded the motion. The motion passed with a vote of 7 ayes.

Chairman Blair asked that Commissioners prepare questions to be presented at the workshop.

PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT REPORT:

Assistant City Manager Rice announced that a Planning and Zoning Commission Workshop will be held on February 19, 2008 to discuss the General Plan.

At the next Commission meeting, she will provide an update of major projects in the city.

OPEN CALL TO PUBLIC:

Chairman Blair called to the public to discuss any issues not noted on the agenda.

Jim Olmsted, Vice Chair, Disabilities Commission, invited members of the Commission meet with the disabilities advocate, Nanette Bowles.

Jeanmarie Elkins, Surprise resident, mentioned that she has a wheelchair, noting that she cannot use it in Sun City Grand because all the sidewalks slant. Have lost control of the wheelchair and found herself in the road on occasion.

Ms. Elkins also talked briefly about design – buildings should be a little more creative. Too many strip malls with no imagination.

Shawn Salazar, Surprise resident, voiced concerns regarding Sycamore Farms:

- Road size; fire truck access. Encourage staff to review this situation.
- Community park.
- Replanning of the PAD.

Dion Garcia, Surprise resident, voiced concerns regarding Sycamore Farms:

- He was told there would be a park in his area.

Hearing no comments from the public, Chairman Blair closed the call to the public.

CURRENT EVENTS REPORT:

Chairman Blair welcomed the new commissioners.

CONSIDERATION AND ACTION TO HOLD AN EXECUTIVE SESSION:

Pursuant to A.R.S. § 38-431.03(A)(3), the Planning and Zoning Commission may go into executive session with the City Attorney for legal advice on any item listed on the agenda.

No request was made to call for an executive session.

ADJOURNMENT:

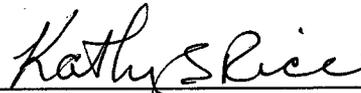
Hearing no further business, Chairman Blair adjourned the regular Planning and Zoning Commission meeting, Tuesday, January 15, 2008, at 6:49 p.m.

PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT REPORT:

STAFF PRESENT:

Assistant City Attorney Jim Gruber, Fire Marshall Doug Helbig, Assistant Fire Chief Clint Mills, City Planner Adam Copeland, City Planner Lance Ferrell, City Planner Bart Wingard, City Planner Dennis Dorch, Planning & Development Services Manager Berrin Nejad, and Planning and Zoning Commission Secretary Carol Dager.

COUNCIL MEMBERS PRESENT: None



Kathy S. Rice, Acting Director
Community Development Department

Jan Blair, Chairman
Planning and Zoning Commission

REPORT TO THE PLANNING AND ZONING COMMISSION

CASE NUMBER: SP07-342 (Ham Inc.)
STIPULATIONS: a through h
PREPARED BY: Adam Copeland, Planner @ 623.222.3137

Application Date: September 25, 2007
Planning and Zoning Commission: February 5, 2008

APPLICANT: Jeff Dietz
 Dietz Design LLC
 6650 N. 47th Ave #1
 Glendale, AZ 85301
 623-640-0968

OWNER: Martin Rankin
 Ham Inc.
 15508 W. Bell Road #101
 Surprise, AZ 85374
 623-810-7522

REQUEST: Approval for a site plan for Ham Inc. an aviation machine business.

SITE LOCATION: Varney and 132nd Avenue within Skyway Business Park.

SITE SIZE: Approximately 1.5 gross acres.

<u>RECOMMENDATION:</u>	Staff recommends that this request, a site plan for Ham Inc. (SP07-342), be approved subject to stipulations a through h .
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PROJECT ANALYSIS:**PROPOSAL:**

The applicant is proposing to construct a 15,750 S.F. building within Skyway Business Park for manufacturing of aviation parts. The property is currently zoned Planned Area Development and is under the Luke Noise Contours. The subject use complies with the Planned Area Development and General Plan.

ACCESS:

Access to the site will be primarily from 132nd Avenue to the west and ultimately from Dysart Road to the east and Peoria Avenue to the south. A secondary internal access point will be available to the south and will be coordinated with the adjacent project when it is submitted for review.

ARCHITECTURE:

The design of the HAM Inc. Warehouse building meets the minimal requirements set forth in the design guidelines. The proposed warehouse building will be adjacent to a future APS substation and will have a minimal design impact on the Skyway Industrial Park. Building materials will consist of metal and split-face cmu along the main entrance. Glazing is minimized due to the functional nature of the building. Building colors follow a monochromatic scheme which helps to reduce the profile of the pitched roof and equipment screens.

LANDSCAPE:

The landscape is consistent with the theme along 132nd Avenue with curb-separated sidewalks with trees on both sides. Internal vegetation is sized and spaced consistent with the Planning and Design Guidelines.

CONTEXT:

Surrounding the subject site is currently vacant land zoned for industrial uses. Adjacent and north of the subject site an APS substation will be placed.

DEPARTMENTAL REVIEW:

All departments involved in the subject review of the site plan are recommending the project for approval subject to all stipulations.

EXISTING UTILITIES AND SERVICES STATUS:

WATER	City of Surprise
SEWER	City of Surprise
FIRE PROTECTION	The closest fire station is located on the NE corner of Bola Drive and West Village Drive (3 ½ miles northeast).
POLICE PROTECTION:	The closest police station is located at 14250 West Statler Plaza (5 miles northwest).

INFRASTRUCTURE

All infrastructure will be developed in accordance with the approved development agreement and Planned Area Development for Skyway Business Park.

STANDARD STIPULATIONS:

- a) Prior to delivery of any combustible material to the site, fire department access and fire protection systems shall be completely operational in accordance with the approved plans by the Fire Chief and the City Engineer;
- b) Major changes to this Site Plan with regards to use and intensity must be processed as a revised application with approval by the Planning and Zoning Commission. Minor changes may be administratively approved by the Community Development Director, Fire Marshal, City Engineer, and Water Services Director;
- c) The applicant shall include all approved stipulations related to the project on the title sheet of construction plans prior to plan check submittal;
- d) Applicant or property owner must provide the City with approved earth moving permit by Maricopa County Environmental Services Department prior to release of any permits;
- e) Approval of this site plan is not to be construed as an approval of any violation of the current adopted Surprise Municipal Code at the time of submission;
- f) All roof mounted and ground mounted mechanical equipment shall be screened from public view and will be subject to the approval of the Community Development Director;
- g) At the time of building plan submission the infrastructure shown on the site plan must be legible;
- h) The number of fire hydrants will need to be approved by the fire department prior to submission of any building and civil plans. Once the number of hydrants is approved, the applicant shall submit a revised site plan to the Community Development Department reflecting the correct number of fire hydrants.

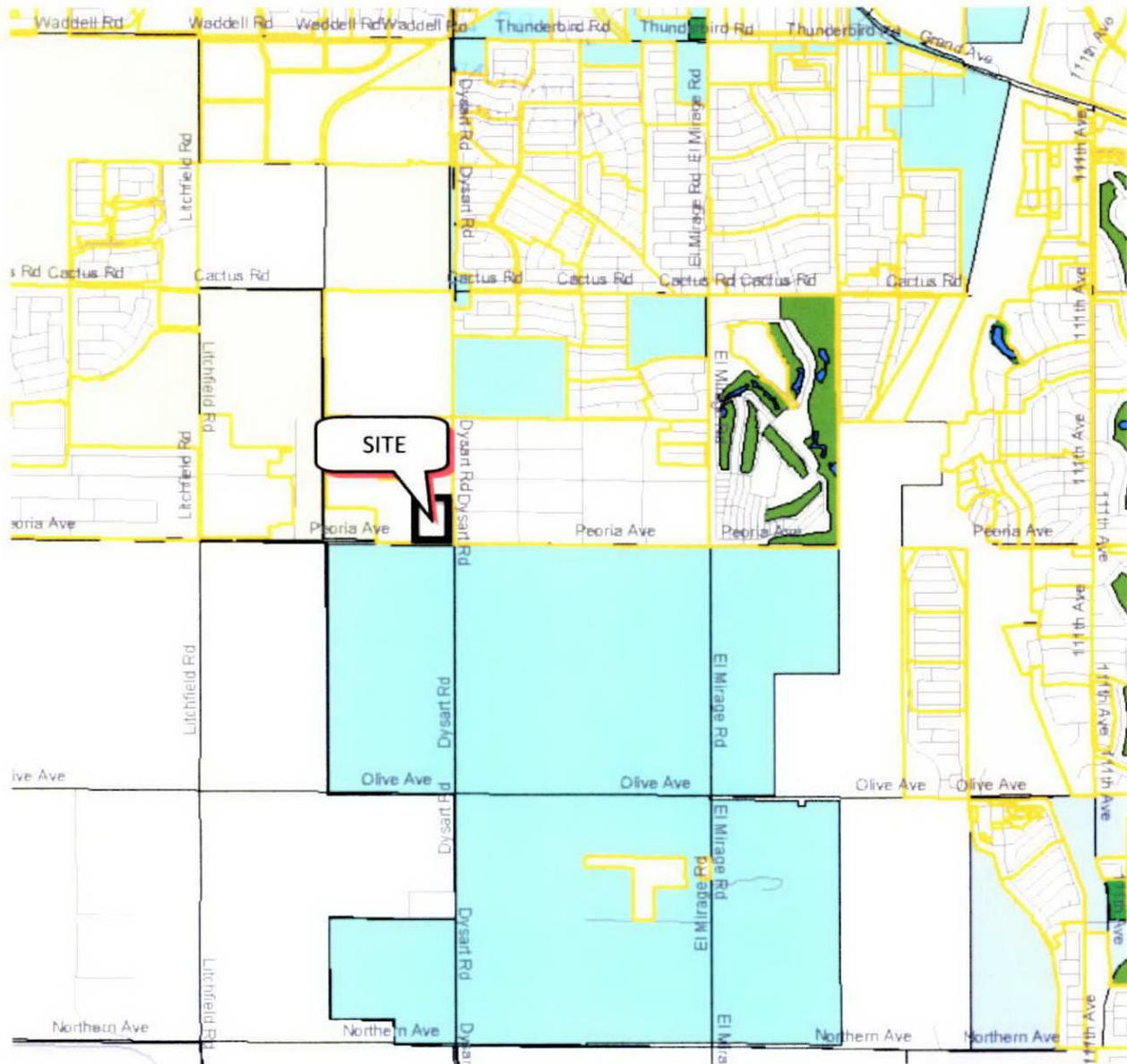
Vicinity Map

Ham Inc.



- ⑩ Marley Park Square
- ⑪ Surprise Point
- ⑫ 84 Lumber
- ⑬ Varamonte Retail Center
- ⑭ Litchfield Commerce Park
- ⑮ Desert Cove Commercial Park
- ⑯ Skyway Business Park II
- ⑰ Milgard Manufacturing
- ⑱ Skyway Business Park I
- ⑲ Surprise Commerce II
- ⑳ Summit Business Park
- ㉑ Valentine Reality Commercial Industrial Park





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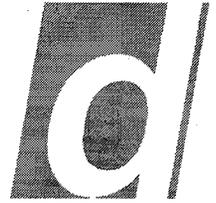
JAN 07 2008

COMMUNITY
DEVELOPMENT

RECEIVED

JAN 07 2008

COMMUNITY
DEVELOPMENT



Dietz Design
a Limited Liability Company
Architecture - Planning

Ham Consulting, Inc.

The Skyway Business Park

Lot 20

SWC. 132ND Avenue and Varney Road

PROJECT DESCRIPTIVE NARRATIVE

OVERVIEW

Ham Consulting, Inc. will consist of approximately 15,750 s.f. square feet of manufacturing industrial space with 2,450 s.f. of covered rear patio. This project is to be situated within the "Skyway Business Park", and is located just south of the new Arizona Public Service "Sub-Station" on the southwest corner of 132nd Avenue and Varney Road, in Surprise, Arizona.

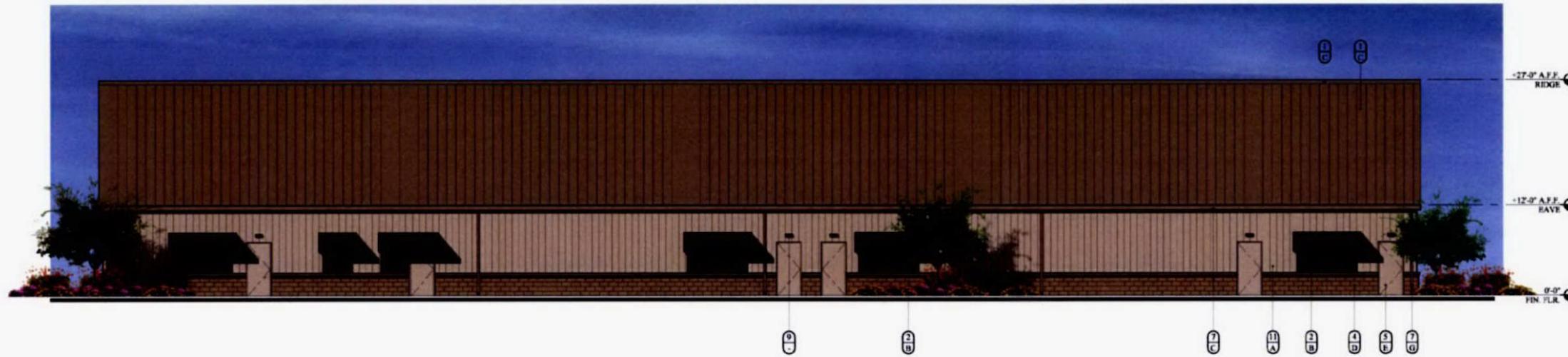
The 1.5 acre site is currently zoned for Industrial per Case No. PAD05-130, for the City of Surprise.

The projects design elements to consist of a Metal Roof (Paint: Spectralite: Desert Sand #SPD0413X), Siding (Spectralite paint: Light Stone #SPD0403x), Stucco wall finish on the west side of building: (Paint: Dunn Edwards: Desert Suede #DE6206), Metal Awnings: (Paint: Dunn Edwards #Crashing Waves #DE5810) and Split-Face Masonry Wainscot: on the west side of building (Superlite Block: Tierra Brown #62.11.3). The rear covered canopy to be (Painted: Spectralite: Desert Sand #SPD0413X),

All mechanical units to be roof mounted and individually screened with a painted metal screen to match adjacent metal roofing. All mechanical units to be placed on east side of roof structure and therefore not visible from 132nd avenue.

The development of the site will occur in one phase.

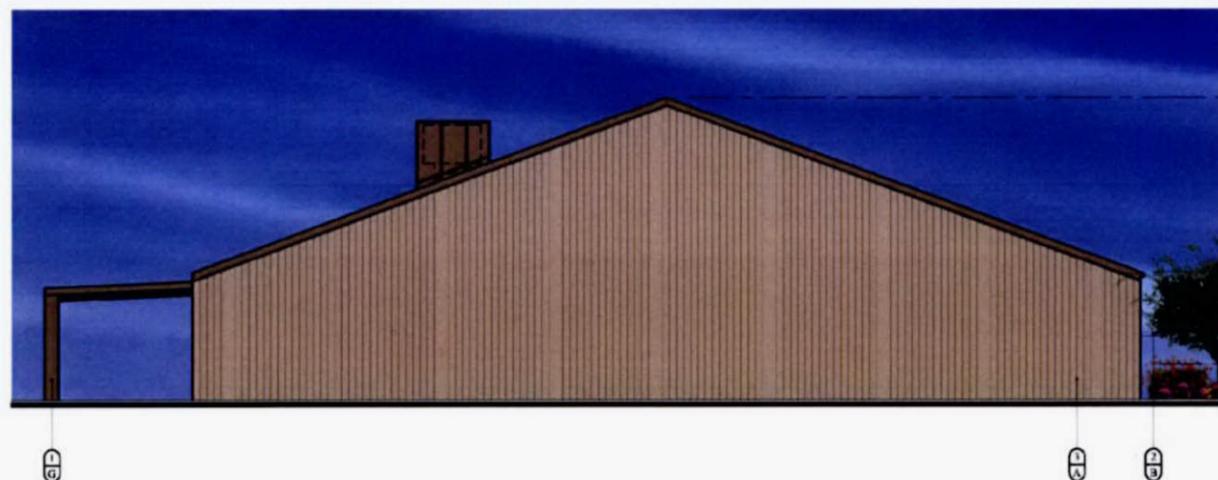
The site use has been preliminarily approved by the City of Surprise, Case No. PAD05-130. Surrounding the proposed industrial development of the "Skyway Business Park" an industrial park comprised of new industrial/manufacturing/office buildings.



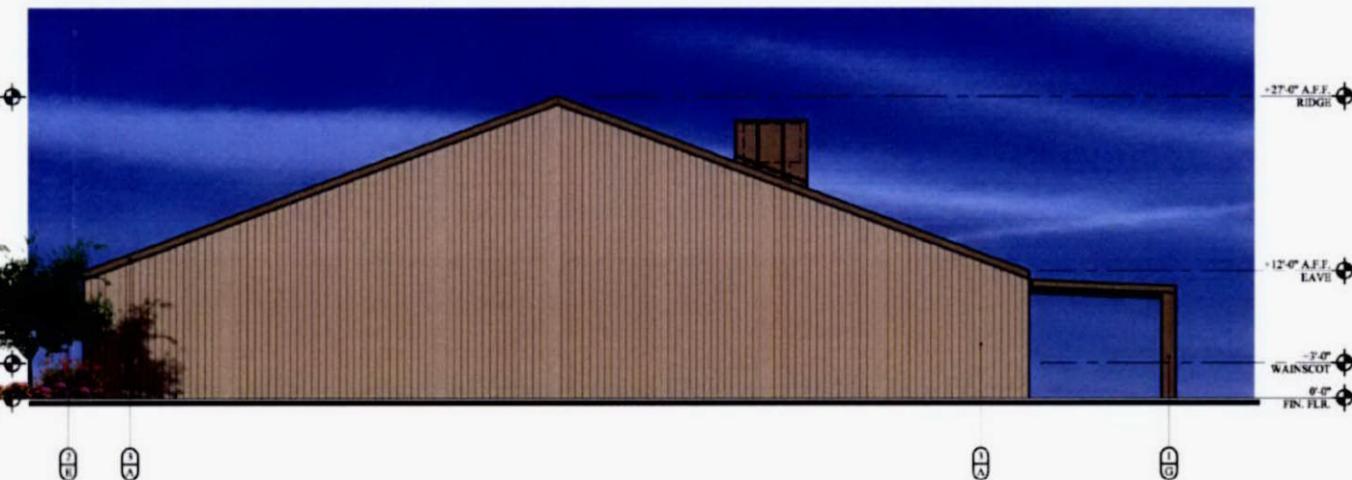
WEST ELEVATION (front/street side)
SCALE: 1/8" = 1'-0"



EAST ELEVATION (rear)
SCALE: 1/8" = 1'-0"



NORTH ELEVATION (side)
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION (side)
SCALE: 1/8" = 1'-0"

KEY NOTES

1. STANDING SEAM METAL ROOFING
2. CUSTOM FABRICATED METAL AWNING
3. METAL SIDING
4. MASONRY 8"X8"X16" SPLIT-FACE CMU WAINSCOT
5. HOLLOW METAL DOOR - REFER TO FINISH SCHEDULE
6. HOLLOW METAL WINDOW FRAMES
7. METAL GUTTER SYSTEM/DOWNSPOUT/EXPOSED STEEL
8. OVERHEAD COILING DOOR
9. BUILDING LIGHTING
10. SERVICE ENTRANCE SECTION
11. STUCCO FINISH

FINISH SCHEDULE

- A. SPECTRALITE PAINT 200 WALL CLADDING, FIELD COLOR: LIGHT STONE #SPD6401X
- B. NOT USED
- C. SPECTRALITE PAINT 2000 ROOFING/RAVE, FIELD COLOR: UNSHIRT SAND #SPD6411X
- D. INTEGRALLY COLORED CMU BLOCK: SUPERLITE BLOCK: TERRA BROWN #2.11.3
- E. PAINT - DUNN EDWARDS: DESERT SUEDE #DE6206
- F. PAINT - DUNN EDWARDS: CRASHING WAVES #DE8110
- G. PAINT - DUNN EDWARDS: DOWNSPOUT/STEEL CANOPY WOODEN PEG #DE6215

RECEIVED
JAN 07 2008
COMMUNITY DEVELOPMENT

Dietz Design
Architecture - Planning
6650 N. 47th Avenue, Ste. 1
Gardnerville, Arizona 85301
(623) 840-0966
fax (623) 847-3053
www.dietzdesign.com

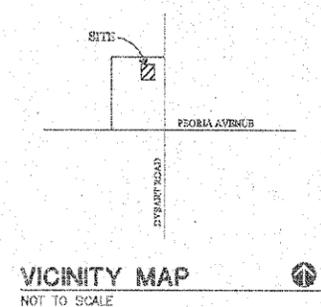
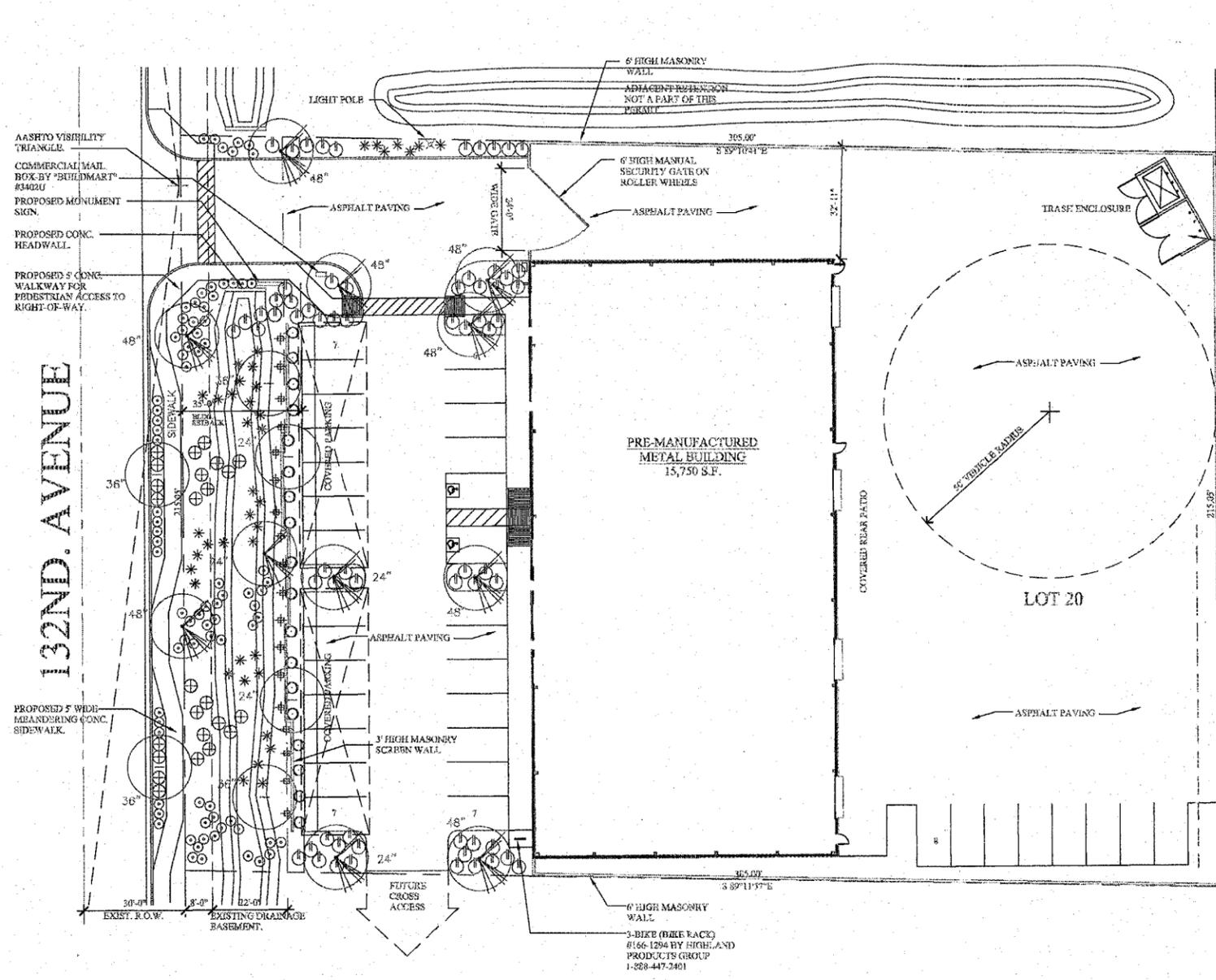
A New Building For:
Ham Consulting, Inc.
Lot 20, Skyway Business Park
Surprise, Arizona 85374

REVISIONS

NO.	DESCRIPTION	DATE

JOB NUMBER: 0725
DATE: 09/13/07
DRAWN BY: JB
CHECKED BY: JD





LANDSCAPE LEGEND

SYMBOL	BOTANICAL/Common NAME	SIZE	REMARKS	QUANTITY
○	Quercus virginiana Live Oak	24" Box 36" Box 48" Box		3 0 8
○	Dalbergia sissoo Indian Rosewood	24" Box 36" Box 48" Box		2 4 0
⊕	Ruellia peninsularis Bajo Ruellia	5 Gallon		
⊕	Lantana 'New Gold' New Gold Lantana	1 Gallon		
⊕	Bougainvillea 'Barbara Karst' Bougainvillea Vine	15 Gallon		
*	Heperaloe parviflora Red Yucca	5 Gallon		
⊕	Leucophyllum langmaniae 'Lynn's Legacy' 'Lynn's Legacy' Texas Sage	5 Gallon		
○	Portulacaria afra Elephant Bush	5 Gallon		
	Decomposed Granite Madison Gold	3/4" Screened 2" Min. depth.	All landscape areas.	

Note: 48" Box trees to be 3" min. cal.

LANDSCAPE CALCULATIONS

100% OF PROPOSED PLANT MATERIAL ARE FOUND ON THE ARIZONA DEPT. OF WATER RESOURCES LOW WATER USE LIST.

NFT SITE AREA	(65,573 S.F.) 1.51 AC.
BUILDING AREA	15,750 S.F. + 2,450 COVERED PATIO
PARKING SPACES REQUIRED	35
PARKING SPACES PROPOSED	35
LANDSCAPE AREA REQUIRED	(10%) 6,557 S.F.
LANDSCAPE AREA PROPOSED	(28.8%) 18,885 S.F.

LANDSCAPE PLAN

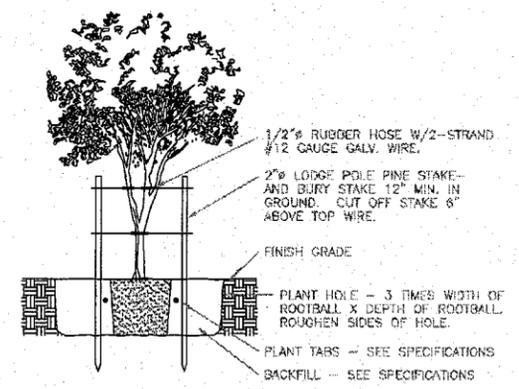


CITY OF SURPRISE NOTES

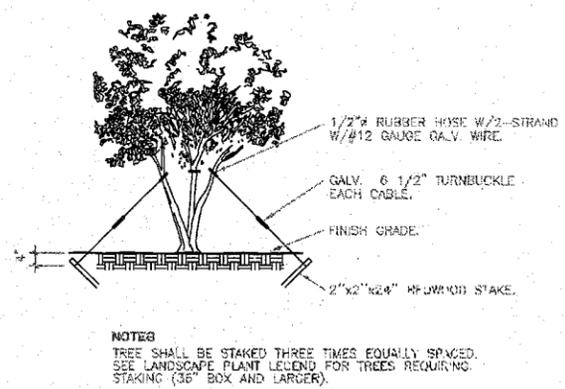
- All changes to be approved by the City of Surprise planning department.
- Signs require a separate permit.
- All utility boxes and structures are to be screened from view.
- Plant material is not to be planted within 3 feet from any fire hydrant or fire department connection.
- Trees in paved areas are to have deep root barriers. Provide detail/catalog cut sheet.
- All plant material sizes are to be consistent with ANA standards.
- All plant material located within visibility triangles are to be maintained no higher than 2 feet and hang no lower than 7 feet from ground elevation.

LANDSCAPE NOTES

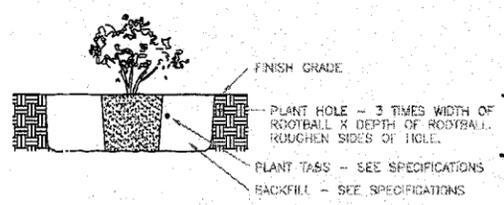
- Contractor shall verify all site conditions prior to starting work.
- Contractor shall confirm location of all underground utilities prior to any excavation.
- Planting pit backfill for all trees and shrubs shall be as follows:
Two parts excavated soil thoroughly mixed with one part nitrified wood mulch. Each tree shall receive one pound of gypsum and four ounces of soil sulfur. Each shrub shall receive one-half pound of gypsum and two ounces of soil sulfur.
- All grading to plus or minus 1/10 of one foot by general contractor. Finish grade and fine raking by landscape contractor.
- Landscape architect or his representative reserves the right to refuse any plant material he deems unacceptable.
- Provide approx. 2'x3' area of native stone below all rain scuppers.



3 TREE PLANTING/STAKING



2 TREE CABLE-STAKING



1 SHRUB/GROUND COVER

RECEIVED
JAN 07 2008
COMMUNITY DEVELOPMENT

CALL THE NUMBER DAILY BEFORE YOU GO
802.283.1100
1.800.STAKE.IT
(OUTSIDE MARICOPA COUNTY)

LANDSCAPE ARCHITECT
DOUGLAS S. DIGGINS
 8628 E. LAFAYETTE BOULEVARD
 SCOTTSDALE, ARIZONA 85251
 480.990.0582 • FAX 990.8874

REVISIONS
 1
 2
 3

CLIENT HAM CONSULTING, INC.
PROJECT HAM CONSULTING, INC.
ADDRESS LOT 20, SKYWAY BUSINESS PARK
 SURPRISE, ARIZONA 85374

TITLE LANDSCAPE PLAN
SCALE 1"=20'-0"
JOB 0777
DATE 09-17-07

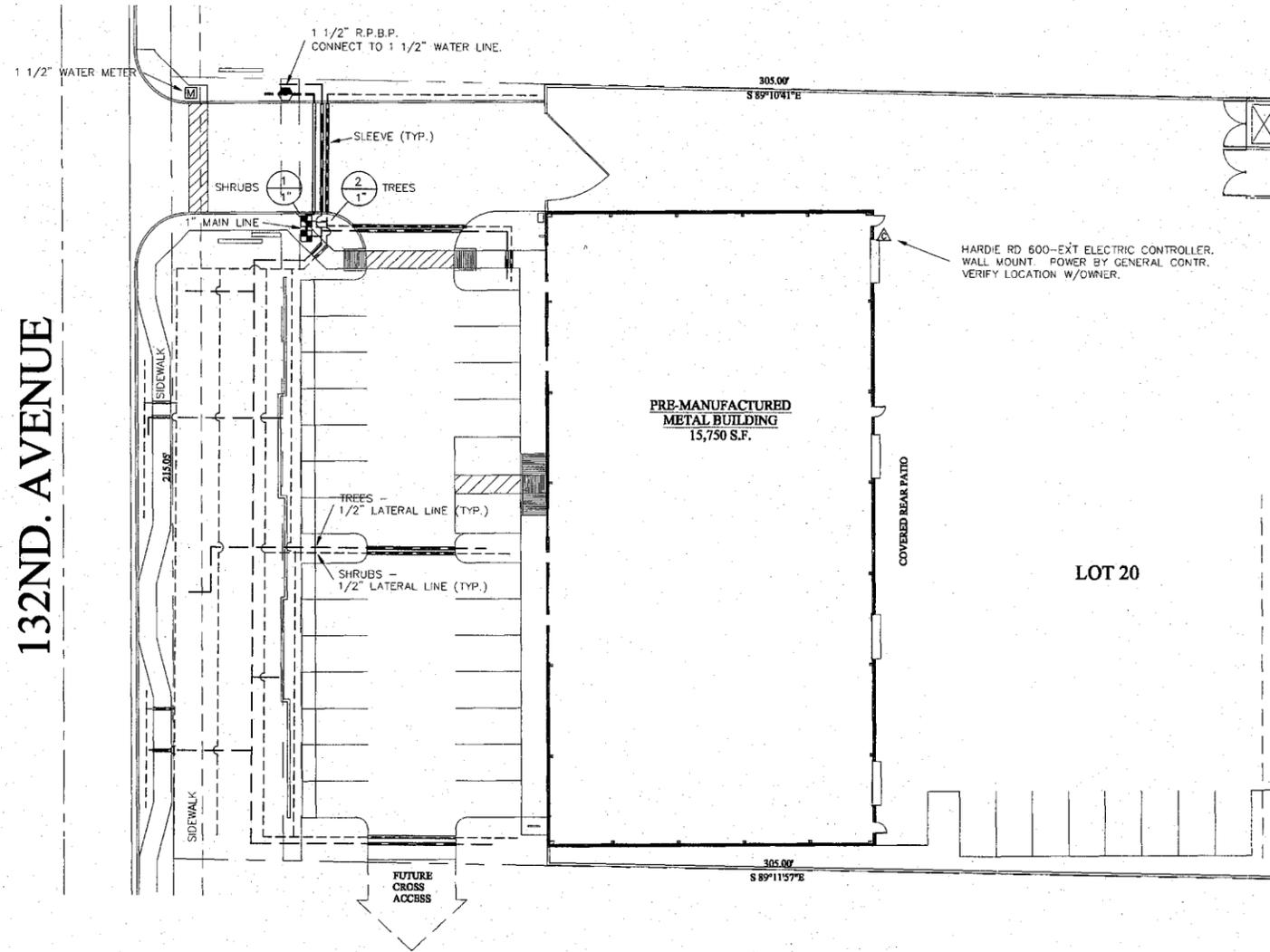
LANDSCAPE ARCHITECT
DOUGLAS S. DIGGINS
 06-17-07
 ARIZONA

REVISIONS
 1
 2
 3

SCALE 1"=20'-0"
JOB 0777
DATE 09-17-07

OF 3

132ND. AVENUE



IRRIGATION PLAN



IRRIGATION LEGEND

EMITTERS			
MANUFACTURER	PRO. NO.	NAME	REMARKS
BOWSMITH	SL210	EMITTER	1.0 GPH
BOWSMITH	SL220	EMITTER	2.0 GPH (4 PER TREE)
BOWSMITH	ML10	MULTI-EMITTER	6.0 GPH

EQUIPMENT			
FEBCO	825Y	REDUCED BACKFLOW PREVENTION ASSEMBLY	
HARDIE	RD 600	ELECTRIC CONTROLLER	

EMITTER EQUIPMENT			
HARDIE	700 SERIES	ELECTRIC VALVE	
BOWSMITH	S SERIES	EMITTER	
RAINBIRD	RBV-100	Y-FILTER	
SENNIGER	30 PSI	PRESSURE REGULATOR	
PEPCO	600 NFD-20	FLUSH VALVE IN 10" RND. VALVE BOX AT ENDS OF LATERAL RUNS.	

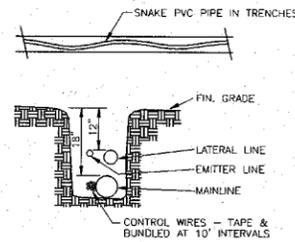
PIPE SCHEDULE (GPM)			
1/2" = 0-5	1 1/4" = 16-25	0 - 29 GPM:	1"
3/4" = 6-10	1 1/2" = 26-35	30 - 69 GPM:	1 1/2"
1" = 11-15	2" = 36-60		

PIPING	
-----	MAINLINE: CLASS 200 PVC
-----	SLEEVES: SCHEDULE 40 PVC
-----	LATERAL LINE: (SHRUBS) CLASS 200 PVC
-----	LATERAL LINE: (TREES) CLASS 200 PVC

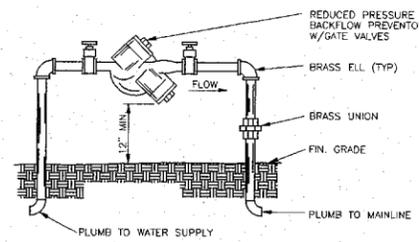
KEY	
1	CONTROLLER STATION NUMBER
1"	VALVE SIZE

NOTES

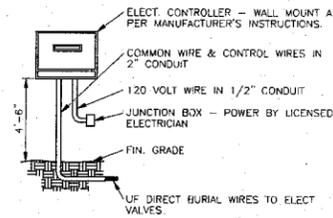
- CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS, UTILITIES AND SERVICES PRIOR TO TRENCHING.
- IRRIGATION SYSTEM IS DESIGNED FOR 60 PSI. CONTRACTOR SHALL VERIFY FIELD WATER PRESSURE PRIOR TO STARTING WORK. NOTIFY THE LANDSCAPE ARCHITECT SHOULD A DISCREPANCY EXIST BETWEEN DESIGN PRESSURE AND FIELD PRESSURE.
- PLANS AREA DIAGRAMMATIC AND APPROXIMATE. ALL VALVES SHALL BE LOCATED IN PLANTING AREAS AND ALL SLEEVING SHALL BE INSTALLED PRIOR TO PAVING WORK. NO TEES, ELLS OR OTHER TURNS IN PIPING SHALL BE LOCATED UNDER PAVING EXCEPT WHERE SHOWN ON DRAWINGS.
- ALL ELECTRIC VALVES SHALL BE CONNECTED TO ELECTRIC CONTROLLER WITH 14 GAUGE PILOT WIRE AND 14 GAUGE COMMON WIRE-TYPE U.F., COPPER, U.L. DIRECT BURIAL SOLID STRAND.
- ALL ELECTRIC CONTROLLERS, RISERS, BACKFLOW PREVENTERS AND HOSE BIBS SHALL BE SET PLUMB. ALL SPRINKLER HEAD RISERS AND VALVES WITH STEMS SHALL BE SET PERPENDICULAR TO FINISH GRADE.
- USE COMMON TRENCHES WHERE POSSIBLE.
- SET VACUUM BREAKER 12" ABOVE HIGHEST HEAD.
- ADJUST SPRAY HEADS FOR HEAD TO HEAD COVERAGE.
- PLACE ALL VALVES IN APPROVED VALVE BOXES.
- ALL EMITTERS, BUBBLERS, SHRUB AND LAWN HEADS SHALL BE ON FLEX-RISERS.
- LATERAL PIPING SHALL BE 12" MIN. DEPTH; MAINLINE SHALL BE 18" MIN. DEPTH.
- ALL SLEEVES SHALL BE SCHEDULE 40 PVC PIPE 2.5 TIMES LARGER THAN THE PIPE BEING HOUSED.
- ALL LATERALS SHALL BE PVC WITH A MAXIMUM OF 5' OF POLY TUBING OFF OF PVC. NO POLY LATERALS WILL BE ACCEPTED.



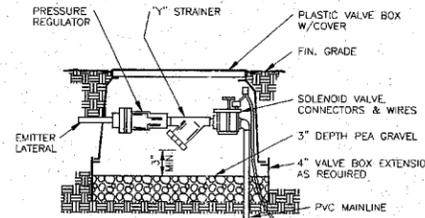
5 IRRIGATION TRENCH



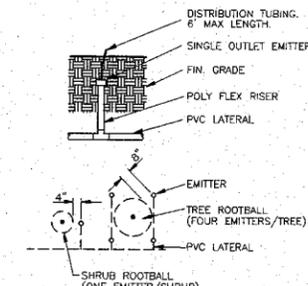
4 REDUCED PRESSURE BACKFLOW PREVENTER



3 ELECTRIC CONTROLLER



2 EMITTER VALVE ASSEMBLY



1 EMITTER

L A N D S C A P E A R C H I T E C T U R E
 CLIENT: HAM CONSULTING, INC.
 PROJECT: HAM CONSULTING, INC.
 ADDRESS: LOT 20, SKYWAY BUSINESS PARK
 SURPRISE, ARIZONA 85374
 TITLE: IRRIGATION PLAN
 SCALE: 1"=20'-0"
 JOB: 0717
 DATE: 09-17-07
 DOUGLAS S. DIGGINS
 LANDSCAPE ARCHITECT
 8839 E. LAFAYETTE BOULEVARD
 SCOTTSDALE, ARIZONA 85251
 480.990.0582 * FAX.990.8674

IRRIGATION

PART 1 - GENERAL

Work Specified Herein

All labor, materials, equipment and services necessary to furnish and install a complete landscape irrigation system and related items as indicated or specified.

Substitutions

No substitutions will be permitted without written permission of the Landscape Architect.

Quality Assurance

All work shall conform to all applicable codes.

Submittals

Prepare "As-Built" Drawings on sheets which show deviations from the Bid Documents made during construction affecting more line pipe, controller locations, remote control valves, quick coupling valves and all sprinkler heads.

Provide the owner with the following, in addition to what is shown on the drawings:

- Written operation instructions.
- Project drawings of the system.
- Schedule showing the length of time each valve is to be open.
- 2 Extra sprinkler heads of each size and type.
- Maintenance instructions on all equipment.
- 2 Valve keys for manual valves.
- Provide written guarantee warranting the entire system for one year.

A permanent identification of valve stations and areas irrigated on an 8 1/2" x 11" chart to be placed on the inside door of the appropriate controller. The chart shall be plasticized and sealed for permanency. Xerox reduction of print sealed in plastic will be acceptable.

Product Delivery, Storage and Handling

Store all materials off the ground and under cover.

Job Conditions

The work consists of installing a complete automatic underground water system as shown and as specified, including the furnishing of all labor, equipment, supplies and materials, and in performing all operations in connection with the construction of the watering system.

The system shall be a complete automatic operation system giving 100% coverage to all plant material.

Irrigation system is designed for PSI shown in plans; Contractor shall verify water pressure in field prior to construction. Should a discrepancy exist between design pressure and the field pressure, the Landscape Architect shall be notified immediately.

Coordinate all work with other trades so that conflicts will not exist nor delay the work in any way.

Pre-Construction Conference

Schedule a pre-construction conference with the Landscape Architect at least seven (7) days before beginning work under this section. Purpose of this conference is to review any questions the Contractor may have regarding the work, administrative procedures during construction and project work schedule.

Inspection of Conditions

Examine related work and surfaces before starting work. Report to the Landscape Architect conditions which will prevent the proper progress of this work.

Codes, Rules and Safety Orders

All work and materials to be in full accordance with latest rules and regulations of safety orders of division of industrial safety, The Uniform Plumbing Code published by the Western Plumbing Officials' Association, and other applicable laws or regulations, including the City plumbing code. Nothing in these specifications is to be construed to permit work not conforming to these codes.

Permits and Fees

Obtain all permits and pay required fees to any governmental agency having jurisdiction over the work. Arrange inspections required by local agencies and ordinances during the course of construction as required.

Protection of Existing Conditions

Contractor shall occasion himself with all site conditions. Should utilities or other work not shown on the plans be found during excavations, Contractor shall promptly notify the Landscape Architect for instruction as to further action.

Submittals

The Landscape Architect reserves the right to take and analyze samples of materials for conformity to specifications of any line. Contractor shall furnish samples upon request by the Landscape Architect. Rejected materials shall be immediately removed from the site and replaced at the Contractor's expense.

Inspections and Tests

Submit request for inspections to the Landscape Architect at least 48 hours prior to anticipated inspection. Inspection of completed installation will be made by the Landscape Architect prior to backfilling of trenches and will be made during hydrostatic testing. Make hydrostatic tests when welded PVC joints have cured at least 24 hours.

All piping on the non-pressure side of control valves shall pass a visual operation inspection before backfilling. Leaks resulting from tests shall be repaired and tests repeated until system passes tests.

Products

Materials throughout the system shall be as shown on the plans and shall be new and in perfect condition. No deviations from the specifications shall be allowed. The decision of the Landscape Architect shall be final in the determination of the quality of materials and equipment.

Product Handling

Protect work and materials from damage during construction and storage. Protect Polyvinyl chloride (PVC) pipe and related fittings from direct sunlight. Bags on which pipe is stored must be the full length of pipe. Do not use any pipe or fitting that has been damaged or dented.

Final Acceptance

Work under this section will be accepted by the Landscape Architect upon satisfactory completion of all work. Upon final acceptance, Owner shall assume responsibility for maintenance of the work. Said assumption does not relieve Contractor of obligations under warranty.

PART 2 - PRODUCTS

Materials

All similar units of irrigation equipment shall be from the same manufacturer, with the exception of PVC pipe. Materials throughout the system shall be shown on the drawings and shall be new and in perfect condition. No deviations from the specifications shall be allowed.

Plastic Pipe

Plastic pipe furnished shall be polyvinyl chloride plastic pipe conforming to the requirements of ASTM D2241 for SDR-PR pipe PVC 1120 or PVC 1220. Plastic pipe shall be SDR 26 or heavier.

Plastic Pipe Fittings and Connections

Plastic pipe fittings shall conform to the requirements of ASTM D-1785 for Schedule 40 PVC 1120 or 1220 and shall bear the NSF stamp and the schedule marking manufactured by Sloane, Loaco or approved equal.

Slip fitting socket taper shall be so sized that a dry unfitted pipe end, conforming to these special provisions, can be inserted no more than halfway into the socket. Plastic saddle and flange fittings will not be permitted.

When connection is plastic to metal, male adapters shall be used. Joint compound shall be Permatex Type II.

Galvanized Steel Pipe and Fittings

Galvanized steel pipe and fittings shall conform to ASTM A-120, standard weight, Schedule 40 manufactured by Galvaloy or approved equal.

Automatic Controllers

Automatic controllers shall be as located and specified on drawings.

Each individual controller shall have a separate common ground wire system entirely independent of all other controllers. Connect each remote control valve controlled by one specific controller to that controller's common ground wire system.

Irrigation Control Cable

Wire gauge may not exceed that recommended by the manufacturer but shall not be smaller than 14 gauge. All wiring to be used for connecting the automatic controller to the electric solenoid actuated remote control valve shall be type UF-600V 7 strand or solid copper, PVC coated. All pilot or "hot" wires shall be one color and all "Common" wires shall be of a different color. Wire from controller to valve shall not be spliced. Wire connection to control valves and splices of wire in the field shall be made using Pen-Lite connectors and installation shall be as recommended by the manufacturer.

Splicing Materials

Splicing materials shall be as follows: STA-KON No. PF-70 connector. SCOTCH-LOCK #3576 sealing pack. Reinbord PT-103.

Automatic Valves

Automatic valves shall be as located and specified on drawings.

Manual Valves

Manual valves shall be as located and specified on drawings.

Spray or Bubbler Heads and Emitters

Spray or bubbler heads and emitters shall be as located and specified on drawings.

Pressure Type Backflow Prevention Unit

Backflow preventer shall be as located and specified on drawings.

Quick Coupling Valves or Hose Swivels

Quick coupling valves or hose swivels shall be as located and specified on drawings.

PART 3 - EXECUTION

Layout

The Contractor shall install sprinkler layout as shown on the plans. Where connections to existing stubouts are required, make necessary adjustments in the layout to connect such stubs not be located exactly as shown. Adjust layout as necessary to install around existing work. Guarantee full coverage upon completion of job. System is designed for a minimum static pressure at water meter as noted. Verify static pressure prior to starting any installation. Notify the Landscape Architect prior to starting any work if the static pressure is lower than the static design pressure noted.

For the purpose of definitions, pressure mains are the piping under constant pressure. A riser it to be constructed of all fittings, nipple, pipe and bubbler/spray head or emitter from the lateral or branch line.

Excavating and Trenching

Perform all excavations as required for installation of work including shoring of earth banks, if necessary. Restore all surfaces, existing underground installation, etc., damaged or cut as a result of the excavations, to their original condition.

Should utilities not shown on the plans be found during excavations, the Contractor shall promptly notify the Landscape Architect for instructions as to further action. Failure to do so will make the Contractor liable for any and all damage thereto arising from his operations subsequent to discovery of such utilities.

Generally, piping under concrete shall be installed by jacking, boring or hydraulic driving. Where any cutting or breaking of sidewalks and/or concrete work is necessary, it shall be removed and replaced as directed by the Landscape Architect. Where piping is shown under paved areas, the intent is to install the piping in the ported areas.

Grades

Before starting work, carefully check all grades from elevation (See Landscape Construction or Civil Plans) to be sure that all rough grades are properly established and that all pipelines will be at the proper grade or lower upon the completion of final grading.

Trenches shall be of sufficient depth to provide minimum cover from finish grade as follows:

- Over lateral lines 12 inches
- Over mainline 18 inches
- Over control wires 18 inches
- Over electrical conduit 24 inches

The bottom of the trench shall be firm and free from large or sharp rocks. All pipe in rocky soils shall be thoroughly encased in sand or approved topsoil.

Pipe Line Assembly

Clean pipe prior to installation and maintain in that condition during installation. When pipe laying is not in progress, close open end of pipe by approved means.

Plastic pipe end fittings shall be free from dirt, dust and moisture. Apply an even coat of solvent with a natural bristle brush to the outside of the pipe. A light, but complete coat of solvent shall then be applied to the fitting socket. Another light coat of solvent shall be applied to the outside of the pipe making sure that the coated area on the pipe is equal to the depth of the fitting socket. Care shall be taken to prevent the solvent from running through the fitting into the pipe. The pipe shall be quickly inserted into the fitting and turned approximately 1/4 turn and held for approximately 15 seconds. After joining, the excess solvent shall be immediately removed from the pipe. Care shall be taken so as not to use an excess amount of solvent, thereby causing a burr or obstruction to form on the inside of the pipe.

Allow a minimum of 15 minutes curing time for each welded joint before subjecting the pipe to stresses. Another fitting or pipe section may be installed after approximately 2 minutes if care is exercised so that strain is not placed on the previous assembly while the 15 minutes time has elapsed.

Plastic to Metal Connections

Male adapters shall be hand tightened with final tightening not to exceed one turn with a strap wrench. Threaded polyvinyl chloride adapters into which pipe may be solvent welded shall be used where threaded plastic connectors are required. Only schedule 80 pipe may be threaded.

As each line is completed, prior to the installation of irrigation heads and the last welded joint has had 12 hours to set and cure, the line shall be charged and flushed of all foreign materials. Any failures evident at this time shall be corrected. Adjustable caps may be used to facilitate the flushing operations. No portion of the line having welded or threaded fittings shall be covered with backfill prior to completing of the flushing operation.

Sleeving

All plastic lines installed beneath asphaltic-concrete paving shall be placed in a class 200 PVC pipe sleeve 1/2 times the size of pipe being housed within and have a minimum of 24" cover and shall conform to the minimum composition test of paved area involved unless noted otherwise.

Irrigation Control Valves

Install control valves in valve boxes where shown and group together where practical. Place no closer than 12" from walk edges, buildings and walls. Top of valve boxes shall be flush with finish grade. Place 1/2 cu. ft. pea gravel below all valves.

Control Wiring

Install control wires with sprinkler mains in common trenches wherever possible. Lay to the side and below pipe line. Provide looped slack at valves and snake wires in bundles at 10' intervals. Control wire splices will be allowed only on runs more than 500 feet. Clamp wires together and seal connections with specified splicing materials.

Heads

Install all shrub heads 6" from edge of paving or buildings and all lawn heads 3" from edge of paving or buildings.

Closing of Pipe and Flushing of Lines

Cap or plug all openings as soon as lines have been installed to prevent entrance of materials that would obstruct the pipe. Leave in place until removal is necessary for completion of installation.

After all piping and risers are in place and connected, and all related work has been completed, and prior to installation of heads, open control valves and using a full head of water flush out system. Flush 3 minutes through the further-most head from the valve. After flushing, cap the risers and pressure test the system.

Backfill and Compacting

After system is operative and inspections have been made, backfill all piping using soil or fine sand passing a 1/4" sieve or the first 3" of backfill and water compact.

Backfill for all trenches, regardless of the type of pipe covered, shall be compacted to 95% minimum density under pavements, 85% under planted areas.

Compact all trenches by thoroughly flooding during and after backfill operation. Jetting process may be used in those areas.

Dress off all areas to finish grades.

Notify the Landscape Architect for a final coverage inspection prior to final acceptance.

Clean-up

Keep all areas of work clean, neat and orderly at all times. Keep paved areas clean during installation. Clean up and remove all debris from the entire work area prior to final acceptance to satisfaction of the Landscape Architect.

END OF SECTION

LANDSCAPE

PART 1 - GENERAL

Work Specified Herein: The work of this section shall include all labor, materials, equipment and services necessary to complete the work of landscaping as detailed and specified, and all work reasonably incidental thereto.

Substitutions: Plants of kinds other than those indicated on the plant list will be considered by the Landscape Architect only upon submission of proof that any plant is not reasonably procurable in the local region.

Submittals: Submit samples of the following for the Landscape Architect's approval: Decomposed granite

Job Conditions

The bidder shall visit and inspect the site to thoroughly inform himself of all existing conditions. Any discrepancies between existing conditions and those shown on drawings shall be brought to the attention of the Landscape Architect for clarification.

Prior to any landscape work, locate all existing underground installations and protect same. Repair any damage to these installations at the cost to the Owner.

Coordinate all work with other trades so that conflicts will not exist nor delay the work in any way.

Make known sources of topsoil and plant materials to allow for field inspection by the Landscape Architect.

Codes, Rules and Safety Orders: All work and materials to be in full accordance with latest rules and regulations of Safety Orders of Division of Industrial Safety, The Uniform Building Code, and other applicable laws or regulations, including all city codes. Nothing in these specifications is to be construed to permit work not conforming to these codes.

Permits and Fees: Obtain all permits and pay required fees to any governmental agency having jurisdiction over the work. Arrange for inspections required by local agencies and ordinances during the course of construction as required.

Personnel: Planting and seeding shall be performed by experienced workmen familiar with planting procedures and under the supervision of a qualified planting foreman. The planting foreman shall be on the job site whenever planting is in progress.

Guarantee: Guarantee plant materials for specific periods after completion of work as follows: Trees - one year; Shrubs/growd covers - 90 days; Saguaros, Occotillo and other cacti - one year.

Guarantee all replacements for 30 calendar days. Check site at least once every 2 weeks during guarantee period for proper maintenance, and notify Owner, in writing, of any needed changes.

Maintenance/Period: Maintain the project by weeding, mowing, trimming and watering until the work is accepted by the Landscape Architect and for a period of 60 days thereafter.

All dead plants shall be replaced during this period immediately, and as directed by the Landscape Architect. Any material not acceptable at the completion of the maintenance period shall be replaced at no cost to the Owner.

In all turf areas apply a balanced fertilizer 6-10-10 at the rate of 16 lbs./1000 square feet every 30 days during the basic maintenance period and during any subsequent maintenance periods. Final fertilizing shall be completed two days prior to the completion of the maintenance period prior to final acceptance.

Prior to the completion of the 60-day maintenance period the Landscape Contractor shall apply a chemical pre-emergent herbicide to any planting areas designated by the Landscape Architect. The pre-emergent herbicide must be applied in accordance with the plant varieties, plant maturity, and manufacturer's recommendations.

Replacement: Prior to final acceptance, remove any plant required under the Specification which is dead, not true to name or otherwise not acceptable and not in a satisfactory growing condition from the site and replace with a suitable plant as specified. This also applies to replaced plants.

Native Seeding: Native seeding consists of furnishing and applying grass and shrub seed in areas as shown on plans.

PART 2 - PRODUCTS

Plant Materials: Plant materials shall be quality material having the habit of growth which is normal for the species; sound, vigorous, healthy, free from insects, plant diseases and injury. Can, ball and height and spread dimensions shall be measured according to accepted standards and good practice.

Should any conflict arise as to the quality of any material, the decision of the Landscape Architect is final.

Native seed shall be as specified on landscape plans. Application rates of seed as specified are for Pure Live Seed (PLS). Weed content of seed shall not exceed 0.5%.

Topsoil: Topsoil shall be screened, fertile, friable soil from well drained arable land and free from nut grass, refuse, roots, heavy clay, noxious weeds or any material toxic to plant growth. Topsoil content shall be as follows: SH 20-45%; Clay 15-20%; Sand 20-30%; with a minimum of 5% organic material (nutrient or added). Topsoil existing on the site may be used if it meets the above specification. PH shall not be lower than 5.5 nor exceed 8.3 and soluble salts shall not exceed 1500 PPM.

Soil Preparation: Planting pit backfill for all trees and shrubs shall be as follows: Two parts excavated soil thoroughly mixed with one part nitrated wood mulch; one pound of gypsum and four ounces of soil sulphur per tree or one-half pound of gypsum and two ounces of soil sulphur per shrub.

All trees and shrubs shall receive Agrilgram 21 (20-10-15) plant tabs at the following rates:

- One gallon 1 Tablet
Five gallon 2 Tablets
Fifteen gallon 4 Tablets
Twenty four inch box 6 Tablets
Thirty six inch box or larger 8 Tablets

Set tablets 3" below finished grade and space evenly around plant's perimeter.

Ground cover areas (from flats, pots or liners) shall receive the following: Broadcast 3 cubic yards of commercially prepared nitrated wood mulch, 15 pounds of 16-20-0 Ammonium Phosphate and 15 pounds of agricultural gypsum per 1000 square feet thoroughly incorporated into soil to a depth of 4" by means of a rototiller.

Lawn areas (seed or hydro-seeded) shall receive the following: Broadcast 1 cubic yard of commercially prepared nitrated wood mulch per 1000 square feet thoroughly incorporated into soil to a depth of 4" by means of a rototiller.

Hydro-mulch Fiber: Fiber shall be virgin wood cellulose fiber applied at the rate of 50 pounds per 1000 square feet or 1500 pounds per acre (unless otherwise noted on plans). Fiber mulch shall have the property of becoming unevenly dispersed and suspended when agitated with water. When sprayed uniformly on the soil surface, the fibers shall form a better-like overlay which readily absorbs water and allows infiltration of water and air to the underlying soil. The fiber mulch shall have an effective life of at least one year.

Hydro-mulch Encoder: Encoder shall be free flowing, non-corrosive powder produced from natural plant gum applied at the rate of 50 pounds per acre (unless otherwise noted on plans).

Lawn: Bermuda seed shall be certified with a minimum purity of 95% and a minimum germination rate of 85%. All seed shall be from tested lots and shall be delivered to the project in standard containers labeled as required by State of Arizona and U.S. Department of Agriculture regulations. Label shall show the variety of strain of seed, degree of purity (%), rate of germination (%), weed content (%), date of test.

Soil: Soil shall be strongly rooted, not less than 2 years old, free of weeds and undesirable native grasses. Soil must be capable of growth and development when planted. Soil shall be as specified on plans. Cut with a soil layer 1 1/2" minimum thick, and of a quality acceptable by the Landscape Architect.

Boulders: Boulders shall be type as specified on plans, sizes as indicated, 1/3 of depth to be buried.

Weed Control Chemicals: Non-selective contact herbicide(s) and/or non-selective systemic herbicide(s) compatible with seed mixture(s) and vegetatively planted materials are all that are permitted.

Use pre-emergent herbicide(s) compatible with seed mixture(s) and vegetatively planted materials.

Use only approved weed control materials and a licensed applicator.

No material or method shall effect the landscape planting or hydro-seed germination and establishment. Materials and methods must conform to Federal, State and local regulations.

Decomposed Granite: Decomposed granite shall be of the size and color indicated on plans, shall be free from lumps or balls of clay and shall not contain calcareous coating, calcite, organic matter deleterious substances. Color and source of decomposed granite shall be approved by the Landscape Architect. All material shall be from a single production source and shall present a uniform appearance. Material containing clumps which will not disintegrate with a shovel blow shall be rejected.

Prior to placing the area shall be totally free of weeds, using chemical control if necessary. Apply a pre-emergence control according to manufacturer's recommendation. The decomposed granite shall be evenly distributed at the designated areas.

Tree Stakes: Tree stakes shall be 2 1/2" diameter x 10' new Lodge Pole Pine treated with copper naphthenate or approved equal single or double stake. See plant legend remarks and details.

Guy: Guys shall be pliable zinc-coated iron of 10 gauge wire.

Nitrated Wood Mulch: Nitrated wood mulch shall consist of a ground or processed wood product derived from redwood, ground or shredded fir, redwood or ponderosa bark. It shall have a nitrogen content of 1%. See soil preparation materials, planting backfill material and plan notes.

PART 3 - EXECUTION

Planting Operations: Plants not dimensioned as to precise locations shall be staked from the drawings and the plant placed in the appropriate relationship indicated.

Conditions permitting the retention of water in planting beds for more than 24 hours shall be brought to the attention of the Landscape Architect prior to any planting.

Weed control: The applicator of all weed control materials shall be licensed by the State of Arizona as a pest control operator and a pest control advisor in addition to holding any Subcontractor licenses that are required.

DOUGLAS S. DIGGINS LANDSCAPE ARCHITECT 6809 E. LAFAYETTE BOULEVARD SCOTTSDALE, ARIZONA 85251 480.980.0582 • FAX 980.8674



Table with columns: REVISIONS, CLIENT (HAM CONSULTING, INC.), PROJECT (HAM CONSULTING, INC.), ADDRESS (LOT 20, SKYWAY BUSINESS PARK SURPRISE, ARIZONA 85374), TITLE (SPECIFICATIONS), SCALE (N/A), JOB (0717), DATE (09-17-07).

LOT 7
ZONING: I-1 PAD

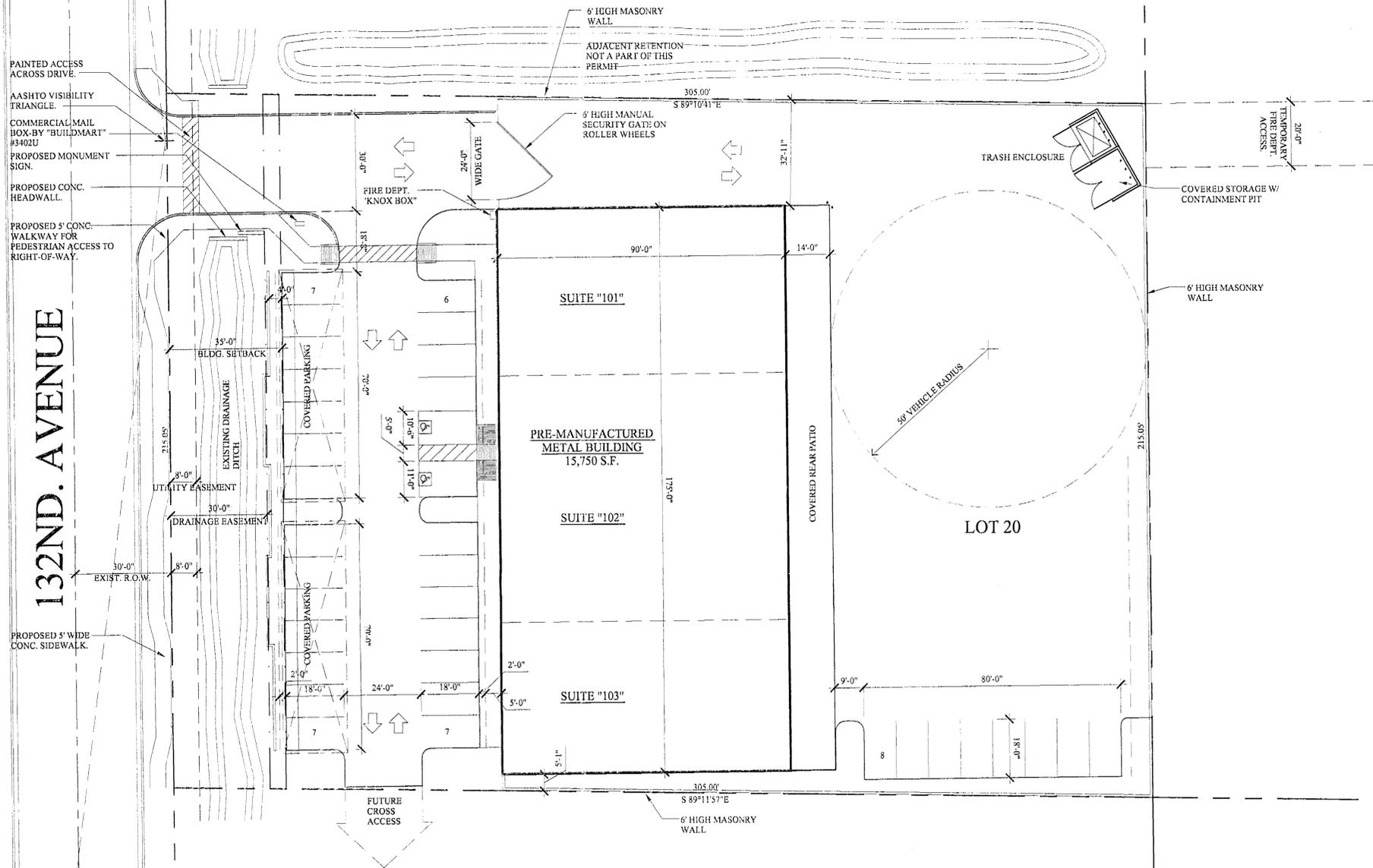
LOT 20A
ZONING I-1 PAD

LOT 21
ZONING: I-1 PAD

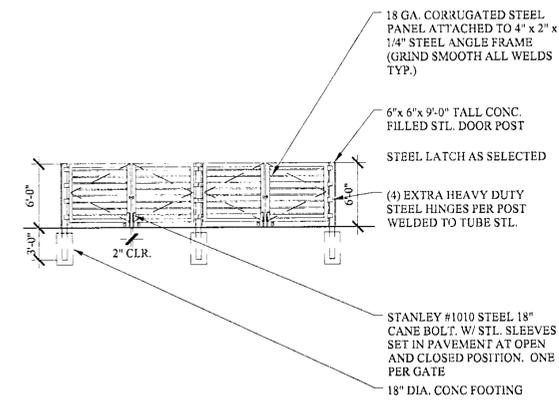
LOT 8
ZONING: I-1 PAD

LOT 19
ZONING: I-1 PAD

LOT 22
ZONING: I-1 PAD



SITE PLAN
SCALE: 1" = 20'-0"
north



TRASH ENCLOSURE GATE
SCALE: N.T.S.

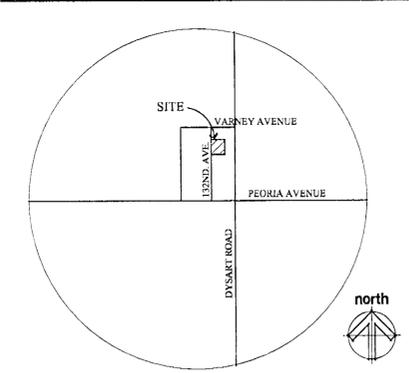
PROJECT DATA

DEVELOPER:	HAM INC. 15508 W. BELL ROAD, SUITE 101 SURPRISE, AZ 85374 CONTACT: MARTIN RANKIN / STEVE OLDIHAM
ARCHITECT:	DIETZ DESIGN LLC. 6650 N. 47TH AVE., SUITE 1 GLENDALE, AZ 85301 CONTACT: JEFF DIETZ
PROPOSED USE:	MANUFACTURING
ADDRESS:	LOT 20 SKYWAY COMMERCE PARK SWC DYSART ROAD AND VARNY ROAD
EXISTING CONSTRUCTION TYPE:	VB (SPRINKLERED)
OCCUPANCY TYPE:	F-2 (LOW-HAZARD OCCUPANCY)
OCCUPANT LOAD:	15,750 S.F. @ 1/200 = 79
EXISTING REQUIRED:	79 X 0.2 = 16" W/ (1) EXIT
PROVIDED:	(6) EXITS @ 216"
BASE ALLOWABLE FLOOR AREA:	13,000 S.F. X 300%
GROUP F-2 OCCUPANCY (SPRINKLERED):	39,000 S.F.
BASE ALLOWABLE (PER 2003 IBC TABLE 503):	13,000 S.F. X 300%
TOTAL:	39,000 S.F.
ACTUAL AREA:	15,750 S.F.
EXISTING ZONING:	I-2 PAD (CASE NO. PAD05-130)
NET SITE AREA:	(±65,573 S.F.) ±1.51 ACRES
BUILDING AREA:	15,750 S.F. + 2,450 COVERED PATIO
PARKING AREA:	35,539 S.F.
BUILDING SITE COVERAGE:	24%
PARKING SITE COVERAGE:	54.2%
LANDSCAPE SITE COVERAGE:	21.8%
MAXIMUM BUILDING HEIGHT:	27'
BUILDING SETBACKS (PER CASE NO. PAD05-130):	
FRONT / STREET:	35'-0"
SIDE:	0
REAR:	0
REQUIRED PARKING:	1 / 450 S.F. (MANUFACTURING) 35 SPACES
PROVIDED PARKING:	
TOTAL PARKING:	35 SPACES
EMPLOYEE PARKING:	27 SPACES
NON-EMPLOYEE PARKING:	8 SPACES
ACCESSIBLE PARKING PROVIDED:	2 SPACES

GENERAL SITE NOTES

ALL PROPOSED DEVELOPMENT PHASES DEPICTED ON THIS SITE PLAN SHALL BE PROVIDED A MINIMUM OF TWO (2) SEPARATE POINTS OF UNOBSTRUCTED ACCESS WITH MINIMUM WIDTH OF TWENTY FEET, INSTALLED AND MAINTAINED PURSUANT TO THE REQUIREMENTS OF THE CITY OF SURPRISE.

VICINITY MAP



Dietz Design
A Limited Liability Company
Architecture - Planning
6650 N. 47th Avenue, Ste. 1
Glendale, Arizona 85301
(623) 840-0968
fax (623) 847-9063
www.dietzdesignllc.com

A New Building For:
Ham Consulting, Inc.
Lot 20, Skyway Business Park
Surprise, Arizona 85374

RECEIVED
JAN 07 2008
COMMUNITY
DEVELOPMENT

REVISIONS

JOB NUMBER:	0725
DATE:	09/13/07
DRAWN BY:	JD
CHECKED BY:	JD



SP1
SHEET NUMBER:

SP07-342

REPORT TO THE PLANNING AND ZONING COMMISSION

CASE NUMBER: SP07-339 Surprise Professional Village
STIPULATIONS: a through h
PREPARED BY: Hobart Wingard, Planner @ 623.222.3156
hobart.wingard@surpriseaz.com

Application Date: September 21, 2007
Planning & Zoning Commission Hearing Date: February 5, 2008

APPLICANT

Jesus Dominguez
UTAZ Development Corp.
2915 E. Baseline Road, Suite 115
Gilbert, AZ 85234
Phone 408.776.3400
Fax 408.776.3457
jesus@utaz.com

PROPERTY OWNER

Glen Adams
UTAZ Development Corp.
2915 E. Baseline Road, Suite 115
Gilbert, AZ 85234
Phone 480.776.3400
Fax 480.776.3457
glen@utaz.com

REQUEST

Approval of a site plan proposal for a commercial office project.

SITE LOCATION

The subject site is located at the southwest corner of Grand Avenue and Yorkshire Drive, within Section 20, Township 3 North, Range 1 West of the Gila and Salt River Base and Meridian, Maricopa County, Arizona.

SITE SIZE

The subject site plan encompasses 4.8 net acres.

RECOMMENDATION

Staff recommends that this request, a site plan for Surprise Professional Village (SP07-339), located on the southwest corner of Grand Avenue and Yorkshire Drive, be **approved** subject to stipulations **a through h**.

PROJECT ANALYSIS

Surprise Professional Village will be a single-phased 37,623 square foot commercial development consisting of single-story garden-style small office buildings. All of the buildings will be divided into smaller units to be leased or sold.

ARCHITECTURE

The seven single-story buildings will include 6 different architectural styles, to include French Country, Colonial, Tuscan, Santa Barbara, Craftsman and Early California. Each building provides a rich mixture of man-made and natural materials, utilizing cultured stone accents and wainscoting, including dressed fieldstone, pro-fit ledgerstone and tumbled brick, to complement the stucco finish. Popouts of varying depths and shapes are used to accent and create interest at each elevation.

Each of the buildings utilizes a residential theme with pitched and flat roof systems varying throughout the design. Use of these design characteristics seeks to provide the project with creative commercial designs of differing, but compatible styles that enhance and complement both current and future surrounding developments.

CIRCULATION

The project is located on the southwest corner of Yorkshire Drive and Grand Avenue. Vehicular access to the site is available by two access points located along Yorkshire Drive.

Pedestrian circulation is prevalent throughout the site. The applicant is providing a five-foot-wide sidewalk along Yorkshire while the Grand Avenue portion will be outfitted with an eight-foot-wide multi-use trail.

LANDSCAPE

The landscape design for this project will utilize drought resistant plant material and provide adequate screening for surrounding uses. The landscape design review conforms to the adopted City of Surprise Design guidelines.

DEPARTMENTAL REVIEW

All departments have reviewed this application with no additional comments.

EXISTING AND SURROUNDING ZONING

ON-SITE: C-2, Community Commercial
NORTH: C-2, Community Commercial
R1-43, Single-Family Residential
EAST: R1-43, Single-Family Residential
SOUTH: Sun City Grand PAD
WEST: County

EXISTING AND SURROUNDING LAND USE

ON-SITE: Vacant – Low-Density Residential
NORTH: Vacant – Low-Density Residential
EAST: County
SOUTH: Vacant – Low-Density Residential
Vacant – Commercial
WEST: Vacant – Low-Density Residential

CONFORMANCE TO ADOPTED LAND USE PLANS

GENERAL PLAN If approved, this request would comply with the Surprise 2020 General Plan. Low-Density Residential includes such supporting land uses as neighborhood shops and services.

PROJECT DATA

Zoning	C-2, Community Commercial
Building Area	37,623 SF
Site Area	4.80 net acres 208,936 square feet
Parking	188 Required Spaces 221 Provided Spaces

EXISTING UTILITIES AND SERVICES STATUS

WATER	Arizona American Water
SEWER	City of Surprise
FIRE PROTECTION	The nearest Fire Station is located at 18600 N. Reems Road, less than one mile from the subject site.
POLICE PROTECTION	The City of Surprise Police Department is located within the City of Surprise Public Safety building located at 14250 West Statler Plaza, approximately 2.5 miles southeast of the project site.

INFRASTRUCTURE

All infrastructure will be developed in accordance with the Surprise Municipal Code.

FINDINGS

The proposed use of the property for a commercial development is in general conformance with the City of Surprise Municipal Code, as well as the Surprise General Plan 2020. If approved, it will appear to not adversely affect the public health, safety, or welfare.

ITEM 4

STANDARD STIPULATIONS:

- a) Prior to delivery of any combustible material to the site, fire department access and fire protection systems shall be completely operational in accordance with the approved plans by the Fire Chief and the City Engineer;
- b) Major changes to this Site Plan with regards to use and intensity must be processed as a revised application with approval by the Planning and Zoning Commission. Minor changes may be administratively approved by the City Engineer, Fire Marshal, Water Services Director, and the Community Development Director;
- c) All parcel numbers shall be active prior to submittal of any building permit and shall stay active throughout the construction process until a Letter of Compliance and/or Certificate of Occupancy is issued. Any subdivision or lot split shall be reviewed and approved by the City of Surprise prior to recordation with Maricopa County;
- d) The applicant shall include all approved stipulations related to the project on the title sheet of construction plans prior to plan check submittal;
- e) Applicant or property owner must provide the City with approved earth moving permit by Maricopa County Environmental Services Department prior to release of any permits;
- f) Approval of this site plan is not to be construed as an approval of any violation of the Surprise Municipal Code, 2006 International Building, Plumbing, Mechanical, Fire Codes and/or the National Electric Codes;
- g) All roof mounted and ground mounted mechanical equipment shall be screened from public view and will be subject to the approval of the Community Development Director;
- h) All mechanical equipment, transformers, gas lines, shall be completely screened from public view prior to letter of compliance and/or certificate of occupancy. Any changes to the landscape plan shall be submitted to the Community Development Department for review and approval.



**Arizona Department of Transportation
Intermodal Transportation Division**

206 South Seventeenth Avenue Phoenix, Arizona 85007-3213

Janet Napolitano
Governor

Victor M. Mendez
Director

Sam Elters
State Engineer

October 17, 2007

RECEIVED

OCT 18 2007

COMMUNITY DEVELOPMENT

Ms. Carol Dager
City of Surprise Planning Department
12425 West Bell Road, Suite D100
Surprise, Arizona 85374

RE: **Surprise Professional Village**/ SP07-339/ SWC Grand Avenue & Yorkshire Dr.

Dear Ms. Dager:

Thank you for your notification regarding the Site Plan on the above-mentioned subject located in Surprise, AZ. After a complete review, we have concurred that the proposed Plan at this time will have an impact on our future highway facilities in this area.

ADOT has a few comments on the Site Plat since this property will be affected by ADOT's future Right of Way widening project for US 60.

ADOT recommends the developer contact Mr. Pete Eno at (602) 712-7348, ADOT, 205 South 17th Ave MD 612E Phoenix, Arizona 85007, so he can be apprised of this development through all of its planning, design and development stages.

ADOT reserves the right to review any future plans and/or changes to this development as to any impact they may have on the State Highway System.

Should you have any questions, please feel free to contact me at 602-712-8876, or in writing at 205 S. 17th Avenue, Right of Way Project Management Section, MD 612E, Phoenix, Arizona 85007. Thanking you in advance for your cooperation.

Sincerely,

Annette Close
Administrative Assistant III
Right of Way Project Management

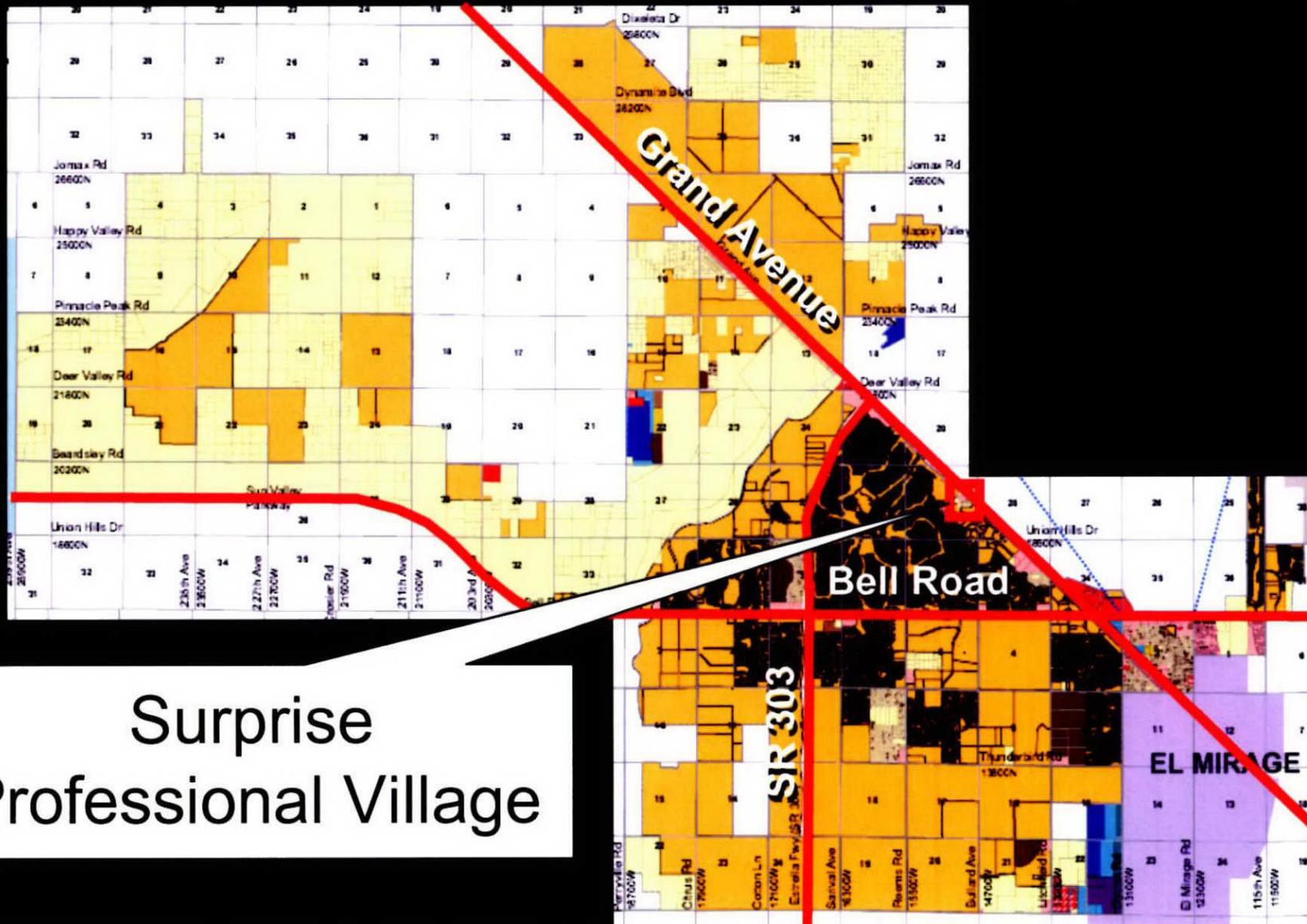
cc: Pete Eno, R/W Project Management



2001 Award Recipient

Location Map

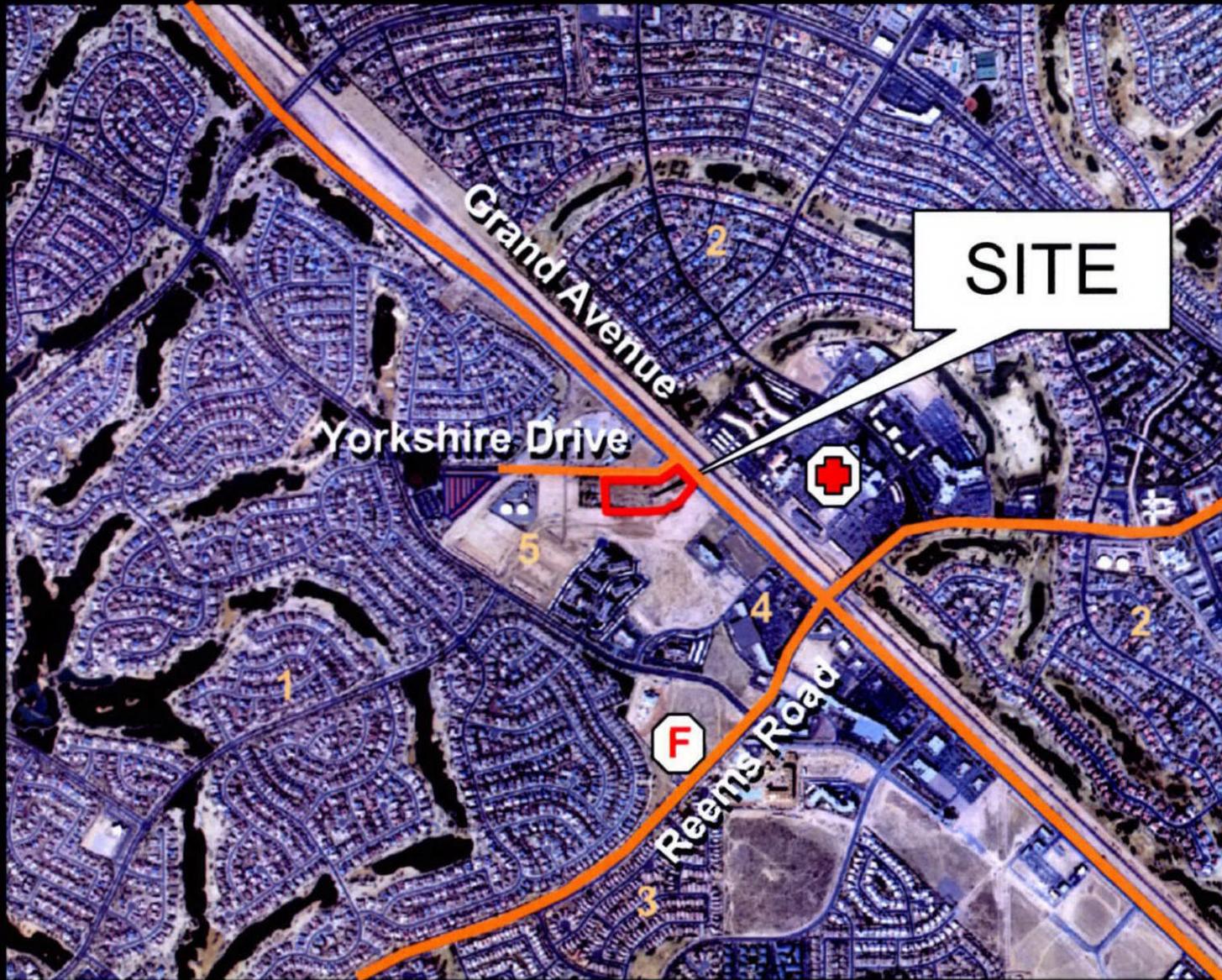
Surprise Professional Village



Surprise Professional Village

Contextual Map

Surprise Professional
Village



- F** Fire Station
- P** Police Station
- +** Medical
- PK** Public Park
- S** Exist. K-8 Schl.
- S** Prop. K-8 Schl.
- HS** Exist. K-8 Schl.
- HS** Prop. K-8 Schl.

PROJECTS:

1. Sun City Grand
2. Sun City West
3. Kingswood Parke
4. Grand Village Marketplace
5. Colonnade

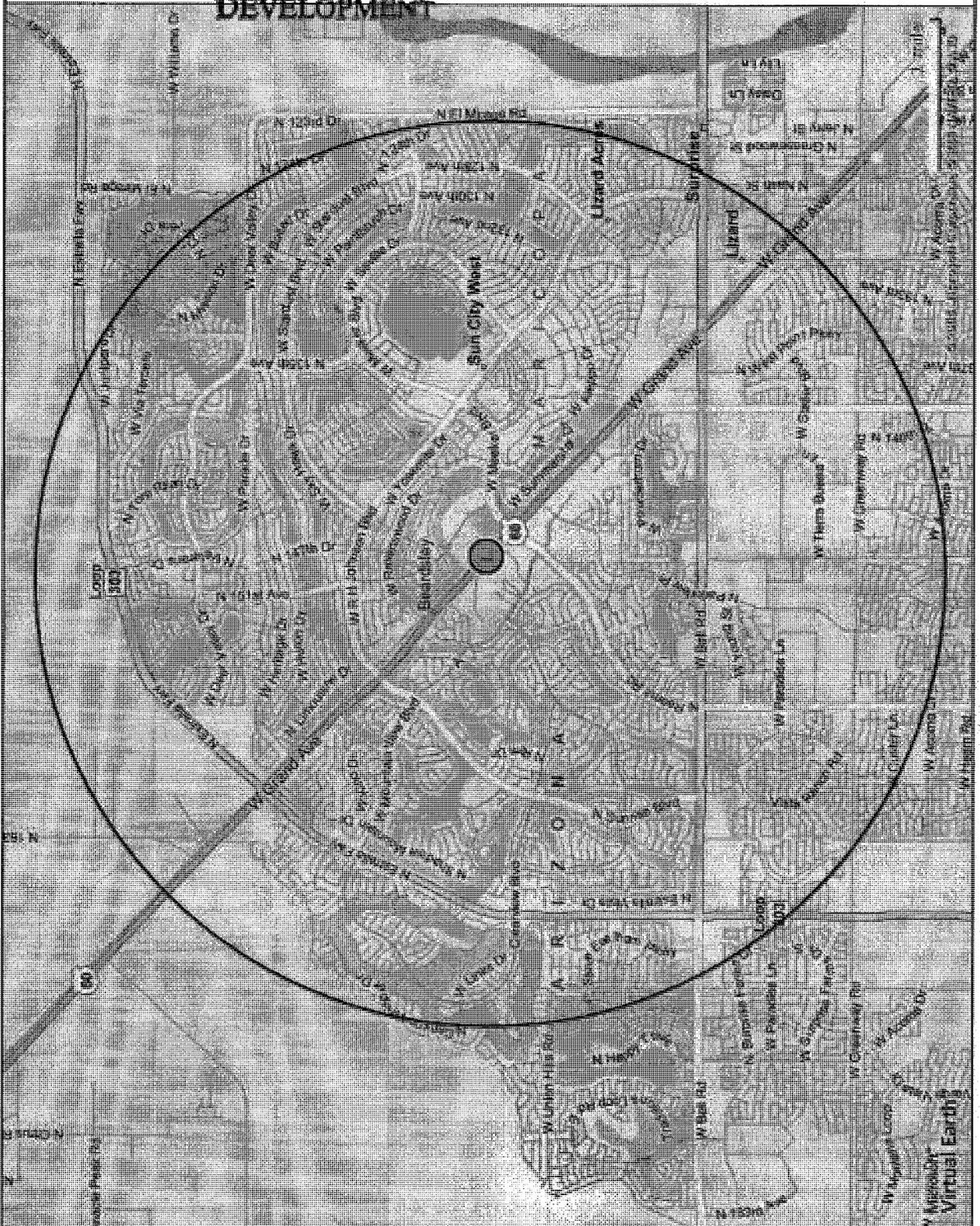
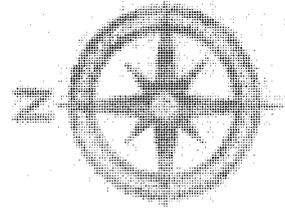


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DEC 27 2007

COMMUNITY DEVELOPMENT

Property Type



December 4, 2007

RECEIVED

DEC 27 2007

**COMMUNITY
DEVELOPMENT**

City of Surprise
Planning & Zoning Department
12425 W. Bell Road, Suite D100
Surprise, AZ 85374-9002

Re: Project Narrative Description for Surprise PROFESSIONALVILLAGE™
SP07-339

I. UTAZ Background

UTAZ Development Corporation is the creator of the "Professional Village" concept, uniquely designed to increase revenue to small businesses.

Based in Gilbert, Arizona since 1997, UTAZ has developed 33 unique commercial office properties in the Valley (www.utaz.com). The Professional Village design elements combine visibility, prestige, exceptional locations, ample front door parking, and convenience to offer bottom-line success to professionals and medical practitioners.

This will be our first project in the City of Surprise. We are glad to present for your consideration, our Surprise PROFESSIONALVILLAGE™.

II. SURPRISE PROFESSIONALVILLAGE™

Overview

Surprise PROFESSIONALVILLAGE™ will be a single-phased commercial development consisting of single story garden-style small office buildings. The proposed commercial development will include seven (7) single-story professional and medical office buildings with 6 different architectural styles, to include French Country, Colonial, Tuscany, Santa Barbara, Craftsman and Early California. All of the buildings will be divided into smaller units to be leased or sold. This type of office development is residential friendly and compatible with attractive architectural and landscape design similar to quality projects planned for Surprise.

The project has 7 single story buildings with distinctive architectural styles accentuating the fact that it truly is a PROFESSIONALVILLAGE™ with different types of professionals such as accountants, attorneys, title companies, mortgage companies, home builders, financial planners, insurance companies, doctors, dentists, and other professionals located in an area close to neighborhoods and near major collectors.

As with most professionals, it is anticipated that working hours will be from Monday through Friday between the hours of 8:00am to 5:00pm.

Total building area of the office condominiums is 37,623 square feet. Planned parking is 221 spaces for a ratio of one parking space for every 170 square feet of office space.

Site Layout

The site lies at the Southwest corner of Grand Avenue and Yorkshire Drive. The building layout conforms to the architectural forward design concept utilized by the City of Surprise. (See Site Plan – Item 4 of the submittal packet). Although the site abuts Grand Avenue, all site entrances will be off of Yorkshire Drive.

Yorkshire Drive's existing right-of-way is 66 feet with the existing two lane asphalt paved road located entirely within the north 33 foot half of the right-of-way. The existing Yorkshire Drive provides access to six parcels of land; an existing mini-storage facility at the end of the street, a water pump station and treatment facility for Arizona American Water Company, the existing offices of the Maricopa County Flood Control District, a fire access only for the Colonnade Development, a vacant residential parcel, and the site of the new proposed Surprise PROFESSIONALVILLAGE™.

This development will include landscape features to compliment the professional office buildings and abundant groundcover (See Landscape Plans – Item 4 of the submittal packet).

Building Design

The proposed UTAZ PROFESSIONALVILLAGE™ office project provides a high degree of compatibility with the urban design concept promoted by the City of Surprise as the proposed buildings are of high quality, functional buildings that are pleasing to the eye. Architectural styles include French Country, Colonial, Tuscany, Santa Barbara, Craftsman and Early California (See Exterior and Color Elevations – Items 7 and 8 of the submittal packet).

Each building provides a rich mixture of man-made and natural materials, utilizing cultured stone accents and wainscoting, including dressed fieldstone, pro-fit ledgestone and tumbled brick, to complement the stucco finish. Popouts of varying depths and shapes are used to accent and create interest at each elevation.

Additionally, each of the buildings utilizes a residential theme with pitched and flat roof systems varying throughout the design. Use of these design characteristics seeks to provide the project with creative commercial designs of differing, but compatible styles that enhance and complement both current and future surrounding developments.

Signage (See Exhibit A for signage examples)

A comprehensive sign package is currently being developed and will be submitted for review and approval. Monument signage along both Grand Avenue and Yorkshire Drive will be requested. All monument signage will conform to the following standards:

- A routed face of 0.080 inches aluminum which is primed, montexed and painted to match the sign specifications. Each face must be backed with 1/8 inch day/night acrylic, stud mounted to the back of the aluminum face. No siliconed or glued faces will be accepted.
- Panels will be constructed so that no light leaks appear in the panel itself, but only through the routed letter openings

Building signage will conform to the following standards:

- All tenant/occupant signage shall consist of individual reverse pan channel (RPC) letters, which are (optionally) internally illuminated and mounted 1" above the surface of the building wall. Letters are not to be on an exposed raceway of any kind. Pan channel letters are not to be substituted for the required RPC letters. Absolutely no cabinet signs will be allowed.
- RPC letters are to be fabricated of welded aluminum, with CNC cut faces, using a minimum thickness of .080" for the faces, and .040" for the returns.
- Return depth of all RPC letters shall be 1".
- Illuminated letters are to be mounted 1" above wall surface; non-illuminated letters are also to be mounted 1" above wall surface to maintain a uniform appearance. Mounting may be accomplished using studs or clips, as is appropriate to the letter type & design.
- RPC signs may be illuminated, or non-illuminated. Any illumination is to be internal, halo type, and must be sufficient to provide an evenly lit, uniform, bright appearance. All illumination of letters must be approved internal white LED's, no neon illumination is allowed. All letters must be constructed and installed in accordance with UL-48, NEC 2002 and local codes.
- Color of all letters is restricted to MAP Black only. Returns and faces must be same color. All letters must be painted with a multi-part automotive type finish, in the approved color, with a satin finish. The finish must exactly match MAP Black in the event that another brand of paint is used.
- In the event that smaller letters (those that are less than 6" tall) are required for secondary copy, Tenant/occupant shall be allowed to use FCO letters for this portion of the sign (only) subject to the following restrictions:

- Said letters must be a secondary (not a primary) component of the sign design. Said FCO letters must not occupy more than 25% of the total sign area.
 - The overall design of the sign must be enhanced by the use of the FCO letters, and must still maintain a “high-end” appearance.
 - Any approved FCO letters must be CNC cut from .125 aluminum with welded studs.
 - All letters must be painted with a multi-part automotive type finish, in the designated MAP Black color.
- The following signs will not be permitted: roof or box signs, cloth signs, banners, streamers hanging in front of businesses (unless properly permitted through the city as part of a temporary “grand opening”, etc.), kiosks, carts, fixtures placed outside the office holding or showing signage of any kind, animated or moving components, intermittent or flashing illumination, or fluorescent signs.

Zoning

The site for this project is currently zoned C-2 which allows for the contemplated office development. No rezoning will be required.

Topography

The site is basically level. The site is formal residential lot and has not been occupied since the early 2000’s.

Neighborhood Characteristics

The neighborhood is site of the old original Beardsley town center. With the development of Sun City West, the concept of the original Beardsley town center was lost and site has become an undeveloped island. The neighborhood caters to retirement living and the Colonnade development south of the site provides various stages of assisted retirement living. South along Grand Avenue is commercial development and north along Grand Avenue is residential development. East across the railroad right-of-way lies the hospital and medical complex serving Sun City West.

Neighborhood Compatibility

The proposed Surprise PROFESSIONALVILLAGE™ provides a natural transition from the commercial to the residential developments. Anticipated medical building usage is consistent with the neighborhood hospital complex. Single-story garden style office buildings provide the highest concentration of use during normal weekday business hours with minimal use in the evening and on weekends. Both the design and use are compatible with a residential neighborhood where the site fronts major streets.

Access

Access will be limited to Yorkshire Drive with two ingress/egress points. Both accesses from the local street will be developed as full service entrances.

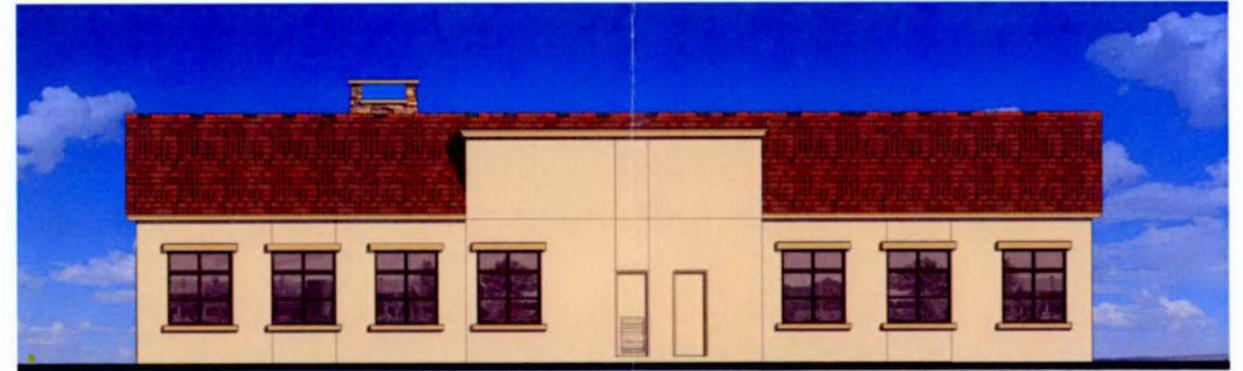
Buildings Occupancy

The building will be sold as shell buildings. Based on the historical sales for the previous 33 sites we have built, this is the statistical mix of uses:

Medical/Pediatric/Family	- 27%
Real Estate Sales/Mortgage/Title Co.	- 27%
Dental/Orthodontic	- 12%
Legal/Accounting & Professional firms	- 15%
Physical Therapist/Chiropractic	- 6%
Insurance and Financial Services	- 7%
Retail	- 3%
General Business	- 3%



FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



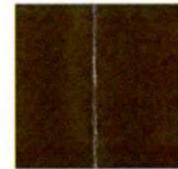
LEFT ELEVATION



ICI PAINTS
#141/378
RAW TWINE



ICI PAINTS
#127/664
JAN'S TAN



BRONZE ANODIZED
ALUMINUM FRAME



EAGLE ROOFING
MISSION SANTA CRUZ
SMC8402



CULTURED STONE
CSV-20045
WALNUT COUNTRY
LEDGESTONE

RECEIVED

DEC 27 2007
COMMUNITY
DEVELOPMENT

SURPRISE PROFESSIONAL VILLAGE
BUILDING 1 - TYPE '1'





FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



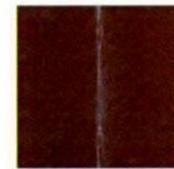
LEFT ELEVATION



DUNN EDWARDS
DE 6230
CENTER RIDGE



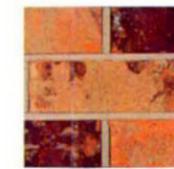
DUNN EDWARDS
DE 6229
CALICO ROCK



BRONZE ANODIZED
ALUMINUM FRAME



EAGLE ROOFING
#4684
SAN RAFAEL BLEND



PHOENIX BRICK
#300083
DESERT DUSK TUMBLED

RECEIVED

DEC 27 2007

COMMUNITY
DEVELOPMENT

SURPRISE PROFESSIONAL VILLAGE

BUILDING 2 - TYPE 'B'

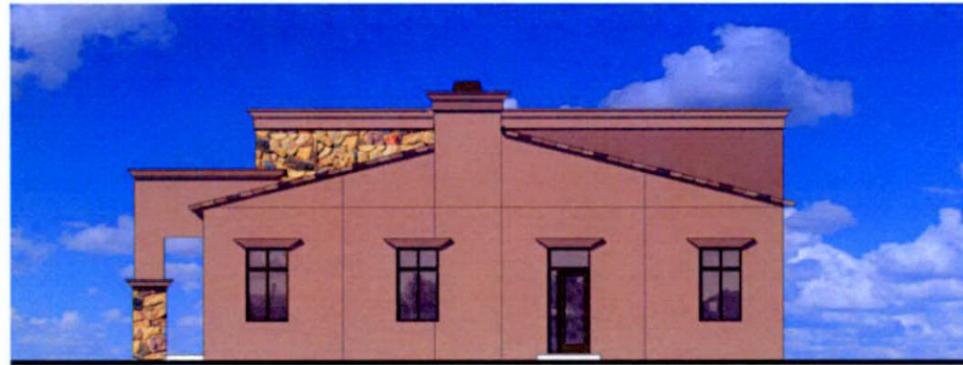




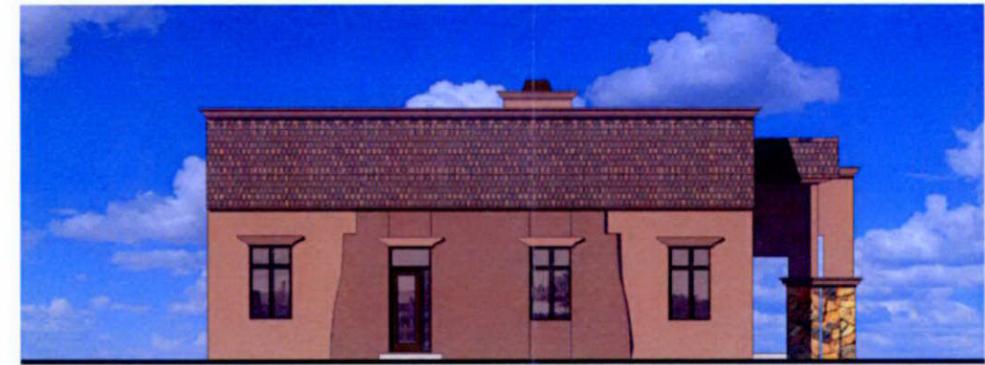
FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



DUNN EDWARDS
DE 6068
COBBLESTONE PATH



DUNN EDWARDS
DE 6069
BANNISTER BROWN



BRONZE ANODIZED
ALUMINUM FRAME



EAGLE ROOFING
#3687
GRAY/ BROWN RANGE



CULTURED STONE
CSV-368192
VILLA DI LAGO
DRESSED FIELDSTONE

RECEIVED

DEC 27 2007

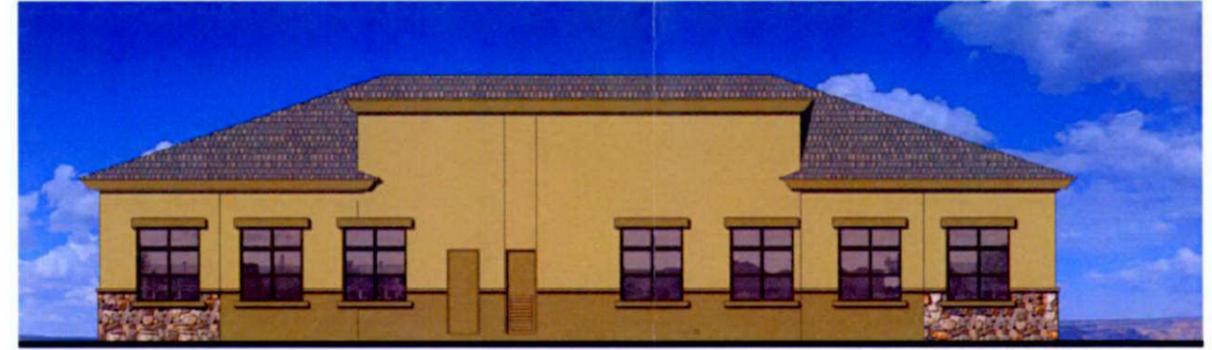
COMMUNITY
DEVELOPMENT

SURPRISE PROFESSIONAL VILLAGE
BUILDING 3 - TYPE 'D'





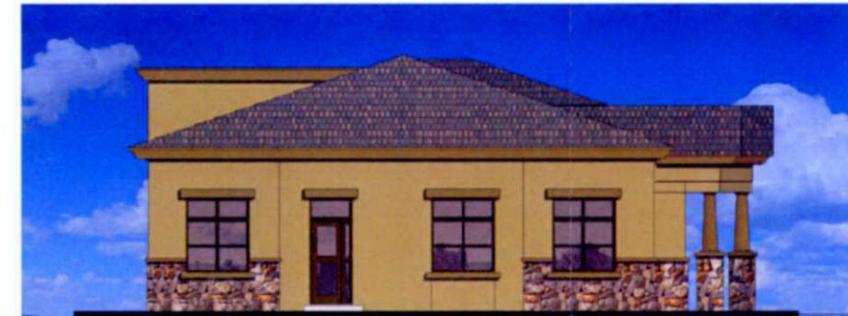
FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



ICI PAINTS
#147/527
CAMEL TAN



ICI PAINTS
#148/457
RATTAN TAN



BRONZE ANODIZED
ALUMINUM FRAME



EAGLE ROOFING
#SHE 8714
ESMONT BLEND



CULTURED STONE
CSV-2030
BUCKS COUNTRY

RECEIVED

DEC 27 2007

COMMUNITY
DEVELOPMENT

SURPRISE PROFESSIONAL VILLAGE

BUILDING 4 - TYPE 'H'





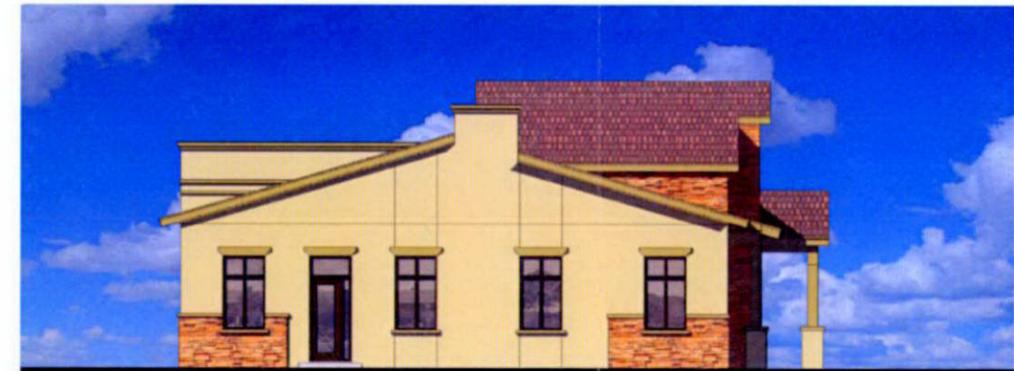
FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



DUNN EDWARDS
DE 6171
SAND DOLLAR



DUNN EDWARDS
DE 6172
BUNGALOW TAUPE



BRONZE ANODIZED
ALUMINUM FRAME



EAGLE ROOFING
#3119
PALE ROSE



CULTURED STONE
PF-8015 AUTUMN
PROFIT LEDGESTONE

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DEVELOPMENT

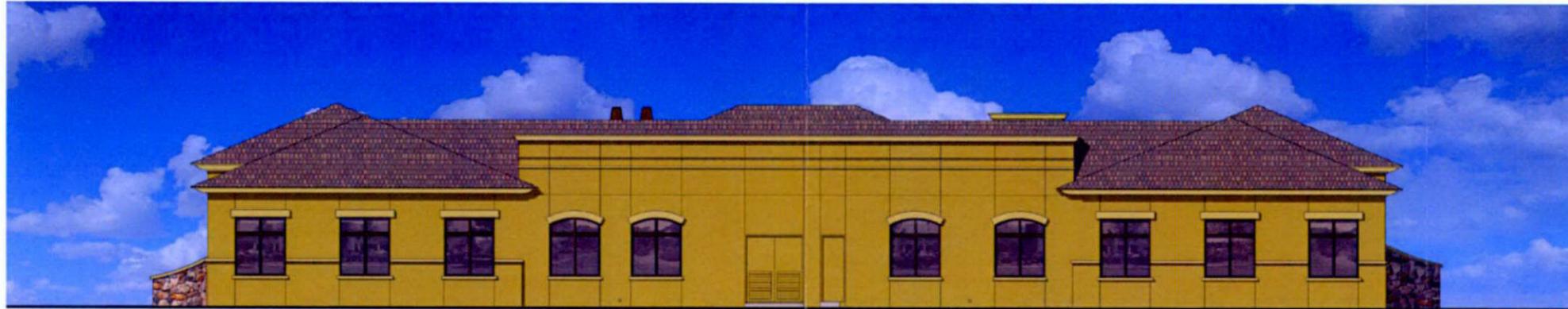
SURPRISE PROFESSIONAL VILLAGE

BUILDING 5 - TYPE 'E'





FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



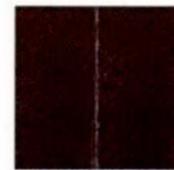
LEFT ELEVATION



ICI PAINTS
#190/693
MONTANA TAN



ICI PAINTS
#190/589
SORREL



BRONZE ANODIZED
ALUMINUM FRAME



EAGLE ROOFING
#4602
CONCORD BLEND



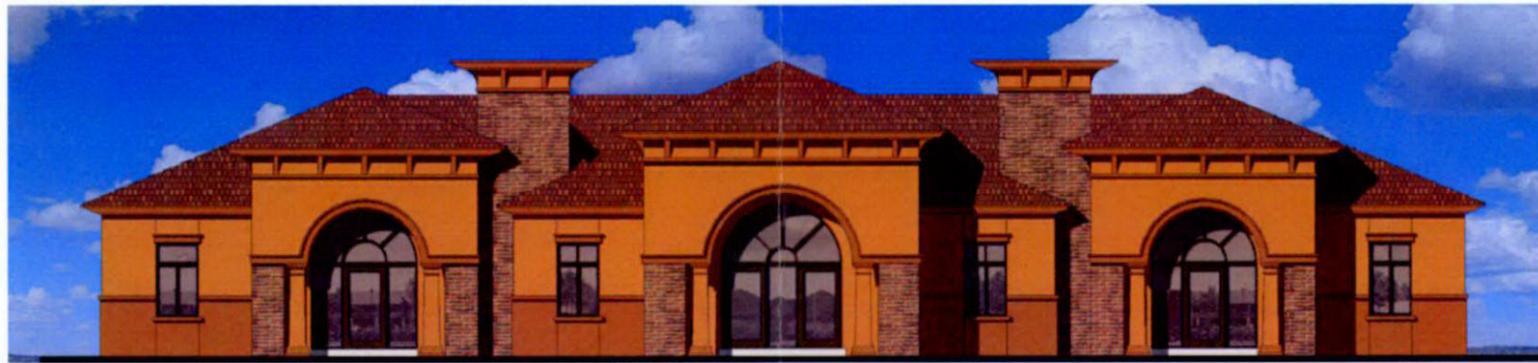
CULTURED STONE
CSV-2030
BUCKS COUNTRY

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DEVELOPMENT

SURPRISE PROFESSIONAL VILLAGE
BUILDING 6 - TYPE 'A'



FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



DUNN EDWARDS
DE 6111
S'MORES



DUNN EDWARDS
DE 6112
CEDAR CHEST



BRONZE ANODIZED
ALUMINUM FRAME



EAGLE ROOFING
OAKWOOD
#901



ELDORADO BRICK
ROMABRICK
BRACCIANO

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SURPRISE PROFESSIONAL VILLAGE
BUILDING 7 - TYPE 'C'





SURPRISE PROFESSIONAL VILLAGE
YORKSHIRE & GRAND AVENUE
SURPRISE, ARIZONA

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DEVELOPMENT



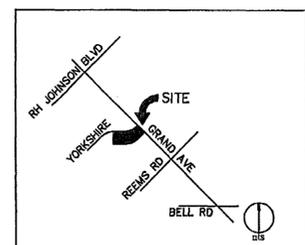
07000890 SURPRISE PROFESSIONAL VILLAGE

DEVELOPER
UTAZ DEVELOPMENT CORPORATION
2915 EAST BASELINE ROAD, SUITE 115
GILBERT, ARIZONA 85234
PHONE: (480) 776-3400
FAX: (480) 776-3457
CONTACT: GLEN ADAMS

ENGINEER
ATWELL-HICKS DEVELOPMENT CONSULTANTS
4700 EAST SOUTHERN AVENUE
MESA, ARIZONA 85206
PHONE: (480) 218-8831
FAX: (480) 830-4888
CONTACT: JARED COX

PRELIMINARY SITE PLAN FOR SURPRISE PROFESSIONAL VILLAGE

LOCATED IN PORTION OF THE NORTHEAST QUARTER OF SECTION 29, T.4N., R.1W.
OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



BASIS OF BEARING

N 90°00'00"E (RECORDED) ALONG THE EAST-WEST MID-SECTION LINE, SECTION 29, T-4-N, R-1-W,
G&SRB&M, MARICOPA COUNTY, ARIZONA PER BK 2B OF MAPS, PG 6 MCR.

BENCH MARK

3" ARIZONA DEPARTMENT OF TRANSPORTATION ALUMINUM CAP "LITCH" 70± NORTHEAST OF THE RAILROAD
TRACKS AND 1 1/4 MILES NORTHWEST OF THE INTERSECTION OF GRAND AVENUE AND BELL ROAD.
ELEVATION = 1235.42 (CITY OF SURPRISE BENCH MARK #132)

LEGAL DESCRIPTION

LOTS 10, 11, 12, 13, 31 A PORTION OF LOT 9, A PORTION OF THE ABANDONED BEARDSLEY DRIVE AS
ABANDONED BY RESOLUTION RECORDED IN INSTRUMENT NO. 96-0531953 AND IN INSTRUMENT NO.
96-0547089, A PORTION OF THE ABANDONED VISTA ROAD AS ABANDONED BY RESOLUTION RECORDED IN
INSTRUMENT NO. 2005-1547833, AND A PORTION OF THE PARK PARCEL OF BEARDSLEY, TRACT A, A
SUBDIVISION RECORDED IN BOOK 2B OF MAPS, PAGE 6, RECORDS OF MARICOPA COUNTY, ARIZONA AND
BEING SITUATED IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 29, TOWNSHIP 4, RANGE 1 WEST
OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY
DESCRIBED AS FOLLOWS:

BEGINNING AT THE EAST QUARTER CORNER OF SAID SECTION 29;
THENCE SOUTH 90°00' 00" WEST ALONG THE NORTH LINE OF SAID SOUTHEAST QUARTER, A DISTANCE OF
454.18 FEET;
THENCE SOUTH 00°00'00" EAST, A DISTANCE OF 20.00 FEET TO THE TRUE POINT OF BEGINNING OF THE
HEREIN DESCRIBED PARCEL;
THENCE SOUTH 47°16'39" EAST ALONG THE NORTHEASTERLY LINE OF SAID PARK PARCEL AND THE
SOUTHEASTERLY PROLONGATION THEREOF, A DISTANCE OF 196.59 FEET TO THE CENTERLINE OF SAID
ABANDONED BEARDSLEY DRIVE AS RECORDED IN INSTRUMENT NO. 96-0531953 AND INSTRUMENT NO.
96-0547089, RECORDS OF MARICOPA COUNTY, ARIZONA;
THENCE SOUTH 42°43'21" WEST ALONG THE CENTERLINE, A DISTANCE OF 243.50 FEET TO A POINT OF
CURVE, CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 157.00 FEET;
THENCE SOUTHWESTERLY ALONG SAID CENTERLINE AND ALONG THE ARC OF SAID CURVE, THROUGH A
CENTRAL ANGLE OF 47°55'28", AN ARC LENGTH OF 131.32 FEET;
THENCE NORTH 90°00'00" WEST AND CONTINUING ALONG SAID CENTERLINE, A DISTANCE OF 498.48 FEET;
THENCE NORTH 00°00'00" WEST PARALLEL TO AND 33.00 FEET EAST OF THE WEST LINE OF SAID LOT 9, A
DISTANCE OF 295.00 FEET;
THENCE SOUTH 90°00'00" EAST ALONG THE NORTH LINE OF SAID LOTS 9, 10, 11, 12, 13 AND 31, A
DISTANCE OF 489.91 FEET TO A POINT OF CURVE, CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 204.35
FEET;
THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE AND CONTINUING ALONG THE NORTH LINE OF SAID
LOT 31 AND ALONG THE NORTHWESTERLY LINE OF THE ABANDONED VISTA ROAD AND ALONG THE
NORTHWESTERLY LINE OF SAID PARCEL, THROUGH A CENTRAL ANGLE OF 46°30'37", AN ARC LENGTH OF
165.88 FEET TO THE TRUE POINT OF BEGINNING.

SITE AREA

208,936sf = 4.7965 Acres (Net)

SITE DATA

PROJECT DESCRIPTION: B-SINGLE STORY PROFESSIONAL OFFICE COMPLEX
COMPRISING OF PROFESSIONAL CONDO OFFICES

ZONING: C-2

TYPE	USE	SIZE	QUANTITY	AREA
A	OFFICE (MEDICAL)	7996.00	1	7996.00
B	OFFICE (MEDICAL)	4279.75	1	4279.75
C	OFFICE (MEDICAL)	6067.16	1	6067.16
D	OFFICE (MEDICAL)	5278.00	1	5278.00
E	OFFICE (MEDICAL)	5299.33	1	5299.33
H	OFFICE (MEDICAL)	4346.00	1	4346.00
I	OFFICE (MEDICAL)	4356.95	1	4356.95
				TOTAL 37623.19

NET SITE AREA: 4.79 ACRES (208,964 SF)
BUILDING SQUARE FOOTAGE: 37,823.19 SF
BUILDING SITE COVERAGE: 17.9%
PARKING SITE COVERAGE: 17.6%
DWELLING UNIT DENSITY: 17.9%
LANDSCAPE DENSITY:
MEDICAL PARKING REQUIRED (1/200 MIN): 188 SPACES
PARKING PROVIDED (5.8/1000): 222 SPACES
DIMENSIONS: 9'X18'
ACCESSIBLE PARKING PROVIDED: 18 SPACES
DIMENSIONS: 11'X18'
COVERED PARKING PROVIDED: 37 SPACES

CONSTRUCTION TYPE: TYPE VB, SPRINKLED (ALL BUILDINGS)

SHEET INDEX

DESCRIPTION	SHEET NO
COVER SHEET	1
SITE LAYOUT / DEMINSON PLAN	2
CONCEPTUAL GRADING & DRAINAGE PLAN	3
CONCEPTUAL UTILITY PLAN	4

GOVERNING AGENCY & UTILITY COORDINATION LIST

DESCRIPTION	REPRESENTATIVE	PHONE
CITY OF SURPRISE	EDD ANAYA	623-293-8659
ARIZONA AMERICAN WATER	CLIFF WAHLERS	623-445-2447
SOUTHWEST GAS CORP.	FRANCHISE DEPARTMENT	602-328-3554
COX CABLE	SANDRA LAMBLY	623-328-4071
APS	TAMMY MALINAK	623-493-4225
QWEST COMMUNICATIONS		480-964-7282

LEGEND

ITEM	DESCRIPTION
	PROPOSED FIRE HYDRANT
	PROPOSED MAXWELL PLUS DRYWELL
	REBAR FOUND
	PROPOSED SEWER MANHOLE
	PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
	PROPOSED CATCH BASIN
	PROPOSED WATER METER W/ BACKFLOW PREVENTION

ALL PROPOSED DEVELOPMENT PHASES DEPICTED ON THIS SITE PLAN SHALL BE PROVIDED A MINIMUM OF
TWO (2) SEPARATE POINTS OF UNOBSTRUCTED ACCESS WITH A MINIMUM WIDTH OF TWENTY FEET, INSTALLED
AND MAINTAINED PURSUANT TO THE REQUIREMENTS OF THE CITY OF SURPRISE.

C.O.S. CASE NO. SP07-339

REVISIONS:

4700 E. SOUTHERN AVE.
MESA, ARIZONA 85206
PHONE (480) 218-8831
FAX (480) 830-4888

ATWELL-HICKS
DEVELOPMENT CONSULTANTS
Ecological
Water Resources
Planning
Environmental
Engineering
Surveying

COVER SHEET
PROJECT: SURPRISE PROFESSIONAL VILLAGE
SURPRISE, ARIZONA

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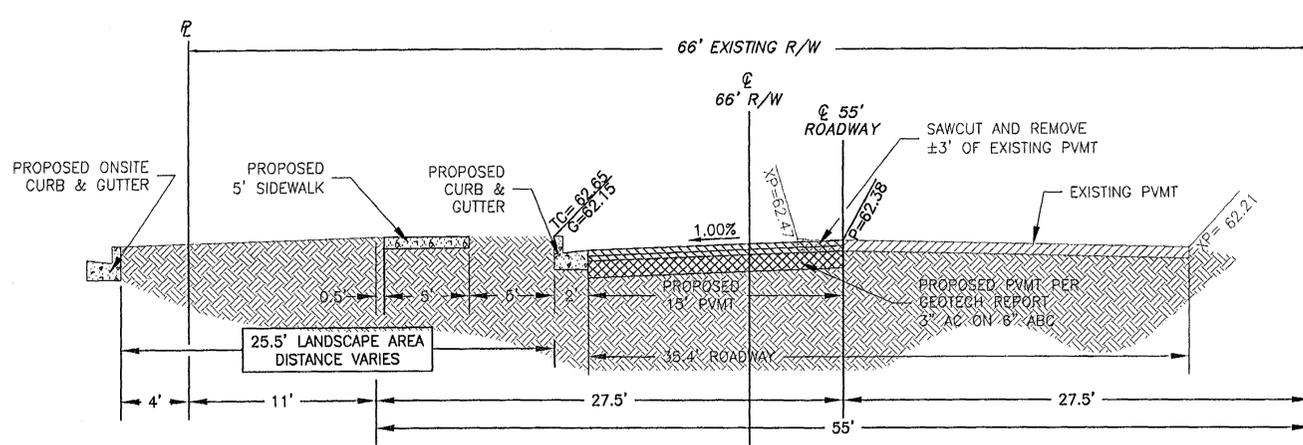


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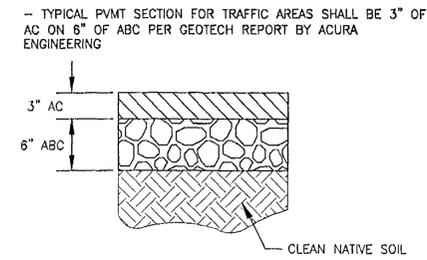
1 OF 4

08/24/17 12:28:07 666666 K:_Exp_Cadd\07000890\07000890.dwg SITE PLAN 07000890CS01.dwg



SECTION H-H
H 1:5
V 1:10

TYPICAL TRAFFIC AREAS PVMT SECTION



NOTE:

- ALL ACCESS ROADS AND ALL TURNING RADIUS, INCLUDING PARKING AISLE ISLANDS SHALL COMPLY WITH REQUIREMENT OF WB-50. SEE TURNING RADII AND ROADWAY DIMENSIONS FOR COMPLIANCE

- (FLB)** FIRE LINE NO PARKING BEGIN SIGN
- (FLI)** FIRE LINE NO PARKING INTERMEDIATE SIGN
- (FLE)** FIRE LINE NO PARKING END SIGN
- (FDA)** FIRE DEPARTMENT ACCESS SIGN

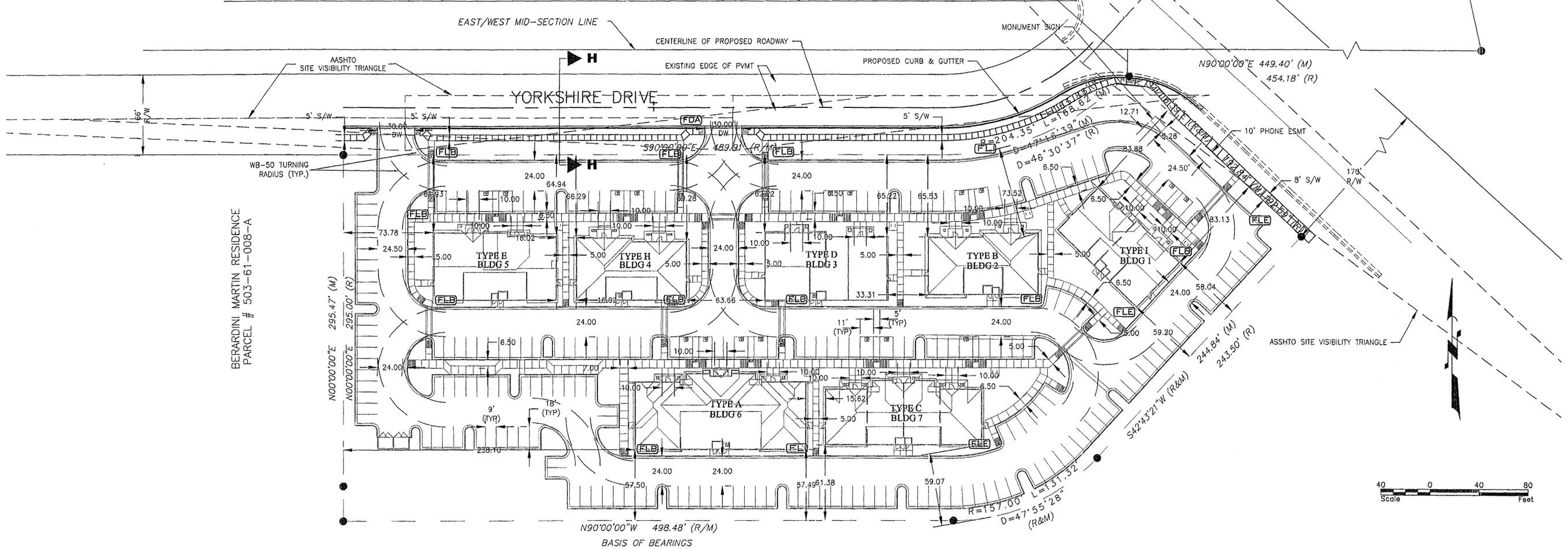
MARICOPA COUNTY MUNICIPAL WATER CONSERVATION DISTRICT PARCEL # 503-60-010

MARICOPA COUNTY MUNICIPAL WATER CONSERVATION DISTRICT PARCEL # 503-60-009

MARICOPA COUNTY MUNICIPAL WATER CONSERVATION DISTRICT PARCEL # 503-62-006

ARIZONA PUBLIC SERVICE CO PARCEL # 503-62-930

EAST 1/4 CORNER SECTION 29, T1N, R1W FOUND IRON PIPE



PROPOSED DEVELOPMENT
THE COLONNADE VILLAS

C.O.S. CASE NO. SP07-339

REVISIONS:

4700 E. SOUTHERN AVE.
MESA, ARIZONA 85206
PHONE (480) 218-8831
FAX (480) 830-4666

ATWELL-HICKS
DEVELOPMENT CONSULTANTS
Planning
Environmental
Surveying
Engineering

SITE LAYOUT/DIMENSION PLAN
PROJECT:
SURPRISE PROFESSIONAL VILLAGE
SURPRISE, ARIZONA

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38112
JARED SCOTT
COX
C.O.S. No. 12/20/07

FILE NO.
070008900L01

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2 OF 4

08/30/20 12:29:07 K:_Proj_Lead\07000890\0000\0000\Site_Plan\070008900L01.dwg

07000890 SURPRISE PROFESSIONAL VILLAGE

COMPOSITE RUNOFF FACTOR CALCULATIONS.

Onsite Areas	Surface Type	Area	C Factor	CA
Impemeable Surfaces		174480.84	0.95	165757
Retention Basins		22495.18	1.00	22495
Landscaping (assumed desert)		57423.98	0.50	28712
Total		254,400		216964
C=				0.85

Basin Calculations

BASIN A					
Contour	Area	Ave Area	Depth	Inc Vol	Total Vol
ft ²	ft ²	ft ²	ft	ft ³	ft ³
1257.2	4774				
1258.2	6377	5576	1	5576	5576
1259.2	9421	7899	1	7899	13475
1260.2	30123	19772	1	19772	33247
Volume Provided=					33247 ft³

BASIN B					
Contour	Area	Ave Area	Depth	Inc Vol	Total Vol
ft ²	ft ²	ft ²	ft	ft ³	ft ³
1259.0	365				
1260.0	783	574	1	574	574
Volume Provided=					574 ft³

BASIN C					
Contour	Area	Ave Area	Depth	Inc Vol	Total Vol
ft ²	ft ²	ft ²	ft	ft ³	ft ³
1259.5	37				
1260.5	297	167	1	167	167
1261.5	743	520	1	520	687
Volume Provided=					687 ft³

Runoff and Retention

Runoff (V) =	DAC	cf	V = Volume of runoff (c.f.)
Precipitation (D) =	0.2333	ft	D = 100-yr, 2-hr rainfall depth
Drainage Area (A) =	see below	sf	A = Area of Drainage Basin
Runoff Factor (C) =	composite runoff calcs		C = Runoff Factor

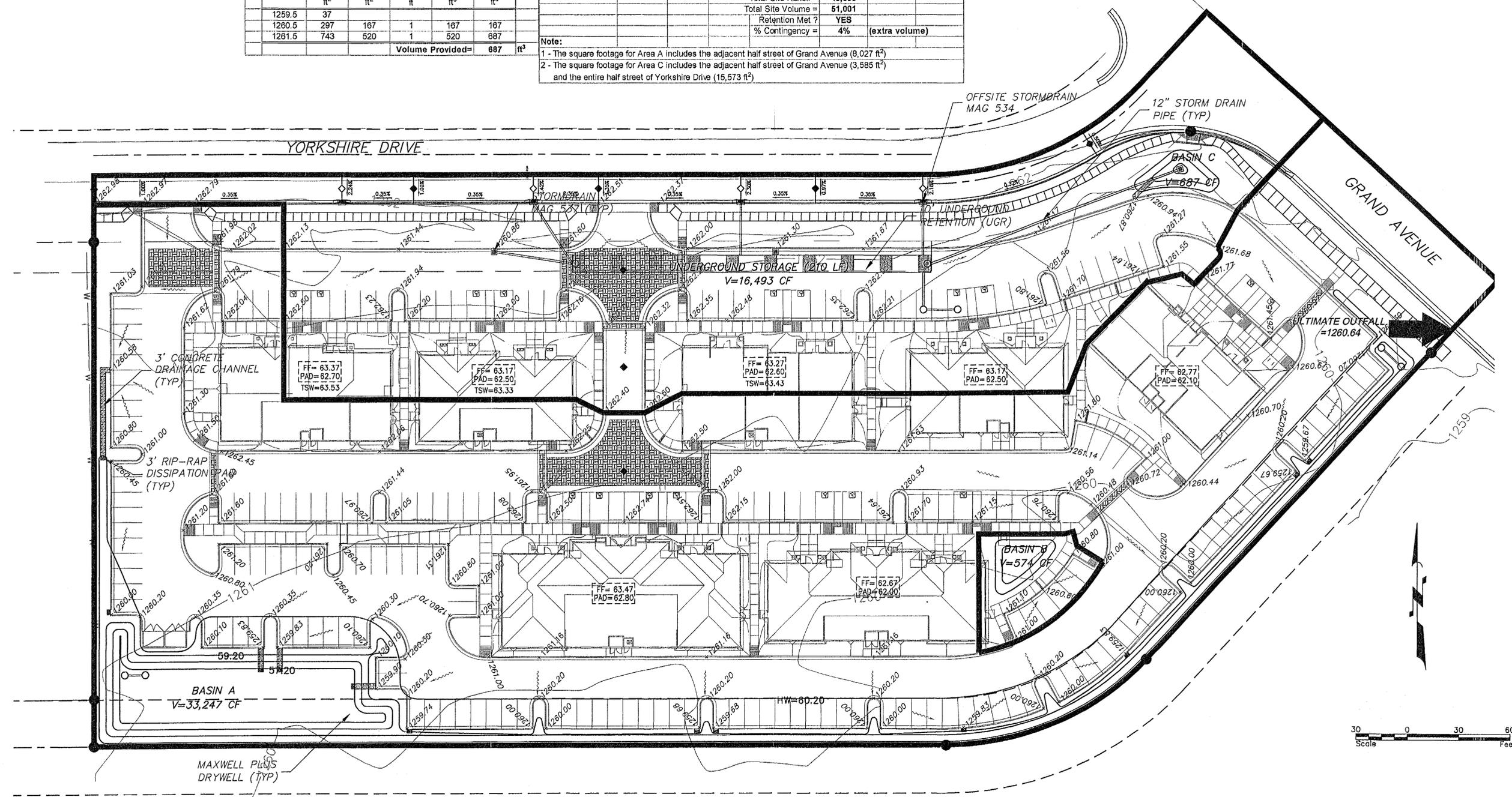
Area Designation	(A) Area	C-Factor	Runoff	Goes to		
				Basin	A	B
ft ²	ft ²		ft ³	ft ³	ft ³	ft ³
A	185,786	0.85	32,876	A	32,876	-
B	3,539	0.85	702	B	-	702
C	77,523	0.85	15,373	C	-	15,373
Total Sq Feet	246,848					
Total Acreage	5.67					

Drainage Area Runoff =	33,004	702	15,130
Length of 10' diameter underground storage pipe =	33,247	574	210
Volume Provided in Basin/Underground Retention=	33,247	574	17,180
Excess Runoff (-) / Excess Volume (+) =	243	-128	2,050
Excess Runoff Routed to Basin=	-	A	-
Drywell required (0.1 cfs Percolation Rate)=	3	0	1
Total Site Runoff =	48,836		
Total Site Volume =	51,001		
Retention Met ?	YES		
% Contingency =	4%	(extra volume)	

Note:
 1 - The square footage for Area A includes the adjacent half street of Grand Avenue (8,027 ft²)
 2 - The square footage for Area C includes the adjacent half street of Grand Avenue (3,585 ft²) and the entire half street of Yorkshire Drive (15,573 ft²)

NOTE:

- ELEVATIONS SHOWN ARE PROPOSED GUTTER ELEVATIONS UNLESS OTHERWISE INDICATED.
- EXISTING CONTOURS AND EXISTING GRADES PROVIDED BY KEOGH ENGINEERING, INC
- DENNIS KEOGH (623) 535-7260
- SITE ULTIMATE OUTFALL=1260.64



REVISIONS:

4700 E. SOUTHERN AVE.
 MESA, ARIZONA 85206
 PHONE (480) 218-8831
 FAX (480) 830-4868

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 Planning
 Environmental
 Engineering
 Surveying
 Water Resources

CONCEPTUAL
 GRADING & DRAINAGE PLAN

PROJECT:
 SURPRISE PROFESSIONAL VILLAGE
 SURPRISE, ARIZONA

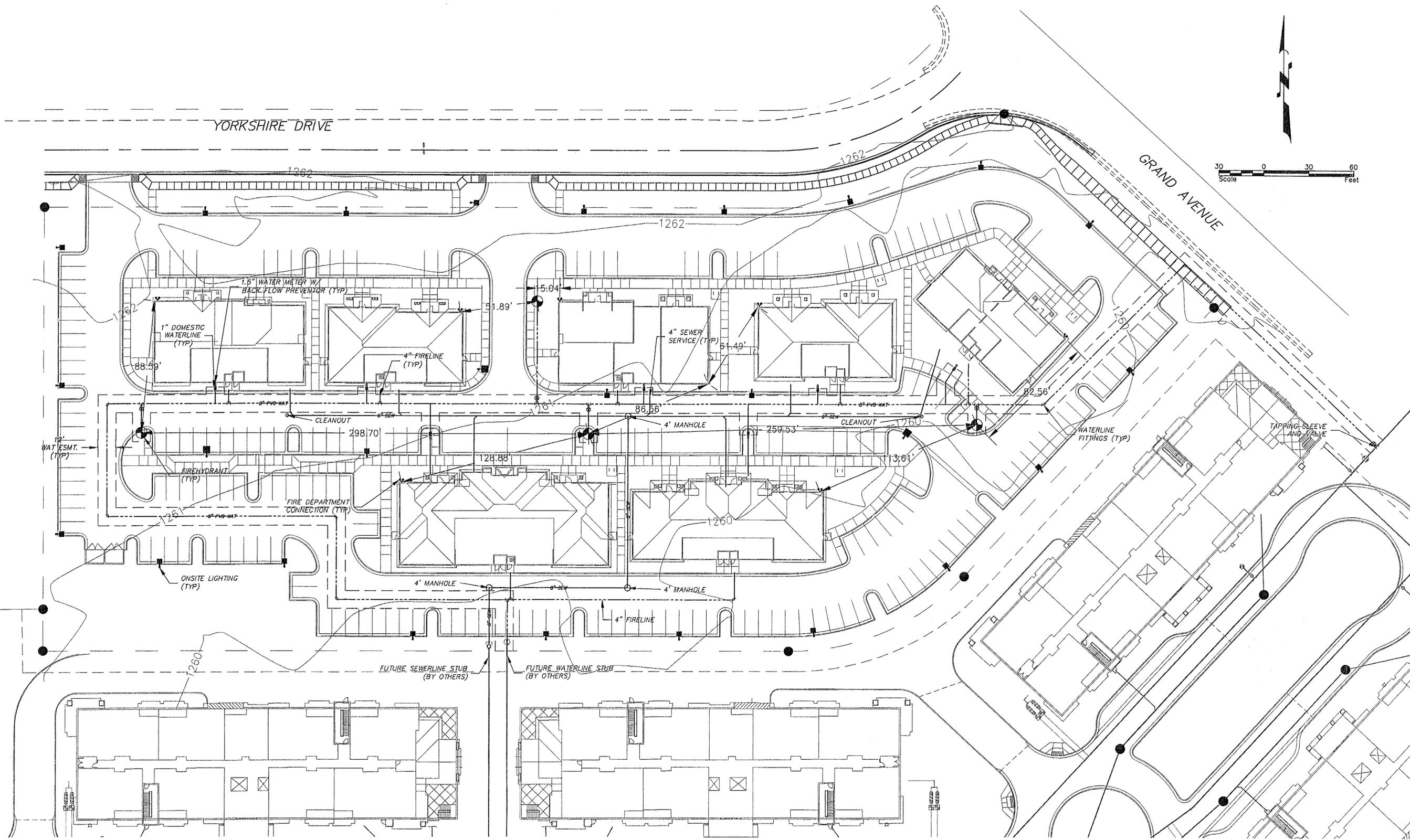
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 (OUTSIDE MARICOPA COUNTY)

38112
 JARED SCOTT
 COX
 REGISTERED PROFESSIONAL ENGINEER
 LICENSE NO. 12188

JOB NO.
 FILE NO.
 07000890CG01

CG01

3 OF 4



C.O.S. CASE NO. SP07-339

REVISIONS

4700 E. SOUTHERN AVE.
 MESA, ARIZONA 85206
 PHONE (480) 218-8831
 FAX (480) 830-4888

ATWELL-HICKS
 DEVELOPMENT CONSULTANTS
 Engineering Surveying
 Planning Environmental
 Ecological Water Resources

CONCEPTUAL UTILITY PLAN
 PROJECT: SURPRISE PROFESSIONAL VILLAGE
 SURPRISE, ARIZONA

CALL THIS NUMBER DAYS BEFORE YOU DO
 602-263-1100
 1-800-STAKE-IT
 (OUTSIDE MARICOPA COUNTY)

38112
 JARED SCOTT
 COX
 PROFESSIONAL ENGINEER
 LICENSE NO. 12160
 ARIZONA U.S.A.

JOB NO.
 FILE NO.
 07000890CU01

CU01

4 OF 4

REPORT TO THE PLANNING AND ZONING COMMISSION

CASE NUMBER: SP07-251 Canyon Pipe and Supply
STIPULATIONS: a through h
PREPARED BY: Hobart Wingard, Planner @ 623.222.3156
hobart.wingard@surpriseaz.com

Application Date: June 25, 2007
Planning & Zoning Commission Hearing Date: February 5, 2008

APPLICANT

Marc Brimhall
Cawley Architects, Inc.
730 North 52nd Street, Suite 200
Phoenix, AZ 85008
Phone 602.393.5060
Fax 602.393.5061
marcb@cawleyarchitects.com

PROPERTY OWNER

Nick Formato
Canyon Pipe and Supply, Inc.
3333 West Vernon
Phoenix, AZ 85009
Phone 602.269.6994
Fax 602.269.7998
nickir@canyonpipe.com

REQUEST

Approval of a site plan proposal for a commercial office, showroom and warehouse project.

SITE LOCATION

The subject site is located generally at the northeast corner of Peoria Avenue and Milgard Way, within Section 22, Township 3 North, Range 1 West of the Gila and Salt River Base and Meridian, Maricopa County, Arizona.

SITE SIZE

The subject site plan encompasses 4.41 gross acres, and 4.22 net acres.

RECOMMENDATION

Staff recommends that this request, a site plan for Canyon Pipe and Supply (SP07-251), generally located on the northeast corner of Peoria Avenue and Milgard Way, be **approved** subject to stipulations a through h.

PROJECT ANALYSIS

Canyon Pipe and Supply will be a single-phased 43,733 square foot light-industrial development consisting of a two-story building in the Skyway Business Park. The overall use of the project is intended to accommodate an office, showrooms, will-call area and warehouse space.

ARCHITECTURE

The design of the Canyon Pipe and Supply warehouse building is consistent with the goals and ideas set forth in the City of Surprise Design Guidelines. Unique to this building is its modern approach to the design of light industrial and warehouse type buildings. The building is properly oriented and is consistent with other modern design themes found in Skyway Commerce Center.

The building's material is predominately concrete and of an exterior finishing system that resembles stucco (EIFS). The majority of the buildings massing consist of scored concrete and insulating glass. Steel columns accent the entrance along with a two storey wall of glass that provides some natural daylight to the interior. A horizontal concrete structural element set in front of the steel columns serves as both a design element and a shade canopy. Mechanical equipment and scuppers are fully screened and integrated with the roof system. This provides a clean streamlined look along the roof, which is usually not typically found in industrial architecture.

CIRCULATION

Vehicular access to the site is available by two access points located along Milgard Way. Milgard is accessible by Peoria Avenue, located approximately 300 feet to the south.

Pedestrian circulation is provided with a five-foot-wide sidewalk along Milgard Way and into the site.

LANDSCAPE

The landscape design for this project will utilize drought resistant plant material and provide adequate screening for surrounding uses. The landscape design review conforms to the adopted City of Surprise Design guidelines.

DEPARTMENTAL REVIEW

All departments have reviewed this application with no additional comments.

EXISTING AND SURROUNDING ZONING

ON-SITE:	Skyway Business Park PAD
NORTH:	Skyway Business Park PAD
EAST:	Skyway Business Park PAD
SOUTH:	Skyway Business Park PAD
WEST:	I-1 Light Industrial

EXISTING AND SURROUNDING LAND USE

ON-SITE: Vacant – Employment
 NORTH: Vacant – Employment
 EAST: Vacant – Employment
 SOUTH: Vacant – Employment
 WEST: Employment – Janus Investments

CONFORMANCE TO ADOPTED LAND USE PLANS

GENERAL PLAN If approved, this request would comply with the Surprise 2020 General Plan.
 DEVELOPMENT PLAN If approved, this request would comply with the Skyway Business Park Planned Area Development.

PROJECT DATA

Zoning	PAD, Skyway Business Park
Building Area	43,733 SF
Site Area	4.22 net acres 183,898 square feet
Parking	67 Required Spaces 70 Provided Spaces

EXISTING UTILITIES AND SERVICES STATUS

WATER City of Surprise
 SEWER City of Surprise
 FIRE PROTECTION The nearest Surprise Fire Station, 305, is located 3.8 miles to the northeast of the project site at 15517 North Parkview Place.
 POLICE PROTECTION The City of Surprise Police Department is located within the City of Surprise Public Safety building located at 14250 West Statler Plaza, approximately 3.5 miles northwest of the project site.

INFRASTRUCTURE

All infrastructure will be developed in accordance with the Surprise Municipal Code.

FINDINGS

The proposed use of the property for a light industrial development is in general conformance with the City of Surprise Municipal Code, as well as the Surprise General Plan 2020. If approved, it will appear to not adversely affect the public health, safety, or welfare.

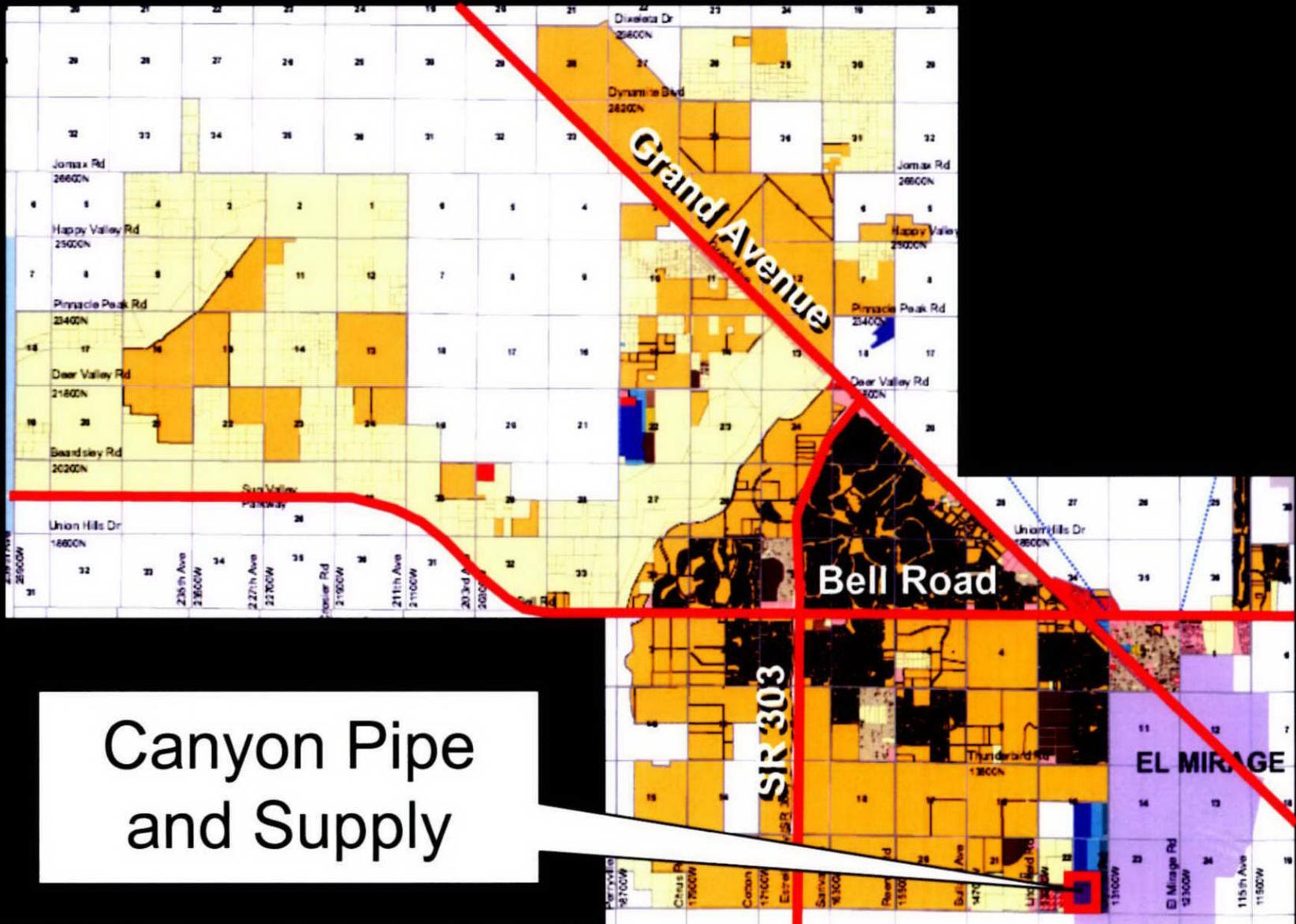
ITEM 5

STANDARD STIPULATIONS:

- a) Prior to delivery of any combustible material to the site, fire department access and fire protection systems shall be completely operational in accordance with the approved plans by the Fire Chief and the City Engineer;
- b) Major changes to this Site Plan with regards to use and intensity must be processed as a revised application with approval by the Planning and Zoning Commission. Minor changes may be administratively approved by the City Engineer, Fire Marshal, Water Services Director, and the Community Development Director;
- c) All parcel numbers shall be active prior to submittal of any building permit and shall stay active throughout the construction process until a Letter of Compliance and/or Certificate of Occupancy is issued. Any subdivision or lot split shall be reviewed and approved by the City of Surprise prior to recordation with Maricopa County;
- d) The applicant shall include all approved stipulations related to the project on the title sheet of construction plans prior to plan check submittal;
- e) Applicant or property owner must provide the City with approved earth moving permit by Maricopa County Environmental Services Department prior to release of any permits;
- f) Approval of this site plan is not to be construed as an approval of any violation of the Surprise Municipal Code, 2006 International Building, Plumbing, Mechanical, Fire Codes and/or the National Electric Codes;
- g) All roof mounted and ground mounted mechanical equipment shall be screened from public view and will be subject to the approval of the Community Development Director;
- h) All mechanical equipment, transformers, gas lines, shall be completely screened from public view prior to letter of compliance and/or certificate of occupancy. Any changes to the landscape plan shall be submitted to the Community Development Department for review and approval.

Location Map

Canyon Pipe and Supply



Canyon Pipe and Supply

SIR 303

EL MIRAGE



Contextual Map

Canyon Pipe and Supply



- Fire Station
- Police Station
- Medical
- Public Park
- Exist. K-8 Schl.
- Prop. K-8 Schl.
- Exist. High Schl.
- Prop. High Schl.

PROJECTS:

1. Skyway
2. Skyway 2
3. Kenly Farms
4. Mountain Gate
5. City of Surprise Water Plant





Arizona Department of Transportation
Intermodal Transportation Division

206 South Seventeenth Avenue Phoenix, Arizona 85007-3213

Janet Napolitano
Governor

Victor M. Mendez
Director

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JUL 09 2007

Debra Brisk
Deputy Director

COMMUNITY DEVELOPMENT

June 29, 2007

Ms. Carol Dager
City of Surprise Planning Department
12425 West Bell Road
Surprise, Arizona 85374

RE: **Canyon Pipe and Supply**/ SP07-251/ 10779 W. Milgard Way

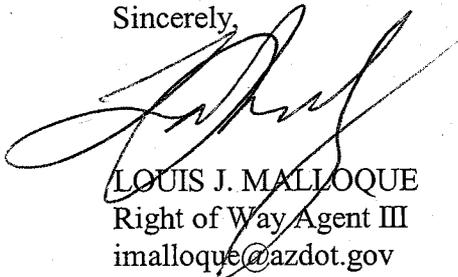
Dear Ms. Dager:

We received a Site Plan from Marc Brimhall of Cawley Architects regarding the above referenced subject. After a complete review, we have concurred that the proposed Plat at this time will have no impact on our highway facilities in this area.

ADOT does reserve the right to review and comment on all development plans for this site as to any impact they may have on the State Highway System.

Should you have any questions, you may contact me at 602-712-8755 or in writing at 205 S. 17th Avenue, Right of Way Project Management Section. Suite 349 MD 612E, Phoenix, Arizona 85007. Thank you in advance for your cooperation.

Sincerely,



LOUIS J. MALLOQUE
Right of Way Agent III
imalloque@azdot.gov

cc: Marc Brimhall, Crawley Architects

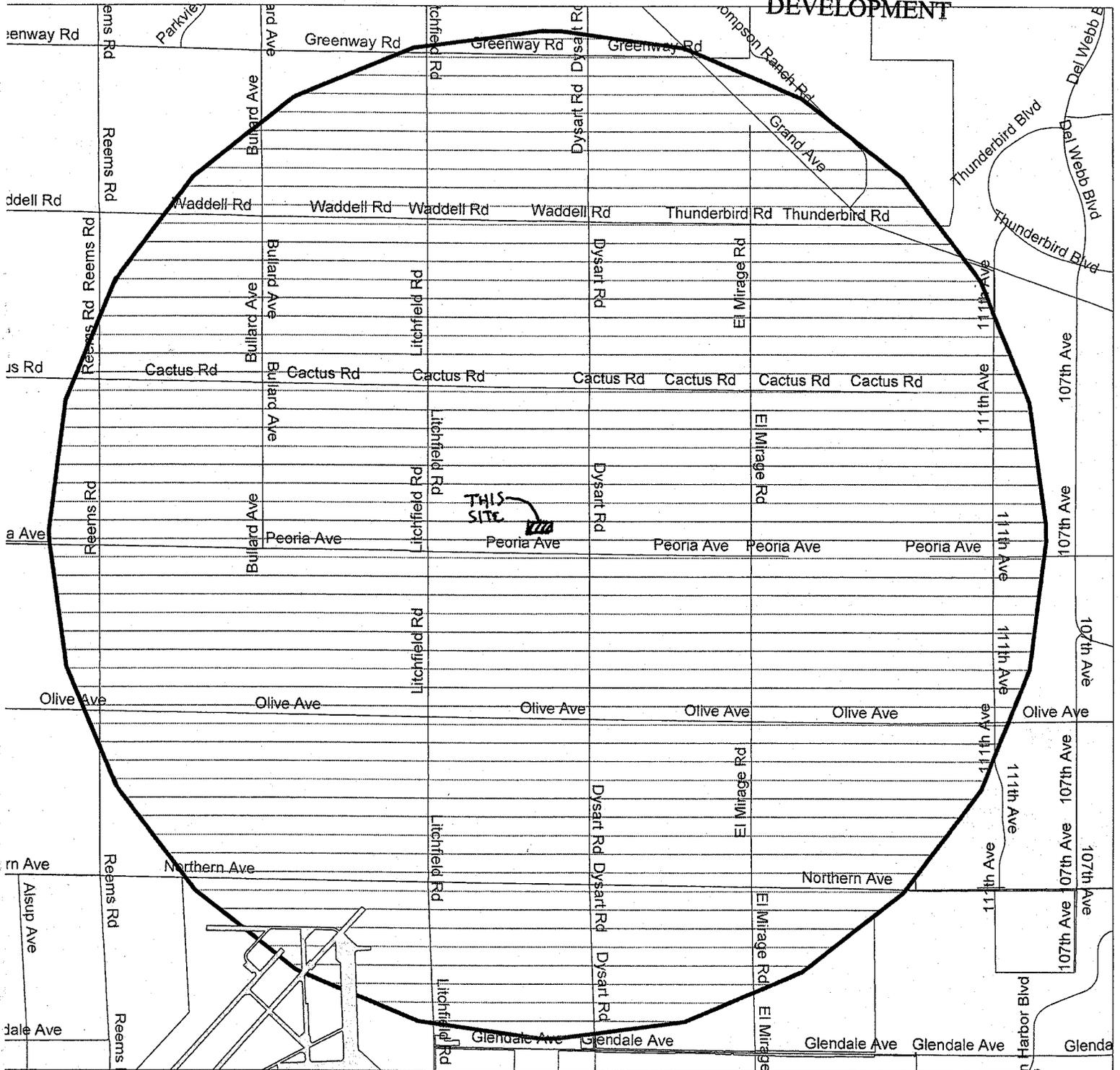


2001 Award Recipient

County Parcels RECEIVED

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To: Final TAC Committee
City of Surprise
From: Marc Brimhall
Subject: TAC Submittal for Canyon Pipe and Supply
Date: Tuesday, June 19th 2007

Project Narrative

This is a request for Technical Advisory Committee approval for Canyon Pipe & Supply, including the Preliminary Grading & Drainage, Landscape, Architectural Site Plan and Exterior Elevations.

This project is located at Northeast corner of Peoria Avenue and Milgard Way. Located on Lot 2 of the 'Skyway Business Park' Final Plat. The site area is 4.22 net acres or 183,898 square feet, more or less (4.41 gross acres, 192,457 square feet).

Canyon Pipe & Supply consists of one (1) building, offering 43,733 square feet of mixed use services per the I-1 Zoning District. A cumulative 70 parking spaces have been provided, resulting in 3.8 spaces per 1,000 square feet. The overall use of this project is intended to accommodate a office/showroom, will call and warehouse project while also providing space for storage and retail functions.

These uses are appropriate for this location for two reasons. First, we feel the proposed uses fall within the intent of the Zoning District and will provide a beneficial and sustained business to the City of Surprise. Secondly, the surrounding area will benefit with the further development of this area from the added appeal though the architecture and design of this project along with the quality of business and services this project will provide.

Historically, this site was agricultural in use, with no visible signs of structures on the property. Attached is the Phase I Environment Report for review. On North, East and South sides of lot 2 are currently not occupied. On the southwest corner of Lot 2 is a existing sewer lift station. This sewer lift station consists of 4,021 square feet, and encompasses 0.09 net acres.

From a Planning and Ordinance aspect, the project provides sufficient parking and utilizes an emergency access point with the property to the south in accordance with Surprise Design Guidelines. Accessible parking has been provided at ratios and dispersed as per the ADA and Code requirements. A complete ADA pedestrian route of travel from the building throughout the site connecting to Milgard Way is also provided. All service areas are oriented in a way to provide screening from the public right of way and providing a clean, thought out progression through the site for vehicles and pedestrians.

Phasing, this project will be completed as one phase. No phasing is proposed.

Thank you in advance for your consideration with this project.

Sincerely,

Marc Brimhall
Cawley Architects, Inc.

Planning and Design Guidelines

Chapter 1, Development Patterns

Spatial and Functional Relationships, Site Planning, Land Use, Streetscape.

This site provides a planned progression from the two main entry points from Milgard way. The building has been oriented to provide direct visibility and Architectural character from the street frontages. Pedestrian circulation is encouraged by a complete sidewalk route providing connectivity to Milgard Way. Landscaping has been provided to comply with ordinance. Overall this project offers an aesthetically, functional and appealing site plan for an industrial development in the I-1 Zoning district.

Chapter 2, Building Form and Architecture.

Building Form, Facades Roof Architecture, Colors and Materials

The architectural design Intent of this project complies with the Chapter 2 guidelines. The massing of the building reflects the multiple uses intended for this project. The building design offers covered entry arcades, architectural entry elements along with recesses that provide solar relief at the entries and windows. Overall, the mass and cohesiveness of the building is maintained through the alternating entry features. The building is also complemented by the color palette, which consists of three colors and the use of metal accents, and tower stepping of building masses. Four sided architectural is provided and follows an identifiable and pleasing architectural pattern.

Chapter 3, Open Space and Common Areas

Open Space

This development is not located within an environmentally sensitive area or floodplain, therefore no special considerations have been provided. On site retention basins have been contoured and landscaped to be aesthetically appealing.

Chapter 4, The Community Circulation System

Vehicle Circulation, Pedestrian and Bicycle Circulation

Canyon Pipe & Supply provides adequate on site circulation of vehicle, pedestrians and bicyclists throughout, and to public ways. Refuse enclosures have been located to provide a 'one pass' pick up for refuse vehicles with minimum backing movements required.

Chapter 5, Parking Facilities

This project complies with Chapter 5, by its parking layout and accessibility to all service points for each building. Parking stalls and dimensions comply with City Requirements. Accessible parking stalls have been provided and located to allow ease of access to any point of public entry into the building. Drive aisles are maintained per Code with obvious flow routes and access to the site. Screening and Landscaping are provided as required and per Ordinance.

Chapter 6, Landscape Design, Buffering and Screening

We have complied with the requirements of Chapter 6, per the attached Landscape Plan. Our Site has incorporated all buffering and screening standards based on the Design Guidelines for Commercial Developments. 19% of the site is landscaped. All screening and buffering is accomplished with 3'-0" high CMU screen walls and landscaping consistent with the site and area.

Chapter 7, Lighting

Lighting is designed for attractive yet efficient security site lighting. Lighting will not trespass beyond the property lines. All light poles will be limited to 16'-0" in height. The final lighting design will provide for safe and adequate light levels for pedestrian and vehicle movement, while accenting the site and buildings.

Chapter 8, Signage

The signage package will be developed under a separate review and submittal, we have identified all proposed building mounted signage.

Chapter 9, Grading

Canyon Pipe & Supply is designed per the City Standards and a Preliminary Drainage Report has been submitted concurrently with this submittal. We have designed the site and the grading to minimize the overall alteration of the natural topography. A complete preliminary Grading and Drainage plan is attached.

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GENERAL NOTES

1. SEE STRUCTURAL DRAWINGS FOR LINE INFORMATION.
2. SEE DOOR SCHEDULE FOR NO. ... UP DOOR HEIGHTS.
3. SEE STRUCTURAL DRAWINGS FOR CONTROL JOINT LOCATIONS.

MATERIAL KEY

MATERIAL DESCRIPTION

- CC CONCRETE TILT WALL
- EE EPS - STYRENE BUTADIENE OR SOLAL OVER STEEL STUD FRAMING

CANOPY KEY

MATERIAL DESCRIPTION

- CC CANOPY FRAME - 8" ST. CHANNEL PAINTED

GLAZING KEY

MATERIAL DESCRIPTION

- 1. AT WINDOW LOCATIONS INDICATES SPANDREL PANELS
- 2. SEE WINDOW TYPES FOR LOCATIONS OF TEMPERED GLASS

COLOR KEY

MATERIAL DESCRIPTION

- 1. SILVER POLISH COLOR ONE CE / 6374
- 2. GABLEROCK COLOR TWO CE / 6373
- 3. LOOKING GLASS COLOR THREE CE / 6378
- 4. NAUTICAL COLOR FOUR CE / 05

SEALANTS

- SALL PAK LIGHT
- SCORCE - 64T
- EXT. RAILING
- BOLLARDS
- LIGHT POLE

TRANSFORMER

1. PAINTER TO PROVIDE A 4" COLOR BANDS WITH ALL DECORATIVE BANDS PAINTED AND PAINTED IN COLORS TO BE SELECTED BY ARCHITECT
2. SEALANTS FOR PROJECTS TO MATCH ADJACENT MATERIAL COLORS - NO WHITE OR OFF-WHITE COLORS ON BUILDING FACADES
3. PAINTER TO PREPARE CONCRETE TILT PANEL OR OTHER SURFACES WITH APPROPRIATE COLOR TO BE APPROVED BY THE OWNER PRIOR TO APPLICATION ON BUILDING FACADES
4. PAINTER TO PROVIDE TWO COATS SEALER TO ALL EXPOSED NATURAL BLOCK, PRECAST CONCRETE, PAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WATER SEALED PROJECT



730 N. 52nd Street
Suite 203
Phoenix, AZ 85008
602.393.5060



CANYON PIPE
& SUPPLY INC.
SPO7-251

LOT 2 OF THE
SKYWAY BUSINESS
PARK
SURPRISE
ARIZONA

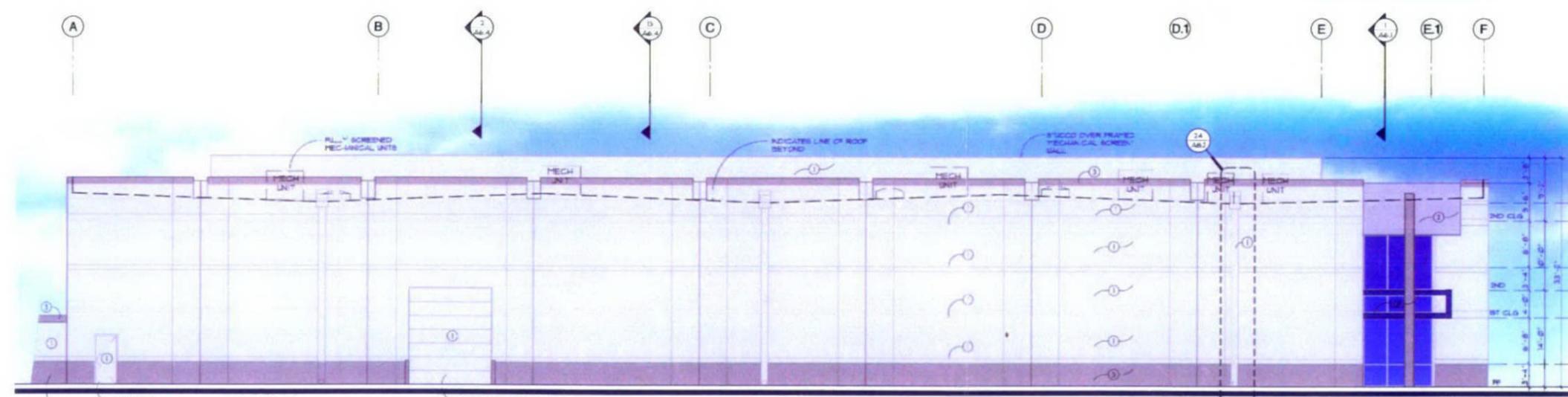
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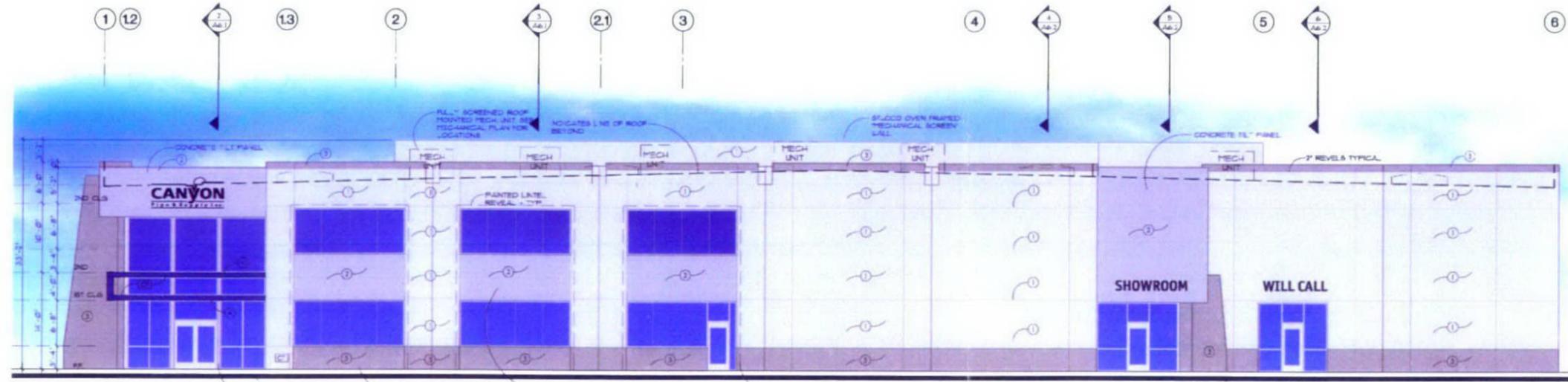
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Discrepancies between bid amounts and these documents shall be resolved in favor of the lowest bidder.

Project: CPS
A7.1
of 2



NORTH ELEVATION

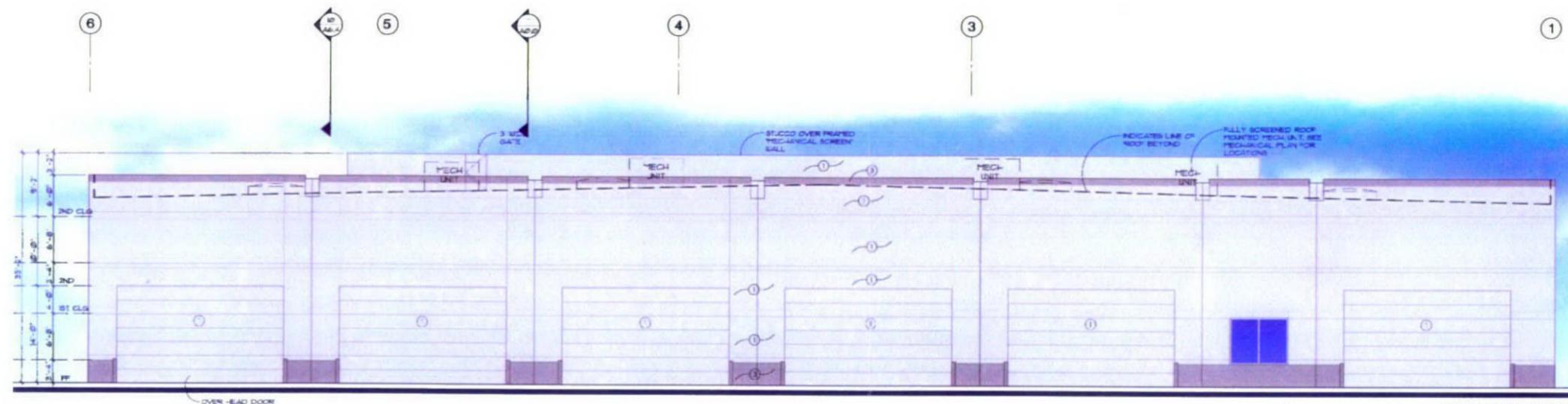


WEST ELEVATION

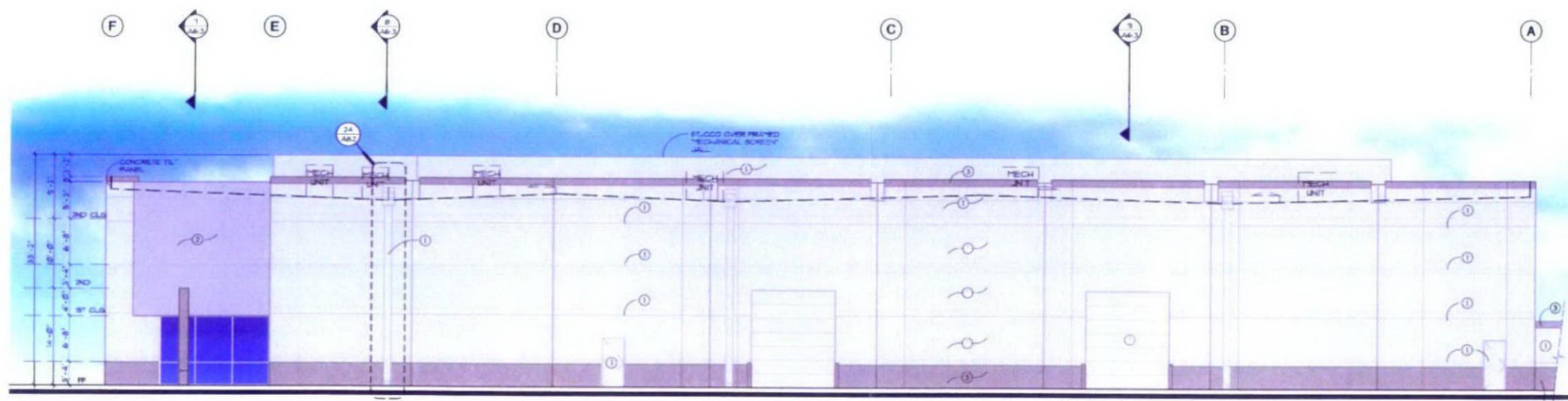
EXTERIOR ELEVATIONS



Project: CPS
A7.1
of 2



EAST ELEVATION



SOUTH ELEVATION

GENERAL NOTES

- SEE STRUCTURAL DRAWINGS FOR Lintel INFORMATION.
- SEE DOOR SCHEDULE FOR ROLL UP DOOR HEIGHTS.
- SEE STRUCTURAL DRAWINGS FOR CONTROL JOINT LOCATIONS.

MATERIAL KEY

MATERIAL DESCRIPTION

- CT CONCRETE T.L. WALL
- ERS EPS - ENERGY SYSTEM OR EQUAL OVER STEEL STUD WALLS

CANOPY KEY

MATERIAL DESCRIPTION

- CA CANOPY FRAME - # 8 SIL CHANNEL PAINTED

GLAZING KEY

MATERIAL	PANEL	COLOR / FINISH
FRAMES	ALUMINUM	CLEAR ANODIZED
EXTERIOR GLASS	1/2"	BLUE REFLECTIVE
INTERIOR GLASS	1/4"	CLEAR

- 1/8" AT JUNCT. LOCATIONS NO GATES SPANDREL PANELS
- SEE JUNCT. TYPES FOR LOCATIONS OF TEMPERED GLASS

COLOR KEY

COLOR KEY OR ELEMENT	COLOR NAME	PKR / COLOR NO.
1	SILVER POLISH	COLOR ONE DE / 6314
2	CASTLEROCK	COLOR TWO DE / 6310
3	LOOKING GLASS	COLOR THREE DE / 6316
4	NAT. CAL.	COLOR FOUR DE / 39

SEALANTS
WALL PAINT 1/4"
SCOFF LIGHT
EXTERIOR WALLS
DOLLARS
LIGHT POLE

TRANSFORMER

1. PAINTER TO PROVIDE A 4 COLOR SCHEME UP ALL EXTERIOR VERTICAL SURFACES AND PAINTED IN COLORS TO BE SELECTED BY ARCHITECT.
2. SEALANTS FOR JOINTS TO MATCH ADJACENT MATERIAL COLORS - NO WHITE OR OFF WHITE COLORS.
3. PAINTER TO PREPARE CONCRETE T.L. PANEL OR OTHER SURFACES WITH APPROPRIATE COLOR TO BE APPROVED BY THE CLIENT PRIOR TO APPLICATION ON EXISTING SURFACES.
4. PAINTER TO PROVIDE TWO COATS SEALER TO ALL EXPOSED NATURAL BLOCK, PRECAST CONCRETE, UNPAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WATER SEALED PROJECT.

EXTERIOR ELEVATIONS

1/8" = 1'-0"

CAWLEY ARCHITECTS
www.cawleyarchitects.com
730 N. 52nd Street
Suite 203
Phoenix, AZ 85008
602.393.5060



CANYON PIPE & SUPPLY INC.
SP07-251

LOT 2 OF THE
SKYWAY BUSINESS
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DATE
12-03-2007

LGE
Landscape Group, Inc.
740 N. 52nd St.
Phoenix, AZ
480.966.4201

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All discrepancies between these documents and other documents shall be reported to Cawley Architects for resolution prior to commencement of the work.

Discrepancies between bid amounts submitted to L.G.E. Construction and these documents shall be reported to L.G.E. prior to commencement of work.

Project: CPS
A7.2
of 2

ZONING: 1-1
VACANT LOT

VACANT LOT

ZONING: 1-1
VACANT LOT

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12.13.07

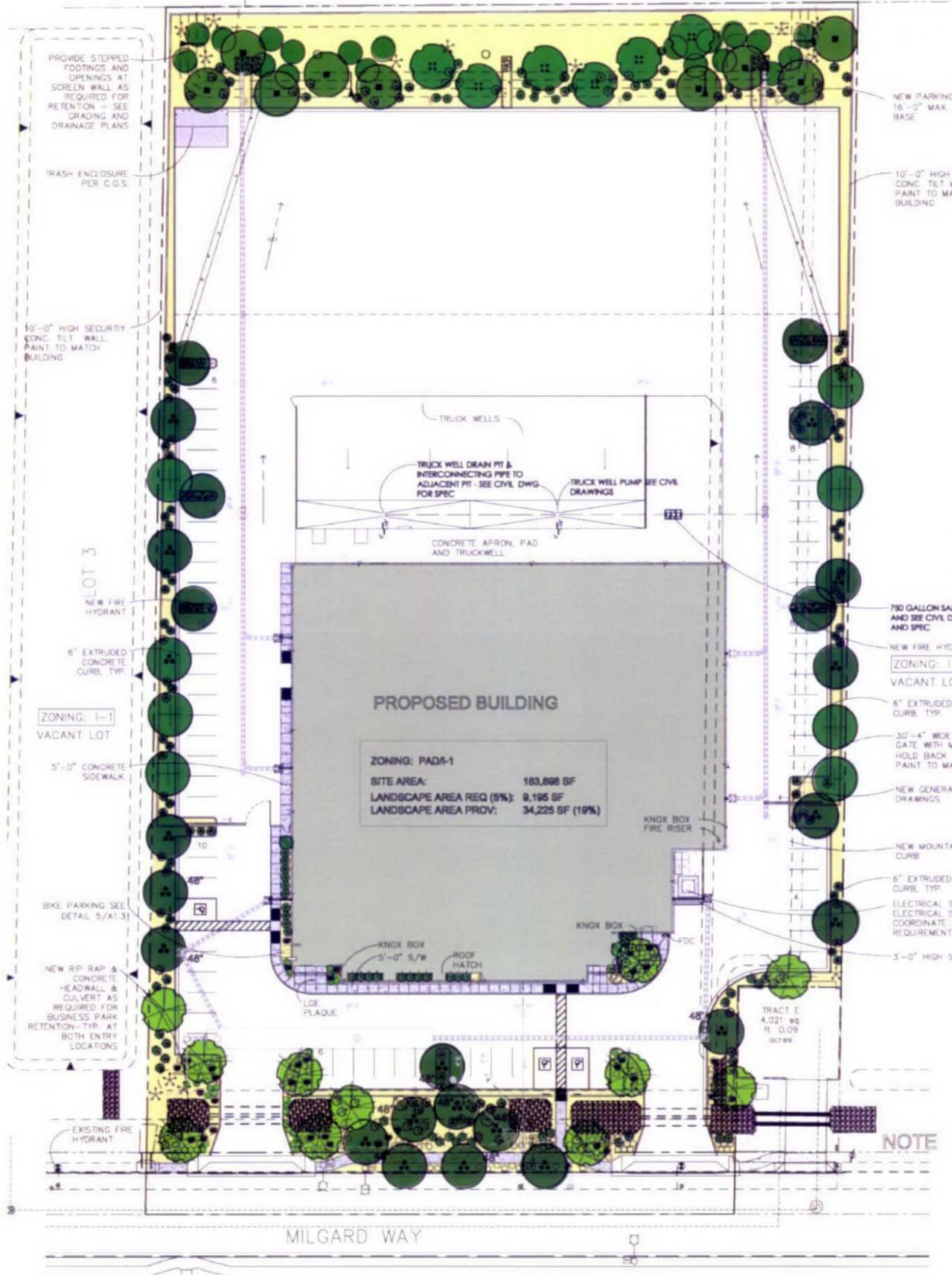
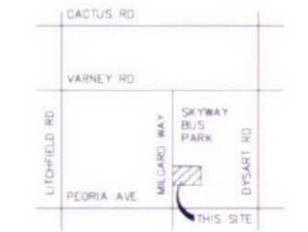
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Phoenix, AZ
480.966.4001

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Project: CYN
CR1
of 1

NOTE
LANDSCAPE LEGEND

- CERCIDIUM SP 'D.MUSEUM' PALO VERDE 48" BOX, LOW-BREAK - 11
- ACACIA SALICINA WILLOW ACACIA 24" BOX, LOW-BREAK - 7
- PROSOPIS C. 'PHOENIX' 'PHOENIX' HYBRID MESQUITE 48" BOX, LOW-BREAK - 6
- DALBERGIA BISSOO BISSOO TREE 36" BOX, STANDARD - 16 48" BOX, STANDARD - 9
- ACACIA STENOPHYLLA SHOESTRING ACACIA 24" BOX, STANDARD - 9
- LEUCOPHYLLUM LANGMANIAE RIO BRAVO SAGE 5 GALLON - 50
- SENNA ARTEMISOIDES FEATHERY CASSIA 5 GALLON - 24
- RUPELLIA PENINSULARIS BAJA RUELLIA 5 GALLON - 30
- EROMOPHILA SP. 'VALENTINE' 'VALENTINE' BUSH 5 GALLON - 18
- CAESALPINIA MEXICANA MEXICAN BIRD OF PARADISE 5 GALLON - 18
- TECOMA 'ORANGE JUBILEE' ORANGE JUBILEE 5 GALLON - 4
- HESPERALOE PARVIFLORA RED YUCCA 5 GALLON - 8
- LEUCOPHYLLUM CANDIDUM 'THUNDER CLOUD' 5 GALLON - 90
- AGAVE DESMITTIANA AGAVE 5 GALLON - 35
- LANTANA MONTEVIDENSIS 'GOLD MOUND' 1 GALLON - 90
- CONVOLVULUS CNEORUM BUSH MORNING GLORY 1 GALLON - 55
- ACACIA REDOLENS 'DESERT CARPET' tm 1 GALLON - 19
- 3/4" SCREENED MADISON GOLD DECOMPOSED GRANITE 2" DEPTH IN ALL LANDSCAPE AREAS
- 3"x3"x3" SURFACE SELECT GRANITE BOULDER MINIMUM 2000lbs EACH
- RIP RAP MATCH EXISTING COLOR AND SIZE



NOTE

T.J. McQUEEN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE
URBAN DESIGN
SITE PLANNING
1121 East Missouri Ave., Suite 218
Phoenix, Arizona 85014
(602) 265-0320



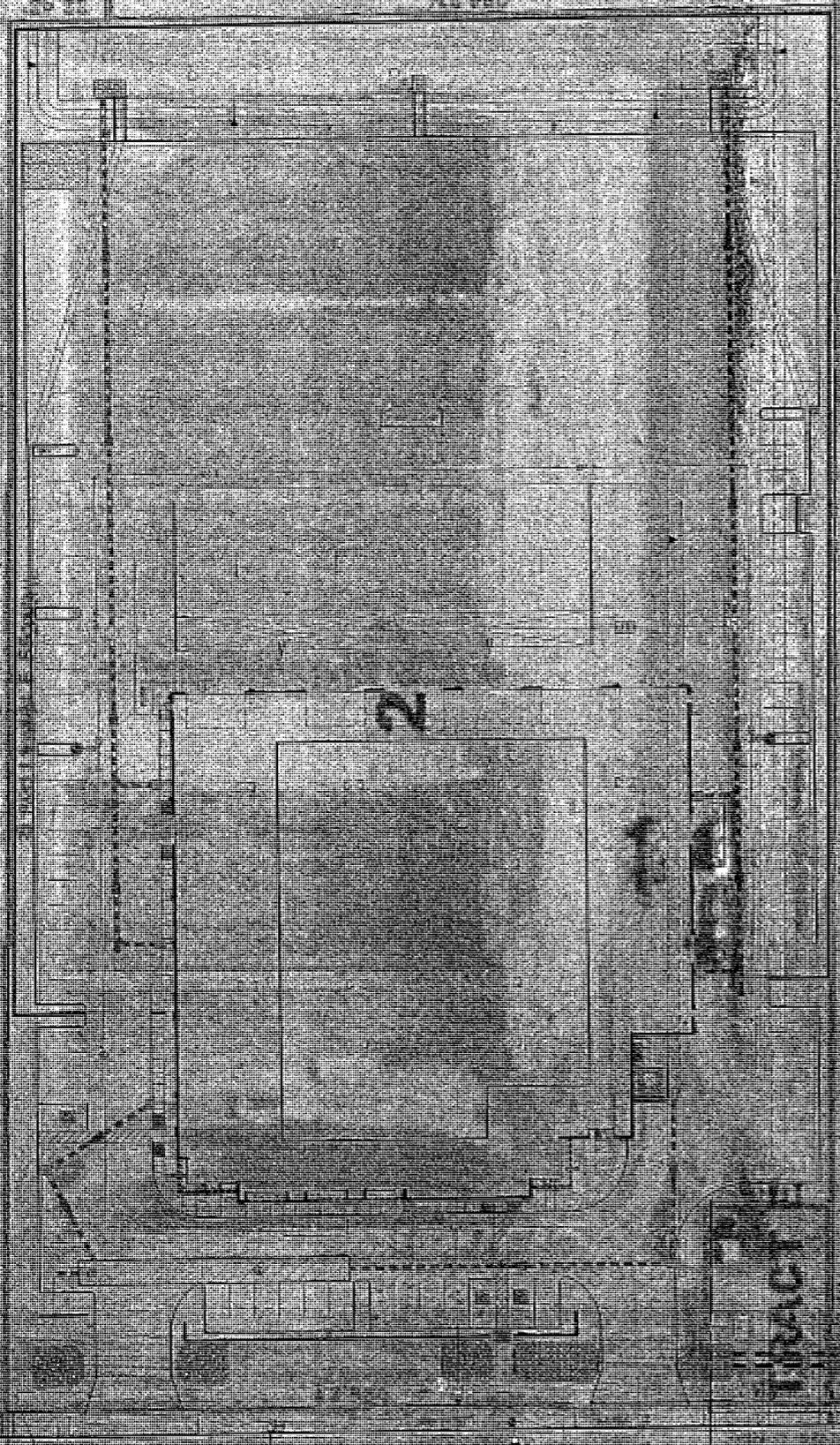
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TRACT 1

PEORIA AVE



TRACT 1

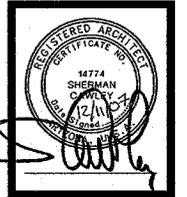
CONTEXT PLAN

MILGARD WAY

MILGARD WAY



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ARIZONA

DATE
12-11-2007

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All discrepancies found in these documents, or conflicts between these documents and actual field conditions shall be reported to Cawley Architects for resolution prior to commencement of the work.

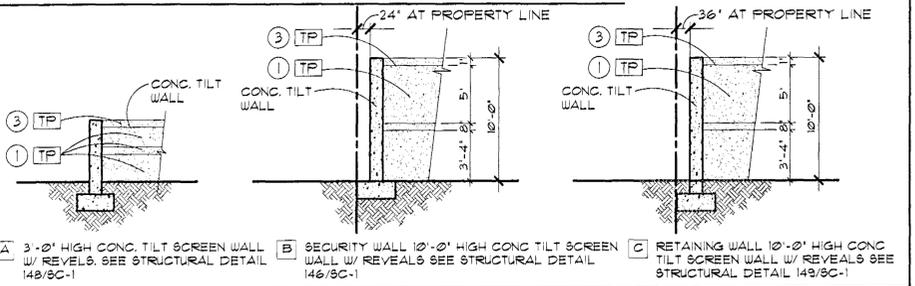
Discrepancies between bid amounts presented to L.G.E. Corporation and these documents shall be reported to L.G.E. prior to commencement of work.

Project: CPS
**CONTEXT
of X**

PROJECT NOTES

ALL UTILITIES SHALL BE PLACED UNDERGROUND.
 ALL AREA LIGHTING ON PROPERTY SHALL BE POSITIONED TO REFLECT LIGHT AWAY FROM ADJACENT PROPERTY.
 ALL EXISTING SIGNS SHALL CONFORM TO THE SIGN ORDINANCE. SIGNAGE IS NOT A PART OF THIS PROJECT. OWNER SHALL SECURE ALL NECESSARY PERMITS PRIOR TO INSTALLATION. SIGNAGE SHALL BE COMPATIBLE WITH BUILDING ARCHITECTURE.
 ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY THE PARAPET'S CONTRACTOR TO VERIFY THAT FINAL UNIT HEIGHTS DO NOT PROJECT ABOVE PARAPET HEIGHTS.
 PAINT ALL TRANSFORMER BOXES, METER PANELS, ELECTRICAL EQUIPMENT, BACKFLOW VALVES, AND OTHER UTILITY EQUIPMENT TO MATCH THE BUILDING COLOR.
 SEE CIVIL PLANS FOR ALL GRADING AND DRAINAGE WORK. CONTRACTOR TO COORDINATE ALL FINISH ELEVATIONS, DIMENSIONS, PAVING REQUIREMENTS, ETC. CONTRACTOR TO COORDINATE ALL UTILITIES TO SITE, INCLUDING WATER, SEWER, ELECTRICAL AND SPRINKLERS.
 SEE MECHANICAL PLANS FOR HVAC EQUIPMENT, INCLUDING LOCATIONS, CURBS, HOOKUP AND MOUNTING REQUIREMENTS.
 SEE PLUMBING PLANS FOR ALL WASTE AND WATER REQUIREMENTS, INCLUDING ROOF DRAINS AND OTHER EQUIPMENT.
 SEE ELECTRICAL PLANS FOR SERVICE AND TELEPHONE EQUIPMENT AND UTILITY COMPANY INFORMATION. CONTRACTOR TO COORDINATE ALL CONDUIT RUNS, EQUIPMENT LOCATIONS AND CLEARANCES AND REQUIREMENTS.
 SEE FIRE PROTECTION PLAN FOR SPRINKLER SYSTEM DESIGN AND SPECIFICATIONS.
 THE GRADE ON THE OUTSIDE OF EXTERIOR DOORS SHALL NOT BE MORE THAN 1/2" LOWER THAN THE THRESHOLD OF THE DOORWAY. THE GRADE MAY NOT SLOPE MORE THAN 1/4" PER FOOT.
 FOR SIDEWALK TEXTURES SEE SITE PLAN.
 OWNERS OF PROPERTY ADJACENT TO THE PUBLIC RIGHT-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING WITHIN THE RIGHTS-OF-WAY IN ACCORDANCE WITH THE APPROVED PLANS.
 PROVIDE TERMITE TREATMENT AS PER CITY AND STATE STANDARD AND PROVIDE A 5 YEAR WARRANTY.
 ALL CURBS SHALL BE EXTRUDED 6" CONCRETE CURBS.
 VERTICAL CONSTRUCTION WITH COMBUSTIBLE MATERIALS SHALL NOT BEGIN PRIOR TO ACCEPTANCE OF FIRE ACCESS ROADS AND FIRE HYDRANTS.
 FIRE LANE CONSTRUCTION TO BE PER F.P.D. 907-1 & 907-2 (SEE CIVIL).
 ALL PROPOSED DEVELOPMENT PHASES DEPICTED ON THIS SITE PLAN SHALL BE PROVIDED A MINIMUM OF TWO (2) SEPARATE POINTS OF UNOBSTRUCTED ACCESS WITH A MINIMUM WIDTH OF TWENTY (20) FEET, INSTALLED AND MAINTAINED PURSUANT TO THE REQUIREMENTS OF THE CITY OF SURPRISE.

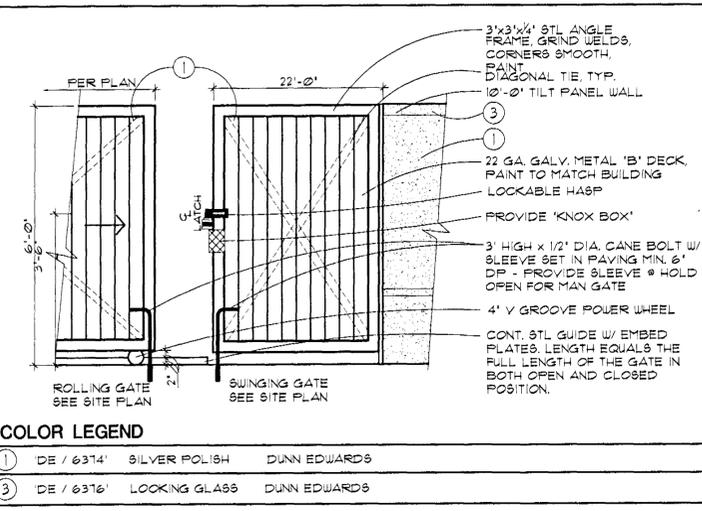
SITE SCREEN WALL SCHEDULE



WALL MATERIAL & FINISH
(TP) PAINTED CONC. TILT PANEL
(1) 'DE / 6314' LOOKING GLASS DUNN EDWARDS
(3) 'DE / 6316' SILVER POLISH DUNN EDWARDS
WALL TYPE / DESCRIPTION
A SITE SCREEN - 3'-0" HIGH CONC. TILT SITE SCREEN WALL W/ REVELS AS SHOWN, PAINT TO MATCH BLDG, SEE STRUCTURAL SHEET
B SECURITY - 10'-0" HIGH CONC. TILT SCREEN WALL W/ REVELS AS SHOWN, PAINT TO MATCH BLDG, SEE STRUCTURAL SHEET 9C-1
C RETAINING WALL - 10'-0" HIGH CONC. TILT SCREEN WALL W/ REVELS AS SHOWN, PAINT TO MATCH BLDG, SEE STRUCTURAL SHEET 9C-1

GENERAL NOTES:

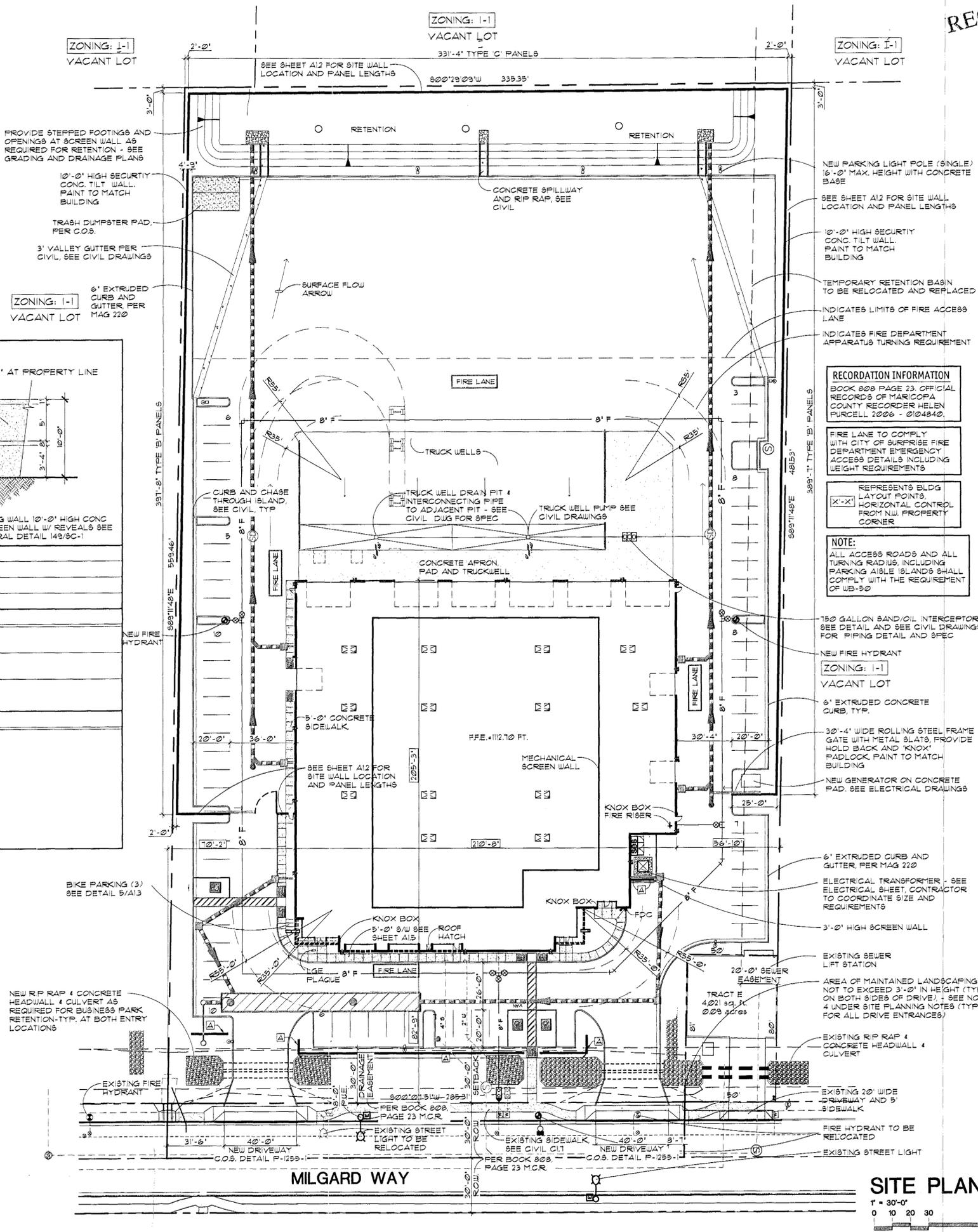
1. PARKING SCREEN WALLS TO BE A MINIMUM OF THREE FEET AND A MAXIMUM OF FOUR FEET ABOVE THE HIGHEST ADJACENT FINISHED GRADE OF THE PARKING AREA OR STREET CURB, WHICHEVER IS HIGHER.
2. PROVIDE STEPPED FOOTINGS AS PER THE STRUCTURAL DRAWINGS AT SCREEN WALLS IN RETENTION AREAS AS REQUIRED BY THE CIVIL GRADING AND DRAINAGE PLANS.
3. SEE STRUCTURAL DIGGS FOR ALL FOOTING AND REINFORCING INFORMATION.
4. COORDINATE OPENINGS AND WEEPS IN BOTTOM OF WALLS WITH CIVIL DRAWINGS.



COLOR LEGEND

(1) 'DE / 6314' SILVER POLISH DUNN EDWARDS
(3) 'DE / 6316' LOOKING GLASS DUNN EDWARDS

ROLLING GATE W/ EXIT GATE
 SCALE: N.T.S.



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 COMMUNITY DEVELOPMENT

LGE
 CANYON PIPE & SUPPLY, INC.

PROJECT: CANYON PIPE & SUPPLY, INC.
 ADDRESS: T.B.A. SURPRISE, AZ
 DEVELOPER: LGE CORPORATION, 1420 NORTH 57th STREET, PHOENIX, ARIZONA 85008
 SCOPE: LEGAL DESCRIPTION: A NEW COMMERCIAL BUILDING LOT 2 OF SKYWAY BUSINESS PARK
 ZONING: PAD (1-1)
 SITE AREA: 183,898 SF. (NET) 1422 ACRES
 BUILDING AREA: 43,161 SF.
 1st FLOOR: 40,410 SF.
 LOT COVERAGE: 21%
 F.A.R.: 23%
 LANDSCAPE AREA: 34,225 SF.
 LANDSCAPE COVERAGE: 18%
 OCCUPANCY: B / S-1 / M
 CONSTRUCTION TYPE: III-B W/A.F.E.S. (NON-SEPARATED USES PER SECTION 302.3.1)
 ALLOWABLE AREA CALCULATION: Aa + A1 + (A1f / 100) + (A1s / 100)
 Aa = 12,500 * (12,500 / 100) + (12,500 * (200) / 100)

RECORDATION INFORMATION
 BOOK 808 PAGE 23 OFFICIAL RECORDS OF MARICOPA COUNTY RECORDER HELEN PURCELL 2006 - 0104840.
 FIRE LANE TO COMPLY WITH CITY OF SURPRISE FIRE DEPARTMENT EMERGENCY ACCESS DETAILS INCLUDING HEIGHT REQUIREMENTS.
 REPRESENTS BLDG LAYOUT POINTS HORIZONTAL CONTROL FROM N.W. PROPERTY CORNER.

NOTE:
 ALL ACCESS ROADS AND ALL TURNING RADII, INCLUDING PARKING ISLANDS SHALL COMPLY WITH THE REQUIREMENT OF UB-50.
 750 GALLON SAND/OIL INTERCEPTOR - SEE DETAIL AND SEE CIVIL DRAWINGS FOR PIPING DETAIL AND SPEC.
 NEW FIRE HYDRANT
 ZONING: I-1
 VACANT LOT
 6" EXTRUDED CONCRETE CURB, TYP.
 30'-4" WIDE ROLLING STEEL FRAME GATE WITH METAL SLATS, PROVIDE HOLD BACK AND 'KNOX' PADLOCK, PAINT TO MATCH BUILDING.
 NEW GENERATOR ON CONCRETE PAD. SEE ELECTRICAL DRAWINGS.

AREA CALC.

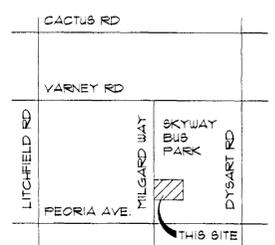
FLOOR	2ND FLOOR	TOTAL
OFFICE 3,300 SF.	2,850 SF.	6,150 SF.
SHOWROOM 2,750 SF.	2,750 SF.	5,500 SF.
WAREHOUSE & WILL CALL 33,785 SF.		33,785 SF.
EXT. OFFICES 475 SF.		475 SF.
TOTAL BUILDING AREA		43,161 SF.
BUILDING FOOTPRINT		40,410 SF.

REQUIRED PARKING CALC.

OCCUPANCY	SQ. FT.	FACTOR	TOTAL
OFFICE	6,150 SF.	285	22
SHOWROOM	2,750 SF.	250	11
WAREHOUSE & WILL CALL	33,785 SF.	1000	34
TOTAL			67

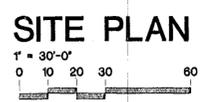
PARKING PROVIDED

TOTAL ACCESSIBLE SPACES	3
TOTAL COVERED SPACES	67
TOTAL REGULAR SPACES	61
TOTAL SPACES ON SITE	10

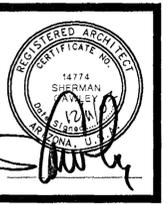


VICINITY MAP
 N.T.S.

NOTE: ALL PROPOSED DEVELOPMENT PHASES DEPICTED ON THIS SITE PLAN SHALL BE PROVIDED A MINIMUM OF TWO (2) SEPARATE POINTS OF UNOBSTRUCTED ACCESS WITH A MINIMUM WIDTH OF TWENTY FEET, INSTALLED AND MAINTAINED PURSUANT TO THE REQUIREMENTS OF THE CITY OF SURPRISE.



SITE PLAN
 1" = 30'-0"
 0 10 20 30 60



CANYON PIPE & SUPPLY INC.
 SP07-251

LOT 2 OF THE SKYWAY BUSINESS PARK SURPRISE ARIZONA

DATE
 12 - 11 - 2007

LGE
 DESIGN BUILD
 740 N. 52nd St. Phoenix, AZ 480.966.4001

The architectural design and data presented in these documents is an instrument of service provided by Cawley Architects for the exclusive use of L.G.E. Corporation in connection with the Design/Build construction contract. Any other use or release of these drawings may result in civil damages.
 All discrepancies found in these documents, or conflicts between these documents and actual field conditions, shall be reported to Cawley Architects for resolution prior to commencement of the work.
 Discrepancies between bid amounts presented by L.G.E. Corporation and these documents shall be reported to L.G.E. prior to commencement of work.

Project: CPS
 A1.1 of X

REPORT TO THE PLANNING AND ZONING COMMISSION

CASE NUMBER: SP06-364 (Arizona Federal Credit Union)
STIPULATIONS: a through i
PREPARED BY: David Neal, Planner at 623.222.3136

Application Date: September 21, 2006
Planning & Zoning Commission Hearing Date: February 5, 2008

APPLICANT: Woods-Associates, Inc.
757 North Broadway, Suite 700
Milwaukee, Wisconsin 53202
414.291.0772

PROPERTY OWNER: Arizona Federal Credit Union
333 North 44th Street
Phoenix, Arizona 85008
602.602.1025

REQUEST: Approval of a site plan for Arizona Federal Credit Union.

SITE LOCATION: The subject site is located at the northwest corner of Greenway Road and Reems Road.

SITE SIZE: The subject site is approximately 1.84 Gross Acres.

<u>RECOMMENDATION:</u>	Staff recommends that this request, a site plan for Arizona Federal Credit Union (SP06-364), located at the northwest corner of Greenway Road and Reems Road, be approved subject to stipulations a through i .
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PROJECT ANALYSIS:

The subject request is for the approval of a 5,250 S.F. freestanding building to be used as an Arizona Federal Credit Union at the undeveloped northwest corner of the Greenway Road and Reems Road intersection. The area directly surrounding this site is currently under development as retail and office space with the Reems Road Retail/Office project approved by planning and zoning commission in 2007.

SITE DESIGN:

The building is centrally located on the site with shared access from the surrounding office and retail development. Drive-thru service will be provided facing Reems Road with the drive access curved around the building to face Greenway Road. Parking will be provided toward the interior of the site.

LANDSCAPE:

The site uses a variety of low water use plant material to soften the overall appearance of the site. The existing landscaping along Reems Road will be enhanced with additional trees and ground cover. The drainage area along Reems Road will maintain the current turf landscaping. Landscape islands will be used through the parking areas to break up long rows of parking.

ARCHITECTURE:

The design of the Arizona Federal building is consistent with the goals and ideas set forth in the City of Surprise Design Guidelines. The design of the building is consistent with the contemporary architectural elements of the previously approved Greenway Retail. Set on the corner of Reems and Greenway, the building's orientation properly addresses Greenway and Reems Roads.

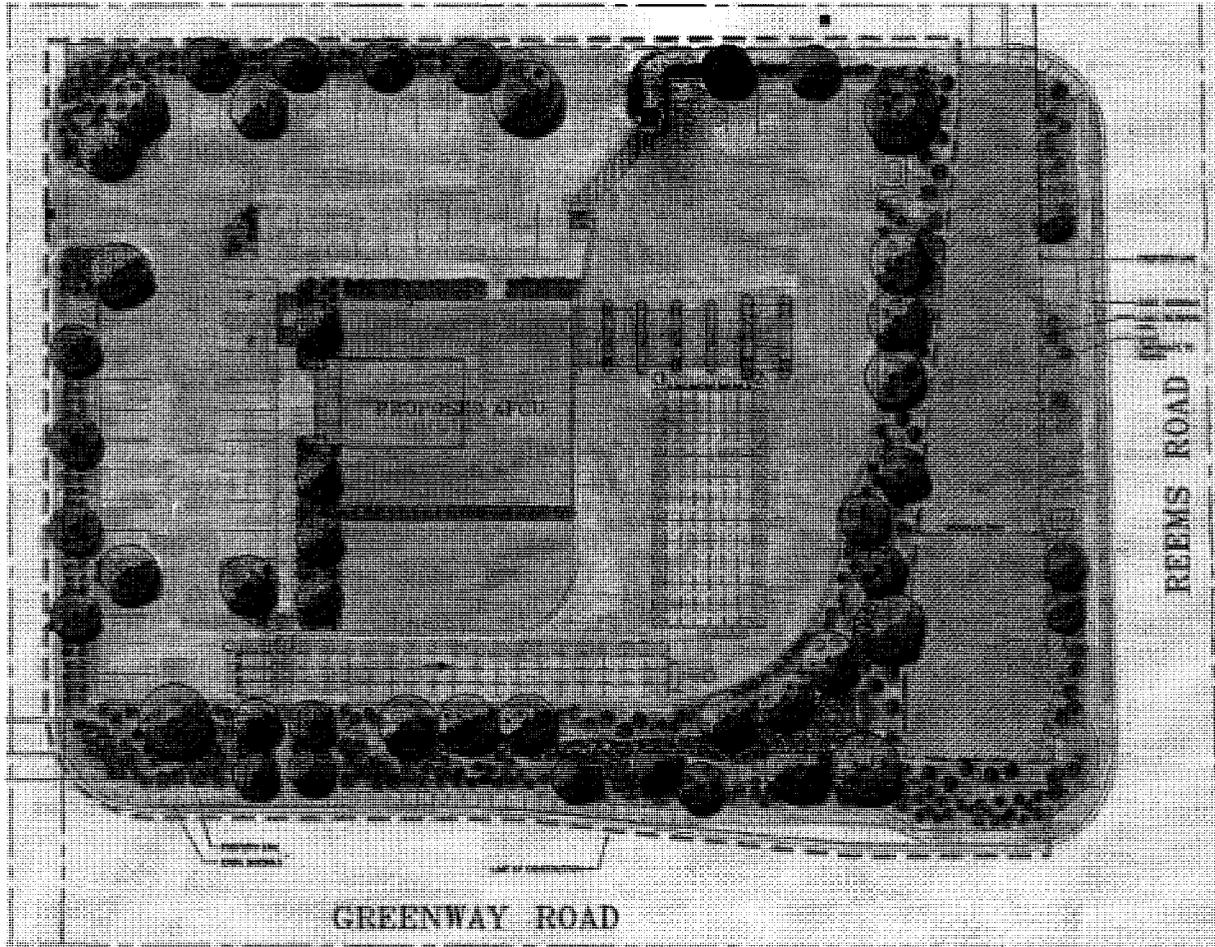
Building materials consist primarily of stone, EIFS and concrete brick in varying earth tone colors. The building's entrance tower element is capped with metal trellis/cornice element that is repeated throughout the adjacent Greenway Retail Project. The tower's clerestory windows filter some daylight into the interior, as well as adding some relief to the building's massing. Flanked on both sides of the entrance are stone veneer columns which support the tower canopy over the main entrance.

SUMMARY:

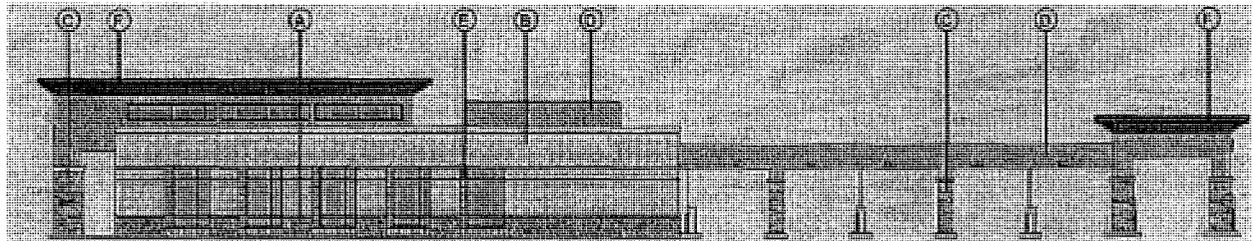
This project has taken longer than usual for a site plan. The building, site layout, landscaping, and architecture have not been an issue throughout the review process. The extra time in designing the project comes from solving engineering and applicant budgetary issues for the inclusion of a right turn lane from Reems Road to Greenway Road. After deciding to move forward with the project, the applicant has worked with city staff to include the turn lane in the project. Final design and bonding issues will be worked out during the civil permitting phase of this project.



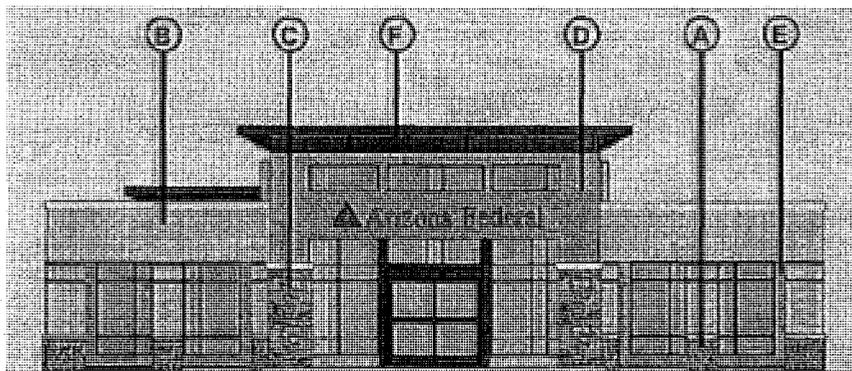
Vicinity Map



Site Plan



South Elevation



West Elevation

HISTORY

The site has been vacant since it was annexed into the City in 1984. There is an existing drainage channel along Reems Road and an installed sidewalk along Greenway Road. The land immediately north and west is being developed as the Reems Road Retail/Office project.

EXISTING AND SURROUNDING ZONING:

ON-SITE: PAD Mountain Vista Ranch
 NORTH: PAD Mountain Vista Ranch
 SOUTH: R1-5
 EAST: C-2
 WEST: PAD Mountain Vista Ranch

EXISTING AND SURROUNDING LAND USE:

ON-SITE: Commercial
 NORTH: Commercial
 SOUTH: Residential
 EAST: Commercial
 WEST: Commercial

COMPARISON TO THE ZONING ORDINANCE

Standard	Required	Provided
Parking	21	50
Accessible Parking	2	2
Building Height Maximum	35'	28'

DEPARTMENTAL REVIEW:

All departments involved in the subject review of the site plan are recommending the project for approval subject to all stipulations.

EXISTING UTILITIES AND SERVICES STATUS:

WATER City of Surprise

SEWER City of Surprise

FIRE PROTECTION The closest fire station (305) is located at 15517 North Parkview Place (approximately 1/2 mile)

POLICE PROTECTION: The closest police station is located at 14250 West Statler Plaza (Approximately 1.5 miles)

INFRASTRUCTURE

All infrastructure will be developed in accordance with the Surprise Municipal Code.

STIPULATIONS:

- a) Prior to delivery of any combustible material to the site, fire department access and fire protection systems shall be completely operational in accordance with the approved plans by the Fire Chief and the City Engineer;
- b) Major changes to this Site Plan with regards to use and intensity must be processed as a revised application with approval by the Planning and Zoning Commission. Minor changes may be administratively approved by the Community Development Director, Fire Marshal, City Engineer, and Water Services Director;
- c) The applicant shall include all approved stipulations related to the project on the title sheet of construction plans prior to plan check submittal;
- d) Applicant or property owner must provide the City with approved earth moving permit by Maricopa County Environmental Services Department prior to release of any permits;
- e) Approval of this site plan is not to be construed as an approval of any violation of the current adopted Surprise Municipal Code at the time of submission;
- f) Signs will be permitted under a separate application;
- g) All roof mounted and ground mounted mechanical equipment shall be screened from public view and will be subject to the approval of the Community Development Director;
- h) Site visibility triangles will need to be shown on building and civil plans and meet AASHTO standards;
- i) All access roads and all turning radius, including parking aisle islands, shall comply with requirement of WB-50.



Arizona Federal Credit Union

Greenway and Reems
Surprise, Arizona 85379



3 mile radius

N Reems Rd & W Greenway Rd
Surprise, Arizona 85379

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Arizona Federal Surprise Project Description—NWC Greenway & Reems

The proposed Arizona Federal Credit Union facility is to be located at the northwest corner of Greenway and Reems in Surprise. The building design utilizes the AFCU facility brand identity being used throughout the Phoenix area. The architecture creates a consistent, highly recognizable branch image for the credit union. Exterior materials are very high quality and low maintenance; a combination of decorative split face block at the base, brick and slate stone window accent panels. The sun-shade, or crown, is painted steel. The glass is tinted and fritted to reduce heat gain and glare yet provide a very visible entry.

The site layout provides for maximum separation of drive thru and pedestrian traffic for safety. It also has room for potential future building and parking expansion.

General Description:

Site: 1.84 acres

Building Size: 5,250 square feet with approximately 1,750 square feet of expansion area

Tellers: 4 +ADA

Drive thru: 4 lanes + 2 ATM lanes

Employee Parking: 15 spaces

Member Parking: 41 spaces

Handicap Parking: 2 spaces

This will be a full service branch offering a complete line of services to existing and new members in the Surprise area. This project is currently slated for 2008 construction pending review and approvals from the City of Surprise.

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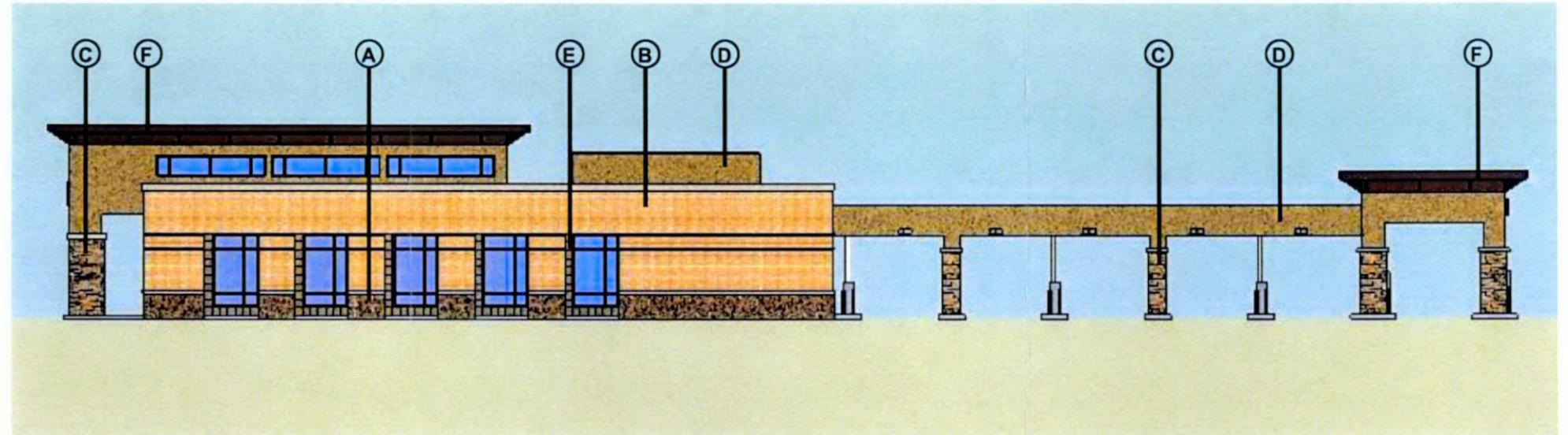
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COMMUNITY
DEVELOPMENT



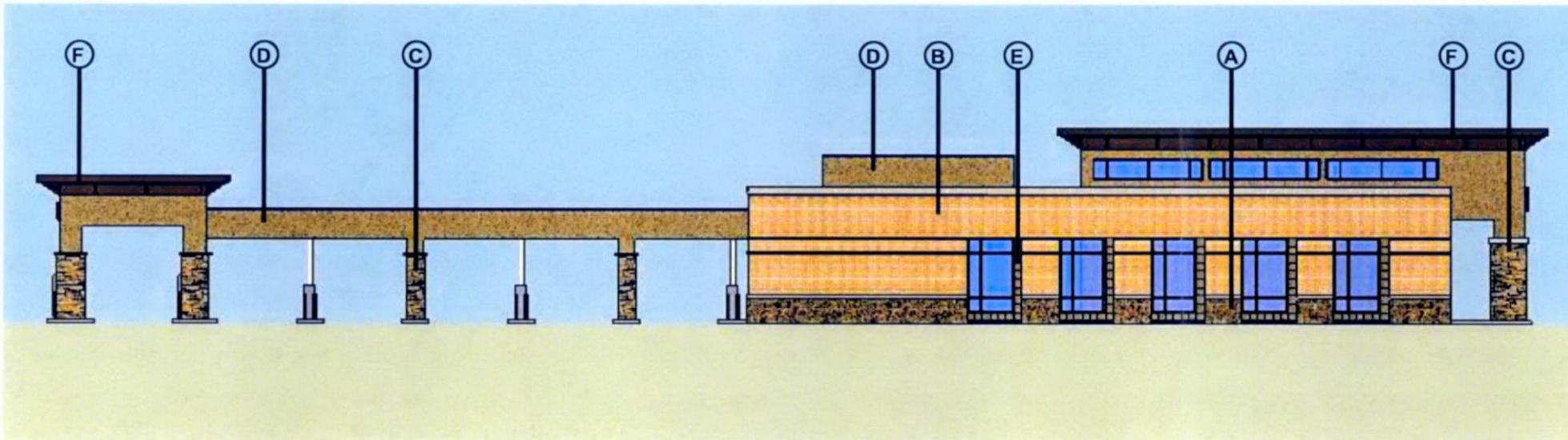
WEST ELEVATION

SCALE: 1/16" = 1'-0"



SOUTH ELEVATION

SCALE: 1/16" = 1'-0"



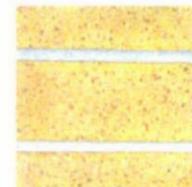
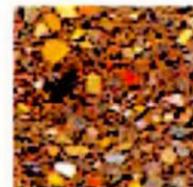
NORTH ELEVATION

SCALE: 1/16" = 1'-0"



EAST ELEVATION

SCALE: 1/16" = 1'-0"



A

SPLIT FACE
BLOCK / BRICK
BANDING
TRENDSTONE
"LIGHT BROWN"
MIDWEST GROUP B

B

BRICK VENEER
PHOENIX
BRICKYARD #20

C

STONE VENEER
CULTURED STONE
"CHARDONNAY
COUNTRY LEDGE-
STONE"
CSV-20006

D

DRYVIT
382 "TAMALE"

E

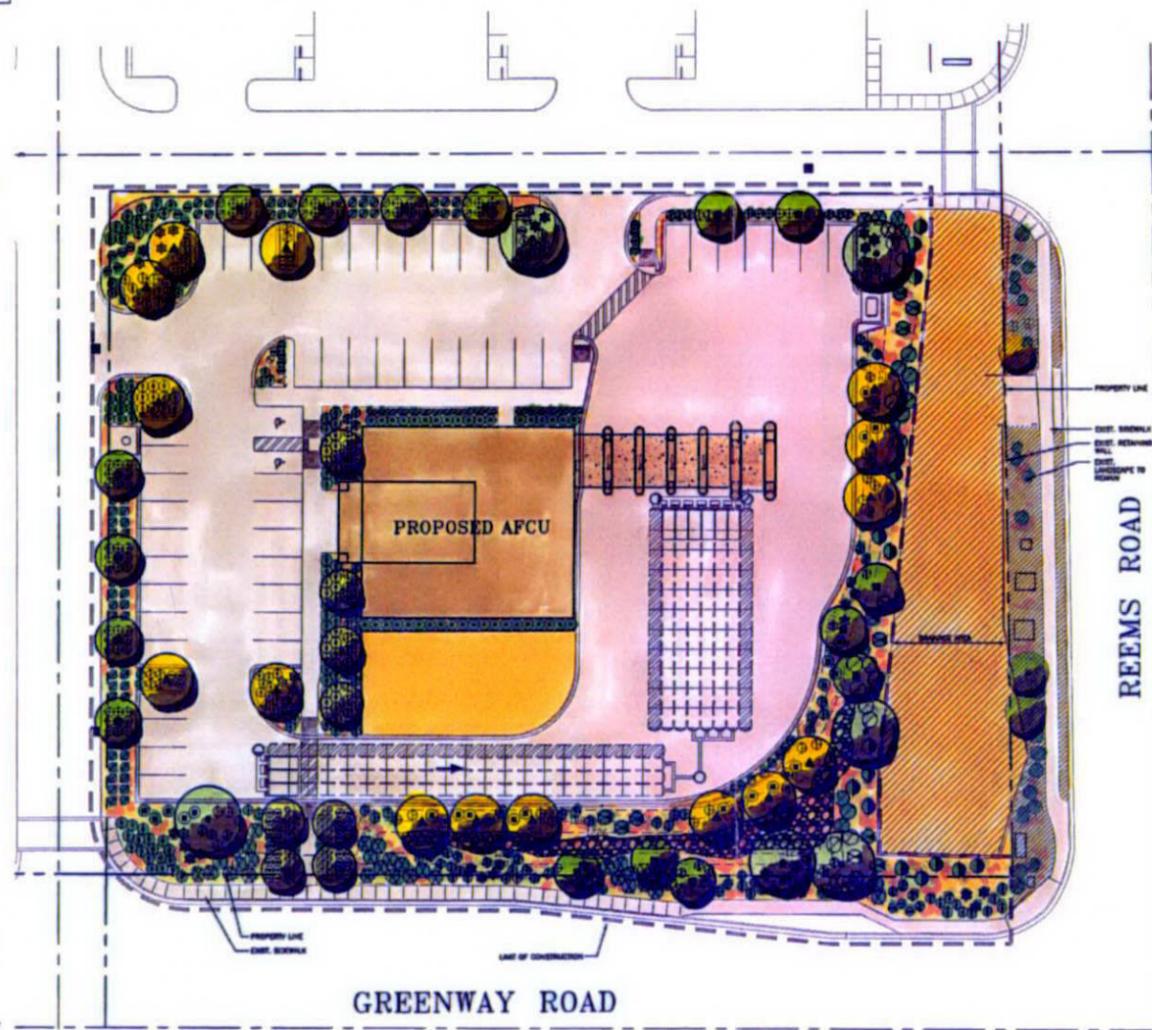
SLATE
DALTILE
"NATURAL STONE
COLLECTION
CALIFORNIA GOLD"
S700

F

SUNSHADE /
WINDOW TRIM
BERRIDGE
"MEDIUM BRONZE"

LANDSCAPE NOTES

- CONTRACTOR TO OBTAIN PERMITS FROM LOCAL AGENCIES AND UTILITY COMPANIES HAVING JURISDICTION OVER THIS SITE.
- CONTRACTOR TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO ANY INSTALLATION.
- CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO INSTALL THE WORK INDICATED ON THE LANDSCAPE DOCUMENTS. HE SHALL BE RESPONSIBLE FOR CAREFUL SITE INSPECTION, DETAILED REVIEW OF THE PLANS, AND COORDINATION WITH OTHER CONTRACTORS ON-SITE PRIOR TO ANY INSTALLATION. ANY DISCREPANCIES SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER'S AGENT.
- PRIOR TO INITIATING THESE LANDSCAPE IMPROVEMENTS, THE LANDSCAPE CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION MEETING ON-SITE WITH THE APPROVAL OF THE OWNER AND THE GENERAL CONTRACTOR. THE OWNER'S REPRESENTATIVE AND/OR THE PROJECT LANDSCAPE ARCHITECT MUST BE PRESENT. THE PURPOSE OF THIS MEETING IS TO RESOLVE ANY EXISTING SITE CONDITIONS THAT MAY BE IN CONFLICT WITH THESE LANDSCAPE CONSTRUCTION DOCUMENTS AND THEREFORE IMPACT THE INSTALLATION OF ANY OF THESE PROPOSED IMPROVEMENTS. THIS FIRST MEETING SHOULD BE SCHEDULED TO OCCUR AFTER THE COMPLETION OF ON-SITE AND OFF-SITE IMPROVEMENTS INCLUDING: ALL UNDERGROUND UTILITIES, MASS GRADING, AND STREET IMPROVEMENTS.
- DAMAGE TO EXISTING LANDSCAPING, UNDERGROUND UTILITIES, IRRIGATION LINES, ELECTRICAL LINES, ETC. SHALL BE REPAIRED AT CONTRACTORS EXPENSE.
- ANY DISCREPANCIES FOUND BETWEEN THE PLANS AND THE SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- ALL QUANTITIES PROVIDED ARE FOR BIDDING PURPOSES ONLY. LANDSCAPE CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FINISH GRADES IN LANDSCAPED AREAS. HE SHALL DETERMINE, WITH THE GENERAL CONTRACTOR, THE EXTENT OF ROUGH GRADING AND/OR FINE GRADING TO BE ESTABLISHED BY OTHERS.
- ALL GRADING AND DRAINAGE SHALL BE IN ACCORDANCE WITH THE PLANS PREPARED BY THE PROJECT CIVIL ENGINEER, OR AS DIRECTED BY THE OWNER'S AGENT. PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING(S) IN ALL CONDITIONS. CONTRACTOR TO MEET ALL EXISTING GRADES AT PROJECT BOUNDARIES. FINISH GRADE SHALL BE 3" BELOW THE TOP OF ADJACENT WALKS AND CURBS PRIOR TO RECEIVING MULCH OR DECOMPOSED GRANITE.
- ALL AREAS DISTURBED DURING CONSTRUCTION TO BE FINE GRADED. ADJACENT UNDISTURBED AREAS DAMAGED OR DISTURBED TO BE RESTORED TO ITS ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL FINE GRADE ENTIRE LANDSCAPED AREA AS REQUIRED FOR INSTALLATION OF PLANTING. ALL GRADES SHALL BE NEAT, BARELY SMOOTH AND BE FREE OF DEBRIS PRIOR TO SUBSTANTIAL COMPLETION.
- PRIOR TO SPREADING MATERIAL, GROUNDCOVERS, ADJUST AND COMPACT FINISH GRADES, APPLY WEED PRE-EMERGENT SURFLAN AS PER MANUFACTURER'S INSTRUCTIONS. THEN SPREAD DECOMPOSED GRANITE, RIVER RUN, OR MULCH AS INDICATED ON PLANS. DECOMPOSED GRANITE SHALL BE WATERED, THEN COMPACTED WITH A SOIL ROLLER TO A MINIMUM DEPTH OF 2" AFTER COMPACTION. PROVIDE A SECOND APPLICATION OF THE PRE-EMERGENT SURFLAN AT THE END OF THE MAINTENANCE PERIOD.
- ALL LANDSCAPED AREAS SHALL RECEIVE A 2" TOP DRESSING OF DECOMPOSED GRANITE AS SPECIFIED IN THE LANDSCAPE PLANT SCHEDULE. PROVIDE SAMPLE OF SIZE AND COLOR FOR APPROVAL BY OWNER'S AGENT PRIOR TO DELIVERY.
- STAKE LOCATIONS OF ALL TREES FOR APPROVAL PRIOR TO INSTALLATION OF ANY PLANT MATERIAL.
- ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED (WHEN IN-LEAF) AS IS TYPICAL FOR THE SPECIES. THEY SHALL HAVE HEALTHY, WELL DEVELOPED ROOT SYSTEMS (NOT POT BOUND), A NORMAL HABIT OF GROWTH CONSISTENT WITH INDUSTRY STANDARDS, AND FREE OF ANY BRUISES, CUTS, OR OTHER ABNORMALITIES. PLANT MATERIAL SHALL BE SIZED IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, AND THE ARIZONA NURSERYMAN ASSOCIATION STANDARDS.
- ALL PLANT MATERIAL MUST BE IN COMPLIANCE WITH THE DEPARTMENT OF WATER RESOURCES LOW WATER USE PLANT LIST. NO PLANT SUBSTITUTIONS, TYPE, OR QUANTITY DEVIATIONS FROM THE APPROVED LANDSCAPE PLANS WITHOUT PRIOR APPROVAL FROM THE CITY OF SURPRISE.
- BACKFILL MIXTURES, EXCEPT AS NOTED, TO BE COMPRISED OF 75% NATIVE SOIL AND 25% DECOMPOSED GRANULAR BARK MULCH, AND 2 LBS. DISPERSAL PER CUBIC YARD OF BACKFILL.
- ADD AGRI-FORM FERTILIZER TABLETS AT THE FOLLOWING RATES:
1 GALLON PLANT - 1 TABLET 15 GALLON PLANT - 4 TABLETS
3 GALLON PLANT - 2 TABLETS BOXED TREE - 6 TABLETS (MIN.)
TABLETS TO BE PLACED NO DEEPER THAN 6" BELOW SOIL SURFACE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON PLANTING PLAN. DO NOT SUBSTITUTE PLANTS BY TYPE OR QUANTITY WITHOUT WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT OR OWNER'S AGENT & THE CITY OF SURPRISE.
- THE OWNER'S AGENT RESERVES THE RIGHT TO REJECT ANY SELECTION OF PLANT MATERIAL THAT DOES NOT SATISFY THE INTENT OF THE LANDSCAPE DESIGN BASED ON SIZE, SHAPE, EVIDENCE OF STRESS OR IMPROPER CARE.
- PRIOR TO INITIATING THE 90-DAY MAINTENANCE PERIOD, COMPLETE ANY INITIAL PUNCH LIST ITEMS, THEN OBTAIN APPROVAL FROM OWNER'S AGENT OF SUBSTANTIAL COMPLETION. DETERMINE WITH OWNER'S AGENT THE START DATE FOR THE 90-DAY MAINTENANCE PERIOD. CONTRACTOR TO THEN MAINTAIN LANDSCAPE WHICH MAY INCLUDE WATERING, WEEDING, PRUNING, AND REPLACEMENT OF ANY MATERIAL THAT HAS DIED OR IS SHOWING EVIDENCE OF STRESS. SUBMIT WRITTEN REQUEST FOR FINAL PUNCH LIST ONE WEEK PRIOR TO END OF MAINTENANCE PERIOD.
- PROVIDE OWNER WITH A WRITTEN GUARANTEE OF SIX (6) MONTHS FOR ALL PLANT MATERIAL DATED FROM START OF MAINTENANCE PERIOD AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH. PROVIDE OWNER WITH WRITTEN INSTRUCTIONS OUTLINING MAINTENANCE PROCEDURES TO BE ADOPTED IN ORDER TO PROTECT GUARANTEE. INCLUDE WATERING SCHEDULE AND FERTILIZER PROGRAM ONE (1) YEAR GUARANTEE FOR ALL TREES AND PALMS.
- TREAT ALL DATE PALM TREES FOR CROWN ROT AT LEAST ONCE PRIOR TO END OF THE GUARANTEE PERIOD. CONTRACTOR SHALL ARRANGE FOR A SUBCONTRACTOR SPECIALIZING IN PALM TREE MAINTENANCE TO SERVICE ALL PALMS AND PROVIDE BRIEF STATEMENT FOR EACH PALM.
- INSTALL ALL SIDEWALKS PER A.D.A. REQUIREMENTS.



LANDSCAPE PLAN



PLANT SCHEDULE

SYMBOL	BOTANICAL/COMMON NAME	SIZE	QUANTITY	REMARKS
TREES				
●	ACACIA ANEURA MILGA	15 GAL	16	MULTI-TRUNK STAKE AS REQUIRED
○	BAUHINIA LUNAROIDES PINK ORCHID TREE	24" BOX	8	STANDARD-TRUNK STAKE AS REQUIRED
▲	PARKINSONIA HYBRID DESERT MUSEUM PALO VERDE	24" BOX	15	MULTI-TRUNK STAKE AS REQUIRED
●	PROSOPIS CHILENSIS CHILEAN MESQUITE	15 GAL	6	STAKE AS REQUIRED
SHRUBS				
⊕	CAESALPINA PULCHERRIMA RED BIRD OF PARADISE	5 GAL	12	1 GPH EMITTER
⊖	CASSIA NEMOPHILA DESERT CASSIA	5 GAL	18	1 GPH EMITTER
⊙	DALEA FRUTESCENS 'SIERRA NEGRA'	5 GAL	31	1 GPH EMITTER
⊕	LEUCOPHYLLUM ZYGOPHYLLUM 'MARRON' IN SAGE	5 GAL	65	1 GPH EMITTER
⊖	RUELLIA PENNSULARIS DESERT RUELLIA	5 GAL	38	1 GPH EMITTER
⊕	WEDELIA TEXANA DEVIL'S RIVER	5 GAL	42	1 GPH EMITTER
ACCENTS				
○	CAREX PERDETATA TEXAS MEADOW SEDGE	1 GAL	117	2 GPH EMITTER
⊙	DASYLIRION WHITELIB DESERT SPOON	5 GAL	35	.5 GPH EMITTER
⊕	HESPERALOE PARVIFLORA RED YUCCA	5 GAL	75	1 GPH EMITTER
⊖	MUHLENBERGIA CAPLANS 'REGAL MIST'	5 GAL	84	1 GPH EMITTER
GROUNDCOVER				
○	ACACIA REDOLENS 'LOWBOY' DESERT CARPET	1 GAL	117	1 GPH EMITTER
⊕	CONVOLVULUS CHEODRIM SILVER BUSH MORNING GLORY	1 GAL	74	1 GPH EMITTER
⊖	DALEA OREGON TRAILING INKGO BUSH	1 GAL	45	1 GPH EMITTER
⊕	LANTANA NEW GOLD 'NEW GOLD'	1 GAL	99	1 GPH EMITTER
⊖	LANTANA MONTEVIDENSIS PURPLE TRAILING LANTANA	1 GAL	74	1 GPH EMITTER
MATERIAL				
■	DECOMPOSED GRANITE 'DESERT GOLD'	1/2" SCREENED		2" DEPTH ALL LANDSCAPE AREAS
■	GRANITE DOUBLE RIP-RAP SURFACE SELECT	4"-8" DIA.		
—	METAL EDGE			

CITY OF SURPRISE PLANTING DATA

LANDSCAPE AREAS COMMERCIAL ONLY	REQUIRED	PROVIDED
A. ON-SITE LANDSCAPE AREA		
COMMERCIAL: 15% OF NET SITE AREA	12,012 SQ.FT.	31,558 SQ.FT.
INDUSTRIAL: 5% OF NET SITE AREA		
B. RESIDENTIAL BUFFER LANDSCAPE AREA		
10 FT. FROM ALL FROM ALL RESIDENTIAL BOUNDARIES.	N/A	N/A
C. PARKING LANDSCAPE AREA MINIMUM 5%	5 %	5.4 %
D. PARKING ISLANDS 1 PER 10 CONSECUTIVE PARKING SPACES MINIMUM 5 FT. WIDE MINIMUM 50 SQ. FT.	250 SQ.FT.	938 SQ.FT.
E. FOUNDATION PLANTING 33% OF BUILDING FRONTAGE FOR BUILDINGS FRONTING ON PUBLIC STREETS.	96 LF	186 LF
LANDSCAPE PLANTINGS		
RIGHT OF WAY LANDSCAPE PLANTINGS		
F. TREES: 1 PER 20 FT. OF STREET FRONTAGE	16 TREES	16 TREES
G. SHRUBS: 2 PER 20 FT. OF STREET FRONTAGE	33 SHRUBS	55 SHRUBS
H. SHRUB AND GROUNDCOVER AREA 25%	2050 SQ.FT.	3680 SQ.FT.
PARKING SPACE PLANTING		
I. TREES: 1 PER 8 PARKING SPACES	6 TREES	6 TREES

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COMMUNITY DEVELOPMENT

GILMORE PARSONS
LAND DESIGN GROUP
211 N. 1st Street, Phoenix, AZ 85004
T 602.247.9222 F 602.247.9777
www.gpfirm.com

Woods-Associates, Inc.
planner
architect
229 East Wisconsin Avenue
Milwaukee, Wisconsin 53202
(414)291-0772 • Fax (414)291-0773 • E-mail: wa@gilwood-associates.com
Permit Set Date 12-04-06
Bid Set Date XX-XX-XX

Job No. 07 06/26 Drawn By TCB

BCI BUILDING COMMITTEE INC.
PLANNING CONSULTANTS AND CONSTRUCTION MANAGERS
500 N. WOODWARD AVE.
MILWAUKEE, WI 53212
414-272-4474
FAX 414-272-1887

Arizona Federal Credit Union
Surprise Branch
Greenway Road and Reems Road
Surprise, Arizona





Water Services Department
12425 West Bell Road
Suite D-100
Surprise, Arizona 85374-9002
Phone 623-222-7000 /TDD 623-222-1002
Fax 623-222-7001

January 4, 2008

Attention: John Bayer
Woods-Associates, Inc.
757 N. Broadway
Suite #700
Milwaukee, Wisconsin 53202

Re: Arizona Federal Credit Union Will Serve Letter

Dear Mr. Bayer:

The Arizona Federal Credit Union (APN# 501-77-003-X and 501-77-003-Y) development is within the City of Surprise Water and Sewer Service area. The City will be the provider for both and will provide water and sewer service to the project once all City requirements and obligations have been satisfied.

Please feel free to contact me if you have any questions at 623-222-7000.

Sincerely,

Erica Petty
Water Service Infrastructure Analyst

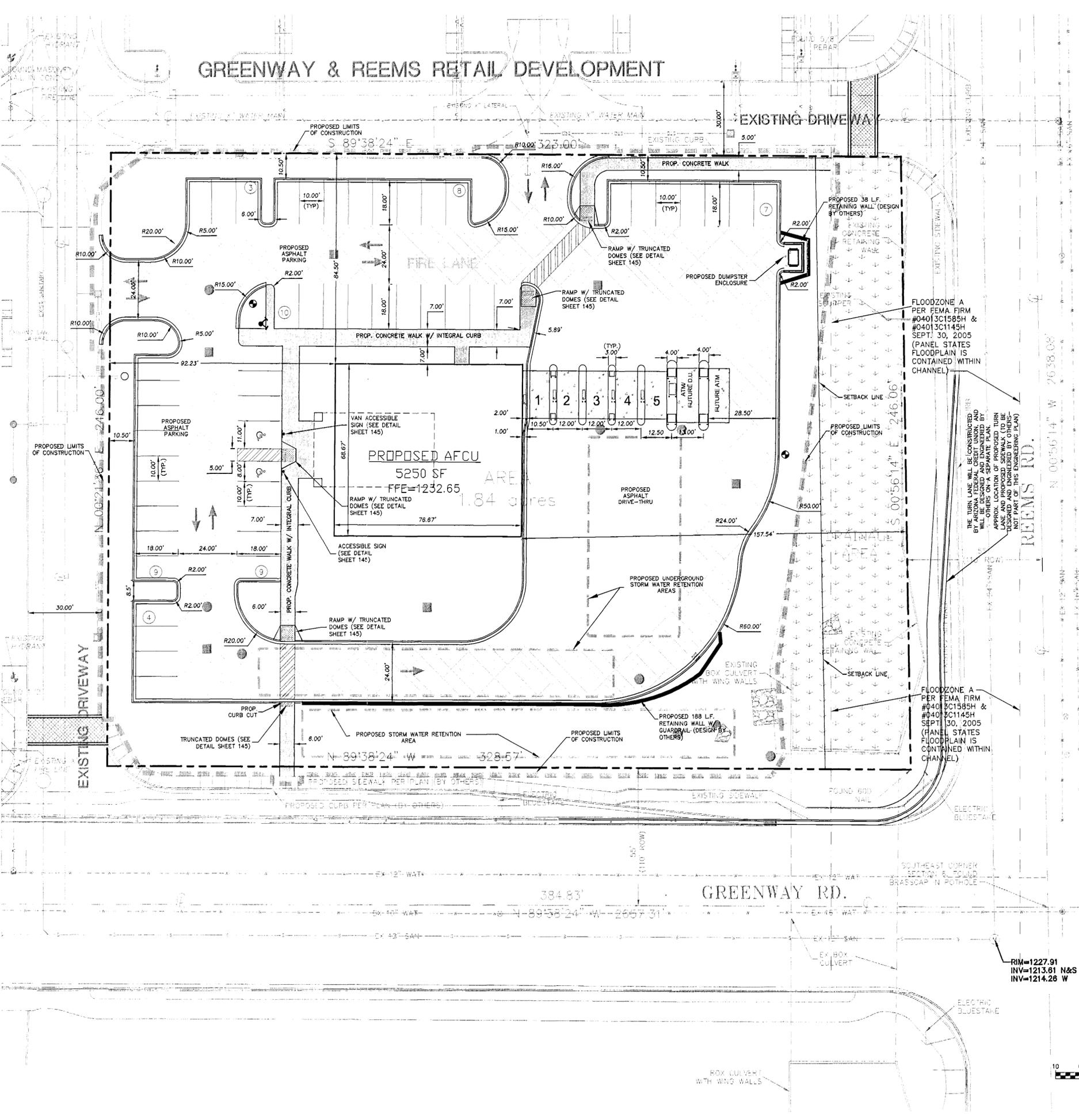
cc: Berrin Nejad, Planning and Development Services Division Manager

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COMMUNITY
DEVELOPMENT

GREENWAY & REEMS RETAIL DEVELOPMENT



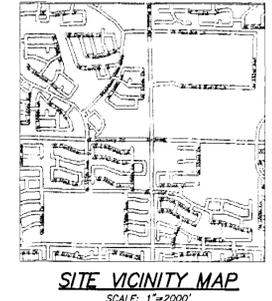
DEVELOPMENT NOTES:

1. THE FIRE LANE AND ACCESS ROUTE COMPLY WITH AASHTO WB-50.
2. ALL ROOF MOUNTED AND GROUND EQUIPMENT SHALL BE SCREENED.
3. NON-POTABLE WATER IS REQUIRED DURING CONSTRUCTION, WHEN AVAILABLE.
4. ALL ACCESS WAYS INTO THE CONSTRUCTION SITE SHALL HAVE THE REQUIRED FIRE DEPARTMENT ACCESS SIGNAGE UNTIL THE ROADS OR THE ACCESS INTO THE AREA IS HARD SURFACED.
5. THE WATER SYSTEM MUST BE CERTIFIED "OPERATIONAL" BY THE CITY BEFORE COMBUSTIBLE MATERIALS CAN BE BROUGHT ON SITE.
6. THE WATER SYSTEM MUST BE CERTIFIED "FINAL OPERATIONAL" BY THE WATER PROVIDER BEFORE A TEMPORARY OR FINAL "CERTIFICATE OF OCCUPANCY" IS ISSUED.
7. THE FIRE LANE SHALL BE IDENTIFIED PER THE SURPRISE FIRE DEPARTMENT EMERGENCY ACCESS DETAILS.
8. CERTIFICATION LETTERS DOCUMENTING ROACH TREATMENT IN MANHOLE MUST BE PROVIDED TO ENGINEERING BEFORE THE SANITARY SEWER LINES ARE ACTIVATED.
9. A DRAINAGE EASEMENT AS DESCRIBED IN THE DECLARATION OF EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS, DATED JANUARY 27, 2006 (#20006271) EXISTS ALONG REEMS RD. ON THE EASTERN PARCEL BOUNDARY.

OWNER/DEVELOPER:

ARIZONA FEDERAL CREDIT UNION
333 NORTH 44TH STREET
PHOENIX, AZ 85008

BENCH MARK:
CHISEL "X" ON THE SOUTHEAST CORNER OF A BOX CULVERT AT THE NORTHWEST CORNER OF THE INTERSECTION OF GREENWAY RD. AND REEMS RD. ELEVATION = 1228.48, CITY OF SURPRISE DATUM.



SITE DATA INFORMATION

OWNER: ARIZONA FEDERAL CREDIT UNION
PRESIDENT:
ZONING:
CONSTRUCTION TYPE: VB
OCCUPANCY CLASSIFICATION: VB-BUSINESS
OCCUPANCY
HEIGHT OF BUILDING: 10'-11"
SQUARE FOOTAGE: 5,250 SF
AREA: 80,144 S.F. (1.84 ACRES)
TOTAL PARKING: 56 SPACES
EMPLOYEE - 15 SPACES
MEMBER - 41 SPACES
HANDICAP - 2 SPACES
PERCENT OF SITE COVERED
(BUILDING AND PARKING): 59%
PERCENT OF SITE LANDSCAPED: 41%

NOTES:

EXISTING TOPOGRAPHY OBTAINED BY HOSKIN RYAN CONSULTANTS, INC., DATED JANUARY 17, 2006.

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES.

NATIONAL SURVEY & ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF NATIONAL SURVEY & ENGINEERING.

ALL DIMENSIONS SHOWN ARE TO PROPERTY LINES, EXTERIOR BUILDING WALLS, OR FACE OF CURB UNLESS OTHERWISE NOTED.

CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSION OF ENTRANCES, VESTIBULES, STAIRS, RETAINING WALLS, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.

ALL PROPOSED DEVELOPMENT PHASES DEPICTED ON THIS SITE PLAN SHALL BE PROVIDED A MINIMUM OF TWO (2) SEPARATE POINTS OF UNOBSTRUCTED ACCESS WITH A MINIMUM WIDTH OF TWENTY FEET, INSTALLED AND MAINTAINED PURSUANT TO THE REQUIREMENTS OF THE CITY OF SURPRISE.

RETAINING WALL NOTE:

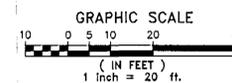
ALL RETAINING WALLS SHOWN ON THESE PLANS ARE FOR LOCATION AND MATERIAL REFERENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR CONSULTING WITH A GEOTECHNICAL ENGINEER AND/OR STRUCTURAL ENGINEER FOR APPROPRIATE DESIGN CERTIFICATION PRIOR TO CONSTRUCTION, DEPENDING ON THE TYPE OF WALL. FOR ALL CONCRETE BLOCK MODULAR SYSTEMS, CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION PER MANUFACTURER'S SPECIFICATIONS. ALL NECESSARY GEOGRID, REINFORCEMENT, BACKFILL, COMPACTION AND DRAIN TILE ARE TO BE COORDINATED BETWEEN THE CONTRACTOR, GEOTECHNICAL ENGINEER, AND SUPPLIER. FOR ALL NATURAL STONE WALLS, CONTRACTOR IS RESPONSIBLE FOR INSTALLATION USING ALL NECESSARY MEANS TO INSURE PROPER SUB-BASE, BACKFILL, DRAIN TILE AND STABILITY. NSE ASSUMES NO RESPONSIBILITY FOR THE INSTALLATION, GEOTECHNICAL INTEGRITY, OR STABILITY OF THESE RETAINING WALLS.

LEGEND

- PROPERTY LINE
- PROPOSED 6" CONCRETE CURB AND GUTTER. (SEE PAVING PLAN).
- PROPOSED PAVEMENT TRAFFIC DIRECTIONAL ARROW
- PROPOSED SIGNAGE
- PROPOSED CONSTRUCTION LIMITS
- PROPOSED FIRE LANE

CITY OF SURPRISE
PROJECT NUMBER:
SP06-364

CALL TWO WORKING DAYS
BEFORE YOU DIG
263-1100
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)



FOR MUNICIPAL REVIEW ONLY

DIMENSIONED SITE PLAN

National Survey & Engineering

Telephone 262-781-1000
Facsimile 262-781-6468
16745 W. Blumound Road
Suite 200
Brookfield, WI 53005-9938
www.nseae.com



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JAN 08 2008

COMMUNITY DEVELOPMENT

110

Arizona Federal Credit Union
Greenway and Reems
Surprise, Arizona

BCI BUILDING COMMITTEE INC.
PLANNING CONSULTANTS AND CONSTRUCTION MANAGERS
707 N. BROADWAY, SUITE 700
MILWAUKEE, WI 53202
414-273-6876
414-273-1007
FAX 414-273-1007

Woods-Associates, Inc.
architect/planner

757 N. Broadway, Suite 700 • Milwaukee, Wisconsin 53202
(414)291-0772 • Fax (414)291-0773 • E-mail: wat@woods-assoc.net
Permit Set Date 11-07-07
Bid Set Date XX-XX-XX

Revisions 12-7-2007

Drawn By NSE

Job No. 05-47

REPORT TO THE PLANNING AND ZONING COMMISSION

CASE NUMBER: PP06-405
STIPULATIONS: a through i
PREPARED BY: Lance Ferrell, Planner @ 623-222-3135

Asante Phase 2 Unit 14

Application Date:
Planning and Zoning Commission:
City Council Hearing Date:

October 10, 2007
February 5, 2008
February 28, 2008

APPLICANT:

Rich Hoppe
D.E.I. Professionals
6262 North 24th Street #200
Phoenix, AZ 85016
Phone: 602.954.0038

PROPERTY OWNER:

Ryan Mott
Lennar Communities Development
1150 W. Grave Parkway
Tempe, AZ 85283
480.777.4600 Phone

REQUEST:

Approval of a Preliminary Plat for Asante-Phase 2 Unit 14 that proposes 205 residential lots.

SITE LOCATION:

Subject site is located on the southwest corner of Tillman Boulevard and West Asante Boulevard, within Sections 2 and 11, Township 4 North, Range 2 West of the Gila and Salt River Base and Meridian, Maricopa County, Arizona.

SITE SIZE:

Approximately 61 gross acres.

RECOMMENDATION:

Staff recommends that this request, a Preliminary Plat for Asante Phase 2 Unit 14 (PP06-405), located on the southwest corner of Tillman Boulevard and West Asante Boulevard be **approved** subject to stipulations **a through i**.

PROJECT ANALYSIS:

Asante Phase 2 Unit 14 will consist of approximately 205 residential lots at approximately 3.3 d/u per acre. This project is comprised of mostly low-density single-family homes, but also contains a 5-acre lot that could be developed as commercial.

The minimum lot size within this proposed subdivision would be 4,256 square feet with a maximum lot size of 15,338 square feet. The average lot size is 6,504 square feet with an average net density of 3.3 d/u per acre.

Parks

Asante has provided approximately six acres of open space for this 61-acre project. A tot lot has also been added to the open space.

BACKGROUND

The Asante Planned Area Development was recommended for approval by the Planning and Zoning Commission on September 21, 2004. City Council approved the PAD on October 27, 2004.

COMMENTING JURISDICTIONS:

Town of Buckeye	No comments were received
City of El Mirage	No comments were received
City of Peoria	No comments were received
Maricopa County	No comments were received
Maricopa Water District	No comments were received
ADOT	See attached
Luke Air Force Base	See attached

EXISTING AND SURROUNDING ZONING:

ON-SITE:	PAD (Asante – Single-Family Residential)
NORTH:	PAD (Asante – Single-Family Residential)
EAST:	PAD (Asante – Single-Family Residential)
SOUTH:	PAD (Asante – Single-Family Residential)
WEST:	PAD (Asante – Single-Family Residential)

EXISTING AND SURROUNDING LAND USE:

ON-SITE:	Vacant Land
NORTH:	Vacant Land
EAST:	Vacant Land
SOUTH:	Vacant Land
WEST:	Vacant Land

ADJACENT ROAD STATUS:

Projected Road Status Tables:

Current

Street Name	Right-of-Way	Pavement Width	Landscaping	# of Lanes in each direction	Sidewalks
Grand Avenue	150 feet	60 feet	None	2 lanes	None
163 rd Avenue	110 feet	30 feet	None	1 lane	None
Happy Valley Road	66 feet	24 feet	None	1 lane	None

Ultimate Build-Out

Street Name	Right-of-Way	Pavement Width	Landscaping	# of Lanes in each direction	Sidewalks
Grand Avenue	170 feet	94 feet	None	3 lanes	None
163 rd Avenue	135 feet	80 feet	Sides and Median	3 lanes	6' both sides
Happy Valley Road	110 feet	64 feet	Sides and Median	2 lanes	6' both sides
Tillman Blvd	135 feet	78 feet	Sides and Median	3 lanes	6' both sides

EXISTING UTILITIES AND SERVICES STATUS:

WATER City of Surprise

SEWER City of Surprise

FIRE PROTECTION: The closest Surprise Fire Department station is located at 22443 North 163rd Avenue (Temporary Station), approximately 1.3 miles from the project site.

POLICE PROTECTION: Surprise Police Department closest to project: 14250 W. Statler Plaza 6 miles

100-YEAR ASSURED WATER SUPPLY CERTIFICATION:

The proposed development is within the City of Surprise's water service area. The City of Surprise has been determined by the Arizona Department of Water Resources to provide a 100-year assured water supply. The City of Surprise will provide the 100-year assured water supply certification.

FINANCIAL ASSURANCE FOR COMPLETION OF INFRASTRUCTURE:

Pursuant to all applicable City Codes and Ordinances, prior to recordation of Final Subdivision Plats, financial assurance will be posted for completion of all necessary infrastructure improvements.

SCHOOL DISTRICT POSITION:

An agreement has been reached between the developer of the property (Asante/Lennar Communities) and the Dysart Unified School District.

STREET LIGHT IMPROVEMENT DISTRICT:

During the Final Platting process, a Street Light Improvement District (SLID) will be formed.

GENERAL PLAN 2020 COMPLIANCE

The General Plan designates the property as "Suburban Residential, Low Density Residential, Commercial, and Employment." The proposed uses in the Sunhaven project comply with these designations.

LUKE AFB COMPATABILITY

The subject project has been approved by Luke Air Force Base.

INFRASTRUCTURE

Sewer infrastructure will be developed as required.

STANDARD STIPULATIONS:

- a. Prior to delivery of any combustible material to the site, fire department access and fire protection systems shall be completely operational in accordance with the approved plans by the Fire Chief and the City Engineer;
- b. Major changes to this Preliminary Plat with regard to use and intensity must be processed as a revised application with approval by the City Council upon recommendation of the Planning and Zoning Commission. Minor changes to the Preliminary Plat may be administratively approved by the Community Development Director, City Engineer, Fire Marshall, and Water Services Director;
- c. The applicant or property owner must provide the City with approved dust control permits issued by Maricopa County Environmental Services Department prior to release of any permits;
- d. The applicant shall include the City Attorney's sound attenuation and overflight language on every final plat;
- e. The applicant shall dedicate an avigation easement to the United States Air Force on every final plat or other such recorded instrument acceptable to the City Attorney. Such avigation or other recorded instrument easement shall be approved by the City Attorney;
- f. The applicant shall include the City Attorney release of liability language regarding the sidewalks on every final plat;
- g. The applicant shall provide residential home product information (i.e., colored elevations and materials sample information) and related materials prior to the issuance of residential building permits, subject to review and approval by the Community Development Director; this is considered to be the Home Product Review process;
- h. All public notice signs shall be removed from the site immediately following a final decision by the City Council as applicable. A signed Affidavit of Sign Removal shall be included within the Stipulation Response Package;
- i. If the U.S. Postal Service requires "gang"-type boxes, applicant shall install adequate lighting over said postal receptacles.



Arizona Department of Transportation
Intermodal Transportation Division

206 South Seventeenth Avenue Phoenix, Arizona 85007-3213

Janet Napolitano
Governor

Victor M. Mendez
Director

Sam Elters
State Engineer

RECEIVED
OCT 19 2006
COMMUNITY DEVELOPMENT

October 18, 2006

City of Surprise Planning Department
12425 West Bell Road Suite D100
Surprise, Arizona 85374
C/o Mr. David Neal

RE: **PP 06-405 / Asante Phase II Unit 13** / NWC U S 60 (Grand Ave) & 163rd Avenue

Dear Mr. Neal:

Thank you for your notification regarding the Preliminary Plat for the subject referenced above. After a complete review, we have concurred that the proposed Plat **at this time** will have no impact on our highway facilities in this area. Please submit all subsequent development plans for review.

ADOT does reserve the right to review and comment on all development plans for this site as to any impact they may have on the State Highway System.

Should you have any questions, you may contact me at 602-712-8755 or by fax at 602-712-3051, or in writing at 205 S. 17th Avenue, Right of Way Project Management Section, Suite 349 MD 612E, Phoenix, Arizona 85007. Thank you in advance for your cooperation.

Sincerely,

LOUIS J. MALLOQUE,
Right of Way Agent III
lmalloque@azdot.gov





DEPARTMENT OF THE AIR FORCE
AIR EDUCATION AND TRAINING COMMAND

23 October 2006

Mr. James R. Mitchell
Director, Community Initiatives Team
56th Fighter Wing
14185 West Falcon Street
Luke AFB AZ 85309-1629

RECEIVED
OCT 26 2006
COMMUNITY DEVELOPMENT

Ms. Cindy Coen
City of Surprise Planning Department
12425 West Bell Road
Surprise AZ 85374

Re: Case #PP06-405 Asante Phase 2 Unit 14

Dear Ms. Coen

Thank you for the opportunity to comment on the Preliminary Plat Application for Asante Phase 2 Unit 14. Unit 14 is located on 61.04 gross acres near the northwest corner of Grand and 163rd Avenues. Plans call for the development of 205 residential dwelling units (du), with a density of 3.36 du/acre. The site is approximately 2 miles outside the Luke AFB Auxiliary Field #1 2004 65 Ldn, "high noise or accident potential zone" as defined by A.R.S. § 28-8461 and is within the "territory in the vicinity of a military airport" for Luke AFB also defined by A.R.S. § 28-8461.

Luke AFB follows the guidelines in the Graduated Density Concept (GDC) for developments around the Auxiliary Field #1. The GDC proposes, in the absence of a more restrictive state, county or municipal general or comprehensive plan, graduating densities away from the 65 Ldn as follows: a maximum of 2 du/acre from the 65 Ldn to 1/2 mile, a maximum of 4 du/acre from 1/2 to 1 mile, and a maximum of 6 du/acre from 1 to 3 miles. Unit 14 meets these guidelines.

Since Asante will be located within the "territory in the vicinity of a military airport," and in close proximity to the Luke AFB Auxiliary Field #1, it will be subjected to approximately 13,000 flight operations per year, with some as low as 1,500 feet above the ground. We recommend you review the sound attenuation requirements found in A.R.S. § 28-8482. In addition, a strong notification program on the part of the applicant is essential to inform potential residents about Luke AFB operations. We also recommend a review of the Luke AFB web site at <http://www.luke.af.mil>, Community Interests and Community Initiatives links, for further information.

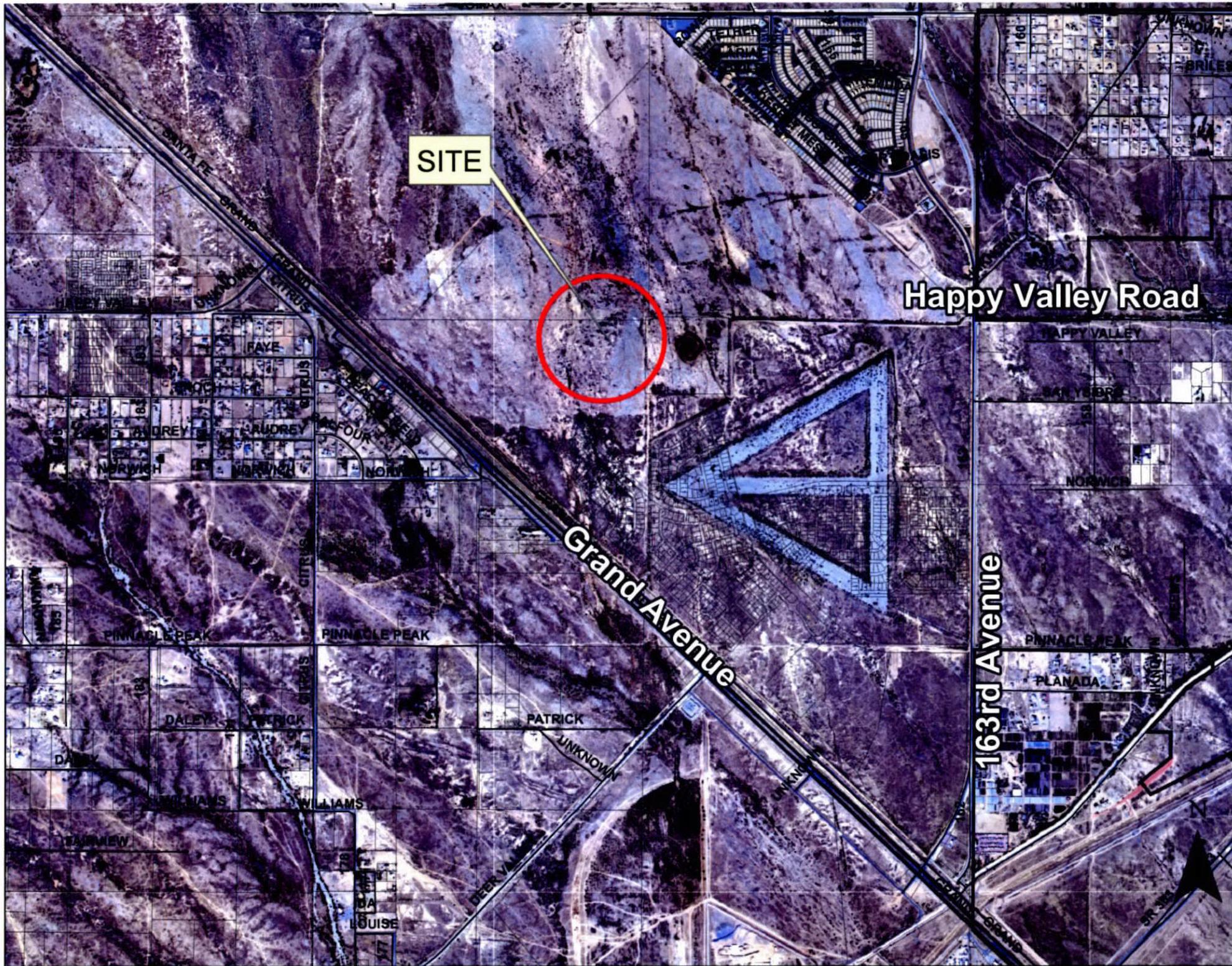
If there are any questions, please contact my Community Planner, Mr. Bob Dubsy, at (623) 856-6195.

Sincerely

JAMES R. MITCHELL

cc:

Colonel David L. Orr, Vice Commander, 56th Fighter Wing



SITE

Happy Valley Road

Grand Avenue

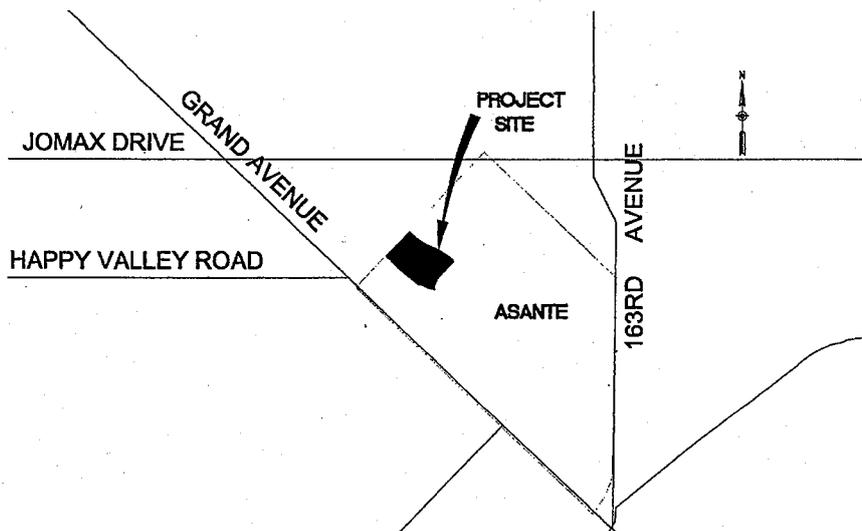
163rd Avenue

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DEC 19 2007

COMMUNITY
DEVELOPMENT

**Asante Phase 2
Preliminary Plat Unit 14
A Planned Area Development by
Lennar Communities, Inc.**



VICINITY MAP
1" = 2000'

City of Surprise, Arizona

PAD Resolution No.00-126

Preliminary Plat Phase 2 Unit 14 - No. 06-405

Preliminary Plat Submittal – October 6, 2006

2nd Submittal – December 8, 2006

3rd Submittal – April 26, 2007

Revised and email comments addressed – August 7, 2007

Approval by all departments – December 14, 2007

Prepared by:
DEI Professional Services, inc.
6225 North 24th Street
Suite 200
Phoenix, AZ 85016
Phone: (602) 954 0038
Fax: (602) 324 0165
Contact: Ken Runion

Prepared for:
Lennar Communities Development
1150 West Grove Parkway
Suite 108
Tempe AZ 85283
Phone: (480) 777-4600
Fax: (480) 777-4696
Contact: Brandon Parkinson

PROJECT DESCRIPTION

The overall land proposed for development consists of approximately 61.04 acres of which 30.59 net acres is designated for single family residential, 14.28 net acres is designated open space, and 10.61 acres is proposed street Right of way. No rental housing is planned. The project has been designed to integrate open space to provide an exceptional quality of life for all future residents. Located north and within the 'v' formed by the intersection of Grand Avenue and 163rd Avenue, the property is under the ownership of Lennar Communities Development, Inc.

NET AND GROSS DENSITIES AND ACREAGES

The 205 single-family lots proposed for the 61.04 gross acre residential site results in a gross density of 3.36. The net density, gross acreage minus the proposed on-site local residential streets, is 4.07.

EXISTING CONDITIONS INCLUDING INFRASTRUCTURE, NATURAL RESOURCES (TOPOGRAPHY, SOILS, GEOLOGY, HYDROLOGY/DRAINAGE, VEGETATION, NOISE LEVELS)

The Asante Project borders both the Burlington Northern Santa Fe Railroad right of way and the Grand Avenue right of way on the southwest. The property is bordered by 163rd Avenue on the east and obtains access from 163rd Avenue. There are no adjoining roads on the northeast or northwest boundaries of the Project. The site is a combination of natural environment and previously developed areas with remnants of an auxiliary airfield that was constructed in the 1940's. No useable structures remain from this use. Aside from the areas disturbed by the airfield, the site is natural, vacant desert of dense to moderate growth of typical low-lying desert vegetation, including shrubs, bushes, and trees. Several small ephemeral washes cross the property. The same general site description applies to properties to the east, northeast, and northwest.

RELATIONSHIP TO SURROUNDING PROPERTIES

The Project lies north east of the Grand Avenue (US Highway 60) and the Burlington Northern Santa Fe Railroad right of way. Undeveloped land lies to the north and east.

LOCATION AND ACCESSIBILITY

The site lies in the 'V' formed by Grand Avenue and 163rd Avenue. It is northeast of the Burlington Northern Santa Fe Railroad right of way and the Grand Avenue right of way and is west of 163rd Avenue. The Project will take access from 163rd Avenue, extending a major arterial road from 163rd Avenue west and northwest through the project to the project's north west boundary.

TRAFFIC CIRCULATION SYSTEM

The site is currently served by 163rd Avenue, an existing 110' right of way, which intersects with Grand Avenue at the south end of the property. 163rd Avenue extends to Happy Valley Road to the north. Internal to the site, a major arterial road is proposed to link to 163rd Avenue at the Pinnacle Peak Road alignment and continue to the northwest

eventually (via development to the north) connecting to Jomax Road. There are several collector roads within the project providing an internal loop system and connections to 163rd Avenue at half-mile intervals north of the Pinnacle Peak alignment. Happy Valley road will be a minor arterial from 163rd Avenue to the first collector intersection, the transition into a collector. Additionally, a collector will connect the commercial to the residential areas.

COMMUNITY FACILITIES AND SERVICES INCLUDING OPEN SPACE, RECREATION, AND SCHOOLS

The Asante project, incorporates linear parks, community parks, and pocket parks, all as outlined in the approved PAD. An elementary school site is proposed in the southern portion of the site.

PUBLIC FACILITIES AND SERVICES INCLUDING STREET LIGHTS)

Water: The property falls within the jurisdiction of three water franchise areas; Beardsley Water Company, City of Surprise, and Arizona American Water Company. Initial commercial development is within the Arizona American Water Company and the City of Surprise service area. The residential areas are in the City of Surprise service area.

Sewer: A sewage treatment facility will be required to serve the project. The first phase of the facility will be dedicated to and operated by the City of Surprise. Reclaimed water generated by the facility will be utilized by the project for use in water features and irrigation of parks and open space areas.

Power: Arizona Public Service

Telephone: Qwest Communications

Cable: Cox Communications

Trash: City of Surprise

Schools: Dysart Unified District #89

Police: City of Surprise

Fire: City of Surprise

DEVELOPMENT PHASING SCHEDULE

Major infrastructure arterial and collector streets and major sewer trunk lines will be constructed as Phase 1 as soon as all necessary approvals and permits are in place. This will allow the individual single-family residential components of the project to be constructed independently as market conditions dictate.



Dysart Unified School District No. 89

Nathaniel Dysart Education Center

Scott W. Thompson
Executive Director
Business Services

15802 North Parkview Place
Surprise, Arizona 85374
Phone: 623-876-7008
Fax: 623-876-7046
scott.thompson@dysart.org

www.dysart.org

February 13, 2007

Mr. Adam Copeland
City Planner
City of Surprise
12425 W Bell Rd, Suite D-100
Surprise, AZ 85374-9002

RE: Asante Phoenix Development – Site I

Dear Mr. Copeland:

Thank you for your continued cooperation with the Dysart Unified School District. The District has reviewed, discussed and met with representatives of the Asante Development in reference to their planned projects in the City of Surprise and the Dysart Unified School District.

The project has included provisions to accommodate new students that will attend the Dysart Unified School District. These students will have an impact on District operations. As communities grow, developers have a social responsibility to assist in providing the services needed for the community's success. Discussions with the developer have provided the District with a development agreement that are satisfactory to the District.

We appreciate the value you and the City place upon the public schools in your planned communities. We anticipate continuing to work together to build attractive communities that meet the educational needs of the residents.

Sincerely,

Scott W. Thompson
Executive Director for Business Services

cc: Scott Switzer – Lennar Communities Development
Stacie Muller – Lennar Communities Development
Don Peters – Miller, LaSota & Peters

Superintendent
Dr. Mark Maksimowicz

Governing Board
Bill Lipscomb
Charles Otterman
Bridget Pauletich-Otterman
Christine Pritchard
Ray Richardson

LEGAL DESCRIPTION

A PARCEL OF LAND LOCATED WITHIN THE SOUTH HALF OF SECTION 2, AND WITHIN THE NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 4 NORTH, RANGE 2 WEST, OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 2, BEING MONUMENTED BY AN ALUMINUM CAP FLUSH, FROM WHICH THE SOUTHEAST CORNER OF SAID SECTION 2, BEING MONUMENTED BY AN ALUMINUM CAP, BEARS SOUTH 88°58'47" EAST, A DISTANCE OF 5,358.04 FEET;

THENCE SOUTH 88°58'47" EAST, ALONG SAID SOUTH LINE, A DISTANCE OF 2,861.08 FEET TO THE POINT OF BEGINNING OF THE PARCEL HEREIN DESCRIBED;

THENCE NORTH 51°38'24" WEST, A DISTANCE OF 66.99 FEET;

THENCE NORTH 46°28'39" WEST, A DISTANCE OF 846.63 FEET;

THENCE NORTH 43°31'21" EAST, A DISTANCE OF 1,243.83 FEET;

THENCE SOUTH 46°28'39" EAST, A DISTANCE OF 144.00 FEET TO THE BEGINNING OF A CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 2,267.50 FEET;

THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 18°43'49", A DISTANCE OF 741.21 FEET;

THENCE SOUTH 65°12'24" EAST, A DISTANCE OF 350.58 FEET TO THE BEGINNING OF A CURVE, CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 2,132.50 FEET;

THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 18°43'49", A DISTANCE OF 697.08 FEET;

THENCE SOUTH 46°28'39" EAST, A DISTANCE OF 6.17 FEET;

THENCE SOUTH 01°28'39" EAST, A DISTANCE OF 42.43 FEET;

THENCE SOUTH 43°31'21" WEST, A DISTANCE OF 784.54 FEET TO THE BEGINNING OF A CURVE, CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 635.00 FEET;

THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 45°03'11", A DISTANCE OF 499.32 FEET;

THENCE NORTH 73°50'02" WEST, A DISTANCE OF 228.60 FEET;

THENCE NORTH 84°43'32" WEST, A DISTANCE OF 273.90 FEET;

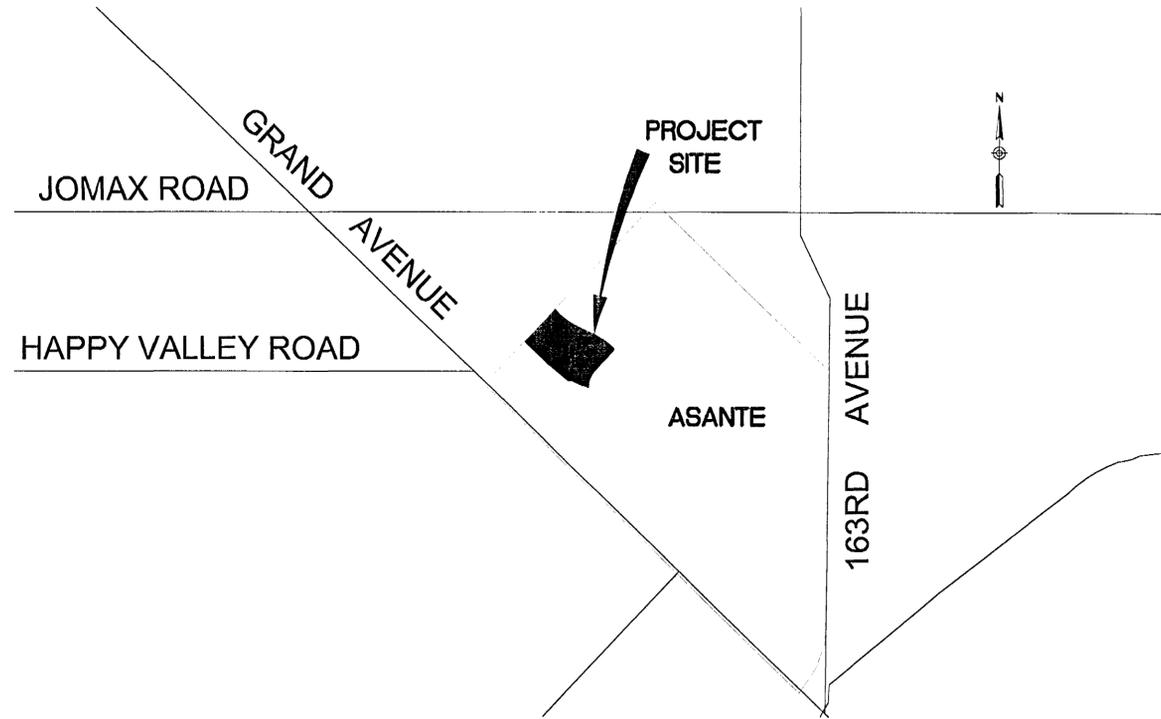
THENCE NORTH 89°58'22" WEST, A DISTANCE OF 99.86 FEET;

THENCE NORTH 51°38'24" WEST, A DISTANCE OF 665.13 FEET TO THE POINT OF BEGINNING OF THE PARCEL HEREIN DESCRIBED.

PRELIMINARY PLAT
ASANTE PHASE 2 - UNIT 14

LOCATED IN THE SOUTH HALF OF SECTION 2,
AND WITHIN THE NORTHEAST QUARTER OF SECTION 11
TOWNSHIP 4 NORTH, RANGE 2 WEST OF THE
GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY ARIZONA

SURPRISE, ARIZONA



VICINITY MAP
1" = 2000'

LEGEND

- SVT SIGHT VISIBILITY TRIANGLE (33' X 33')
- SVE SIGHT VISIBILITY EASEMENT PER AASHTO GUIDELINES
- UBE USE BENEFIT EASEMENT
- SW SIDEWALK
- PUE PUBLIC UTILITY EASEMENT
- PROPOSED SANITARY SEWER LINE W/ MANHOLE AND DIRECTION OF FLOW
- PROPOSED WATER LINE WITH FIRE HYDRANT
- CORNER OF SUBDIVISION
- EASEMENT FOR UNDERGROUND PUBLIC UTILITIES AND DRAINAGE, WIDTHS AS SHOWN
- SHEET MATCHLINE
- VERTICAL CURB AND GUTTER
- ROLL CURB AND GUTTER
- ROW
- CENTERLINE
- 248 LOT NUMBER
- EXISTING CONTOUR
- UNIT BOUNDARY
- PRELIMINARY PLAT BOUNDARY

PROPERTY OWNER:

LENNAR COMMUNITIES DEVELOPMENT, INC.
1150 W. GROVE PARKWAY, SUITE 110
TEMPE, AZ 85283
PHONE: 480.777.4600
FAX: 480.777.4696
CONTACT: RYAN MOTT

DEVELOPER / SUBDIVIDER:

LENNAR COMMUNITIES DEVELOPMENT, INC.
1150 W. GROVE PARKWAY, SUITE 110
TEMPE, AZ 85283
PHONE: 480.777.4600
FAX: 480.777.4696
CONTACT: RYAN MOTT

CONSULTING ENGINEER:

DEI PROFESSIONAL SERVICES, LLC
6225 N. 24TH STREET, SUITE 200
PHOENIX, AZ 85016
PHONE: 602.954.0038
FAX: 602.944.8605
CONTACT: RICHARD B. HOPPE, P.E. (CIVIL) NO. 14393

DATE OF PREPARATION:

August 07, 2007

SHEET INDEX:

- 1 COVER SHEET
- 2 STREET SECTIONS
- 3 SHEET LAYOUT MAP
- 4-6 PRELIMINARY PLAT SHEETS

BASIS OF BEARINGS:

THE SOUTH LINE OF SECTION 2, TOWNSHIP 4 NORTH, RANGE 2 WEST G&SRM

THE BEARING IS S88°58'47"E.

BENCHMARK:

NGS DESIGNATION RV-94
A RIVET SET IN THE TOP AND CENTER OF A CONCRETE HEADWALL, OF A 36-INCH CONCRETE PIPE CULVERT, LOCATED 2.85 MILES NORTHWEST OF THE INTERSECTION OF THE ATCHISON, TOPEKA AND SANTA FE RAILWAY AND THE BEARDSLEY ROAD ALIGNMENT; 0.35 MILE SOUTHEAST OF RAILWAY MILEPOST 166; 8.6 FEET NORTHEAST OF THE NORTHEAST RAIL; 16-INCHES BELOW THE TRACKS.
ELEVATION: 1369.96 (NAVD 88)

FLOOD ZONING:

ACCORDING TO THE FLOOD INSURANCE RATE MAP #04013C1135G DATED SEPTEMBER 30, 2005, THIS PROPERTY IS LOCATED IN FLOOD ZONE "X"; AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE;

NOTE:

ALL DEVELOPMENT PHASES DEPICTED ON THIS PRELIMINARY PLAT SHALL BE PROVIDED A MINIMUM OF TWO (2) SEPARATE POINTS OF UNOBSTRUCTED ACCESS WITH A MINIMUM WIDTH OF TWENTY FEET, INSTALLED AND MAINTAINED PURSUANT TO THE REQUIREMENTS OF THE CITY OF SURPRISE.

UTILITY COMPANIES:

NATURAL GAS	SOUTHWEST GAS
TELEPHONE	QWEST
CABLE TV	COX COMMUNICATIONS
ELECTRIC	APS
SEWER	CITY OF SURPRISE
WATER	CITY OF SURPRISE

LAND USE DATA:

NUMBER OF LOTS:	205
EXISTING ZONING:	R1-5 PAD
GROSS AREA:	61.04 ACRES
NET AREA:	50.43 ACRES
WELL SITE:	0.55 ACRES
FUTURE DEVELOPMENT PHASE:	5.01 ACRES
SINGLE-FAMILY RESIDENTIAL AREA:	30.59 ACRES
PROPOSED STREET R.O.W. AREA:	10.61 ACRES
PROPOSED DENSITY:	3.36 DU/AC
ALLOWED DENSITY:	8.3 DU/AC
MINIMUM REQUIRED OPEN SPACE:	6.10 ACRES
PROPOSED OPEN SPACE (TRACTS):	28.3% (14.28 ACRES)
(OPEN SPACE ACREAGE DIVIDED BY NET SITE ACREAGE)	
PARKING PROVIDED (GARAGE):	2/UNIT = 410
MAX. LOT SIZE:	15,338 SF
MIN. LOT SIZE:	4,256 SF
AVERAGE LOT SIZE:	6,504 SF

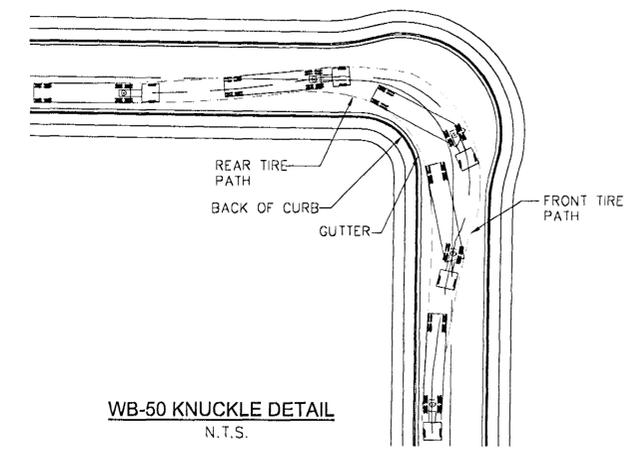
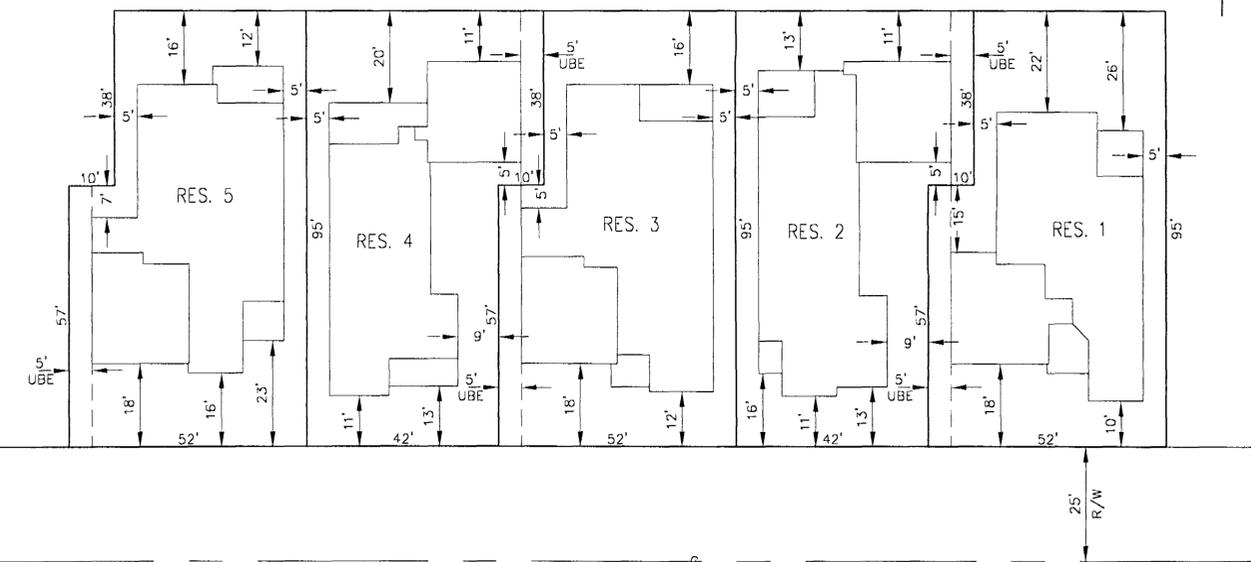
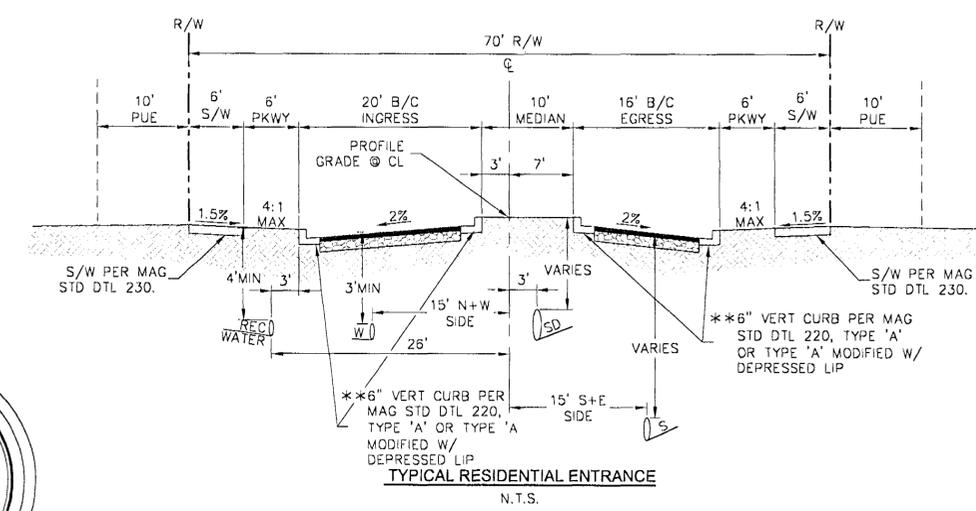
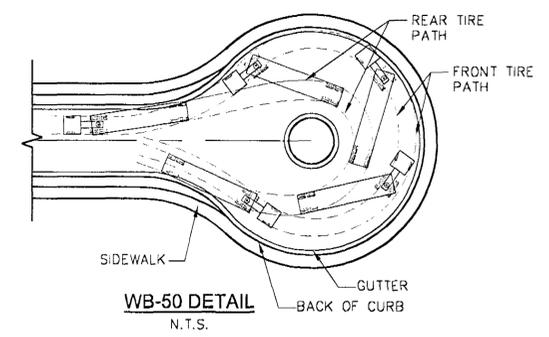
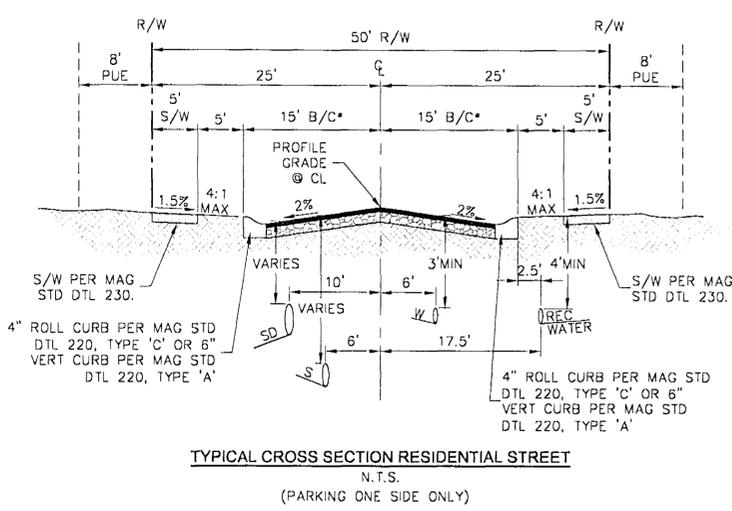
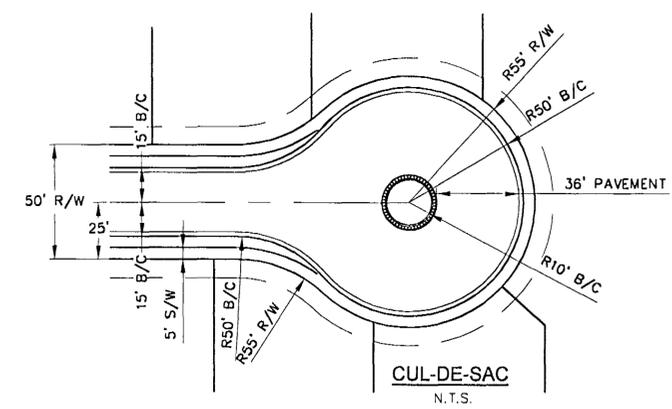
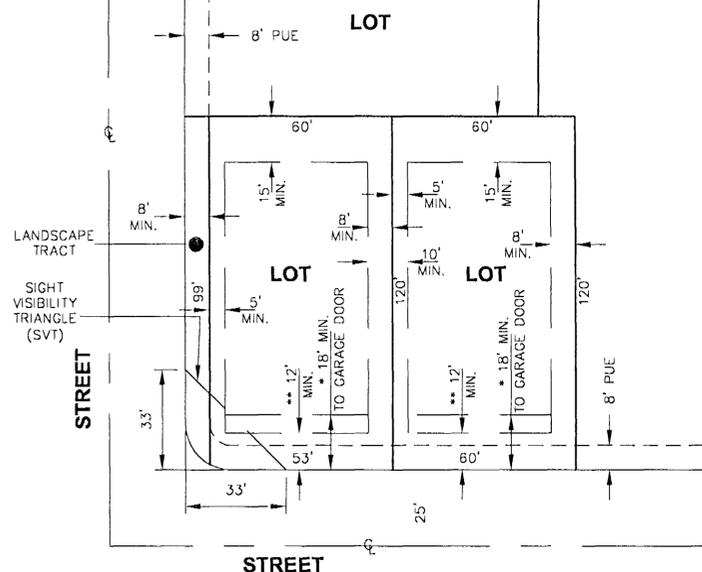


VERSION:	DATE:	INIT:	DESCRIPTION:
1	10/09/06	KLR	SUBMIT TO CITY OF SURPRISE FOR 1ST REVIEW
2	12/08/06	KLR	SUBMIT TO CITY OF SURPRISE FOR 2nd REVIEW
3	04/26/07	KLR	SUBMIT TO CITY OF SURPRISE FOR 3RD REVIEW
4	08/07/07	KLR	SUBMIT TO CITY OF SURPRISE FOR 4TH REVIEW

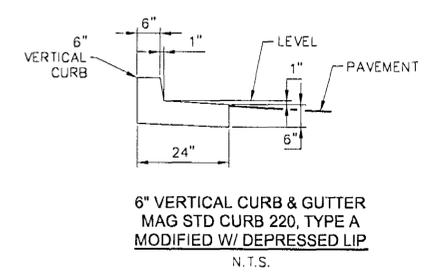
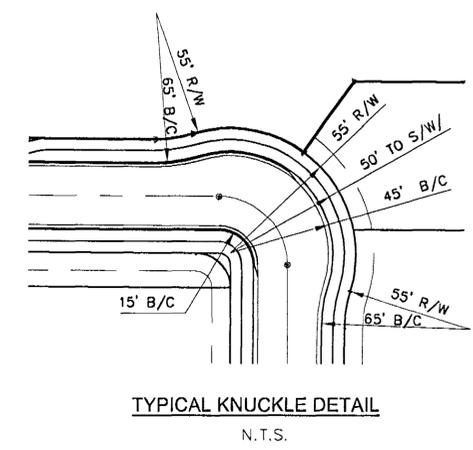
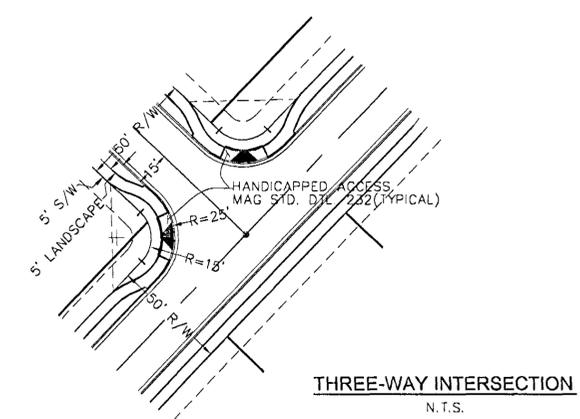
REVISION:	DATE:	INIT:	DESCRIPTION:

ASANTE
 PHASE TWO UNIT 14
 PRELIMINARY PLAT

DATE:	08/07/07
PROJ. NO:	03101
DESIGN:	RM
DRAWN:	JW/DR
CHECK:	HR



*BASED ON A GEOTECHNICAL REPORT TITLED, "SOILS INVESTIGATION C.I.T. PROJECT NO. 61385" PREPARED BY CONSTRUCTION INSPECTION AND TESTING CO. APRIL 15, 2005 618 SOUTH MADISON DRIVE, TEMPE, ARIZONA 85281 PHONE 480-446-9876



REVISIONS:	DATE:	INIT:

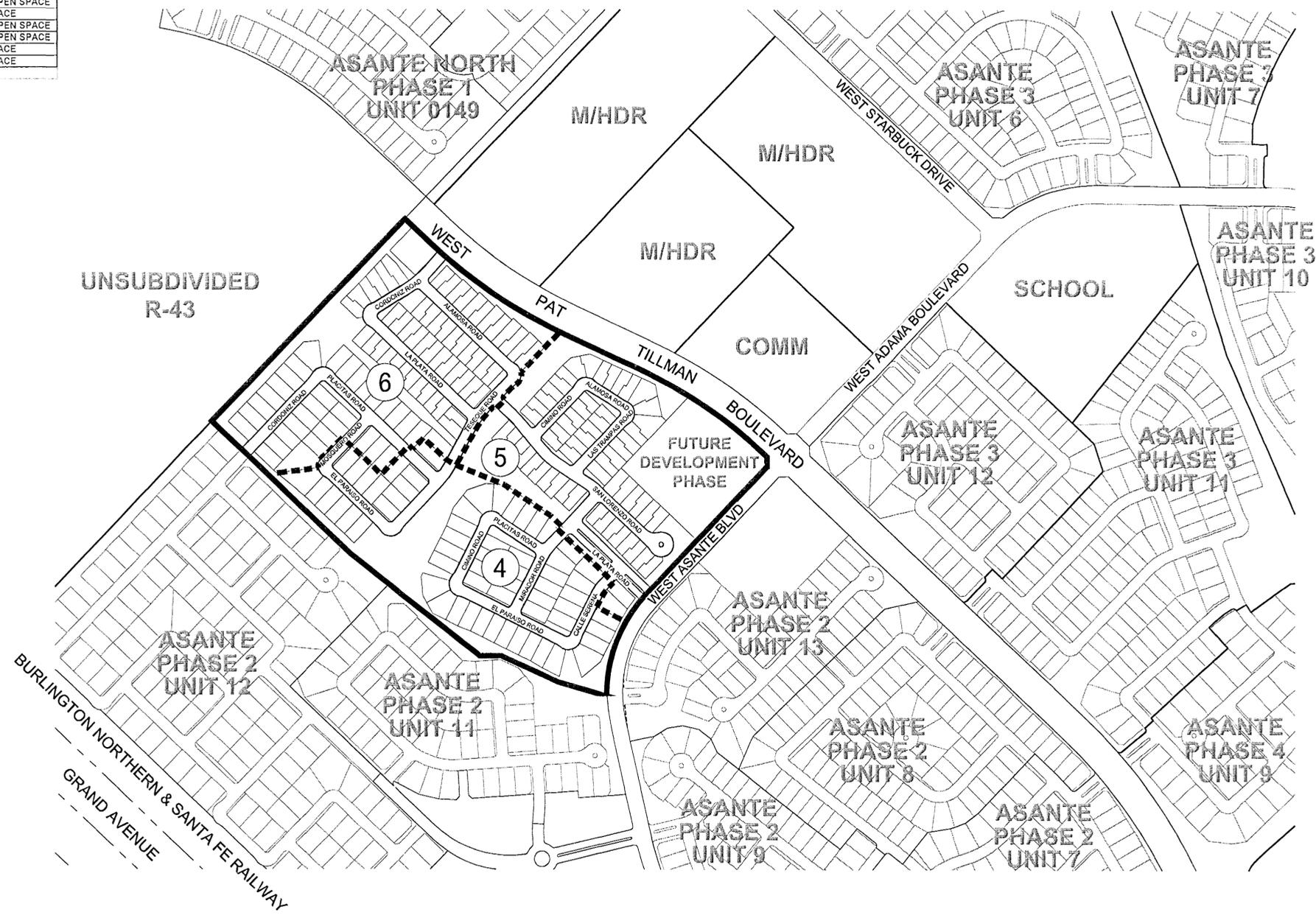
6225 N. 24th Street, Suite 200
Phoenix, Arizona 85016
Phone: (602) 954-0038
Fax: (602) 944-8605

14393 RICHARD B HOPPE
1-1-07
ARIZONA U.S.A.

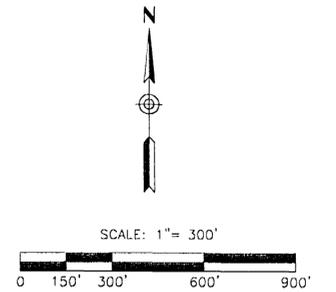
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CHECK: HIR
PROJ. NO: 03101
DATE: 08/07/07
SHEET: 02 of 6

ASANTE PHASE 2 UNIT 14 PRELIMINARY PLAT STREET SECTIONS

TRACT	AREA	USE
TRACT A	6.69	LANDSCAPE/DRAINAGE EASEMENT/OPEN SPACE
TRACT B	0.19	LANDSCAPE/DRAINAGE EASEMENT/OPEN SPACE
TRACT C	0.05	LANDSCAPE/DRAINAGE EASEMENT/OPEN SPACE
TRACT D	0.15	LANDSCAPE/DRAINAGE EASEMENT/OPEN SPACE
TRACT E	0.10	LANDSCAPE/DRAINAGE EASEMENT/OPEN SPACE
TRACT F	0.02	LANDSCAPE/DRAINAGE EASEMENT/OPEN SPACE
TRACT G	0.04	LANDSCAPE/DRAINAGE EASEMENT/OPEN SPACE
TRACT H	0.02	LANDSCAPE/DRAINAGE EASEMENT/OPEN SPACE
TRACT I	0.13	LANDSCAPE/DRAINAGE EASEMENT/OPEN SPACE
TRACT J	3.14	LANDSCAPE/DRAINAGE EASEMENT/OPEN SPACE
TRACT K	0.03	LANDSCAPE/DRAINAGE EASEMENT/OPEN SPACE
TRACT L	0.02	LANDSCAPE/DRAINAGE EASEMENT/OPEN SPACE
TRACT M	2.36	LANDSCAPE/DRAINAGE EASEMENT/OPEN SPACE
TRACT N	0.09	LANDSCAPE/DRAINAGE EASEMENT/OPEN SPACE
TRACT O	0.22	LANDSCAPE/DRAINAGE EASEMENT/OPEN SPACE
TRACT P	0.07	LANDSCAPE/DRAINAGE EASEMENT/OPEN SPACE
TRACT Q	0.10	LANDSCAPE/DRAINAGE EASEMENT/OPEN SPACE
TRACT R	0.01	LANDSCAPE ISLAND/OPEN SPACE
TRACT S	0.05	LANDSCAPE/DRAINAGE EASEMENT/OPEN SPACE
TRACT T	0.73	LANDSCAPE/DRAINAGE EASEMENT/OPEN SPACE
TRACT U	0.05	LANDSCAPE ISLAND/OPEN SPACE
TRACT V	0.03	LANDSCAPE ISLAND/OPEN SPACE
TOTAL	14.28	



SHEET INDEX MAP



REVISIONS:	DATE:	INIT:



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Phoenix, Arizona 85016
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Fax: (602) 944-8605

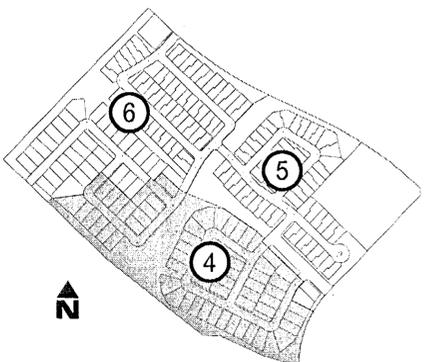
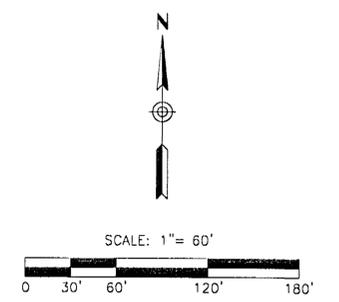
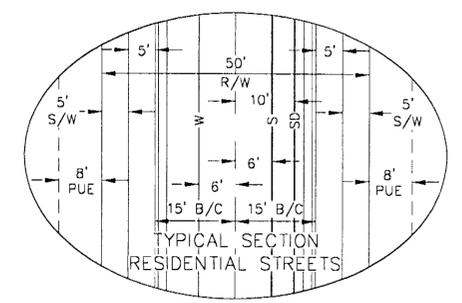
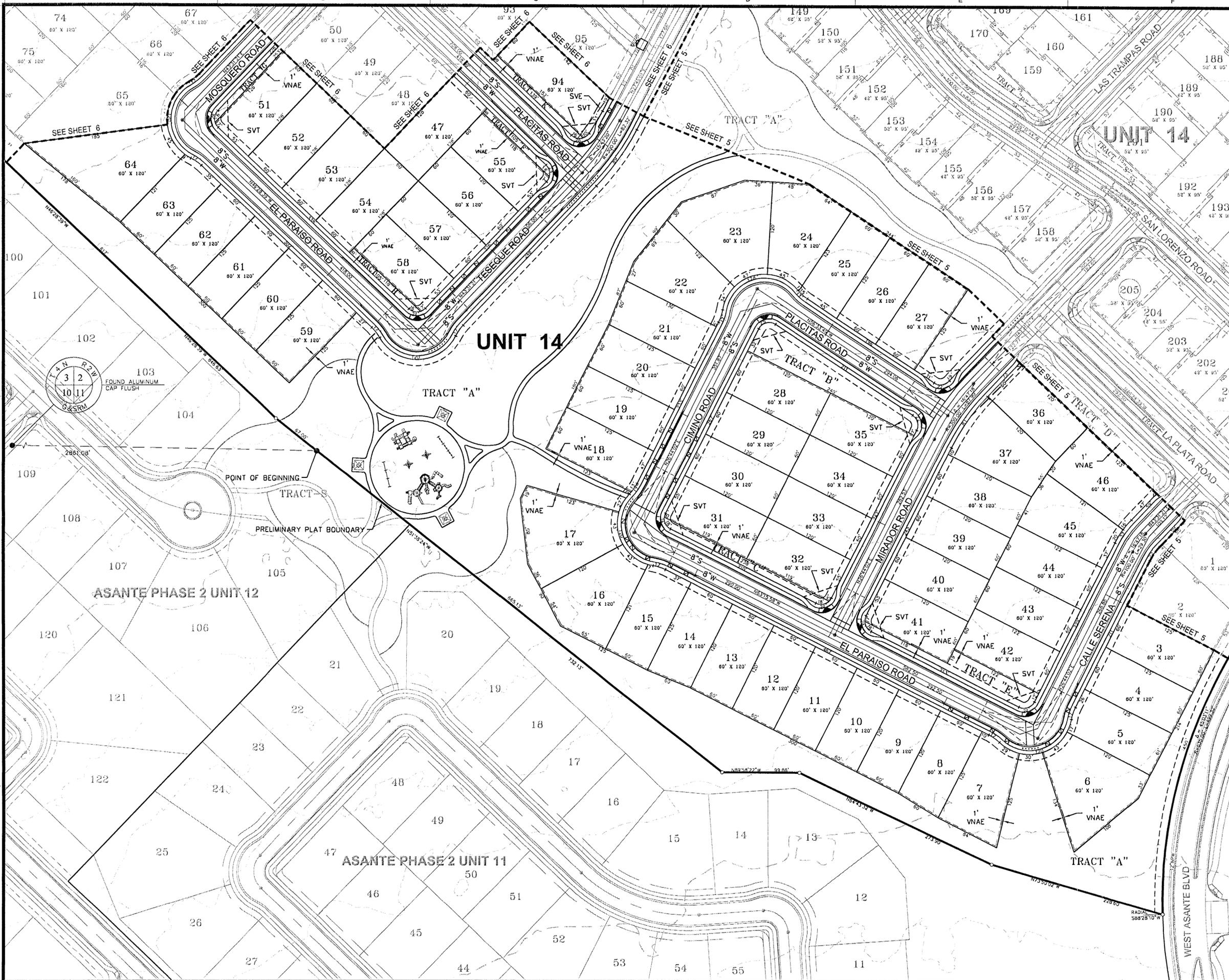




DESIGN:	RM
DRAWN:	JW/DLR
CHECK:	HR
PROJ. NO.:	03101
DATE:	08/07/07
SHEET:	03 of 6

ASANTE PHASE 2
UNIT 14
PRELIMINARY PLAT
SHEET INDEX MAP

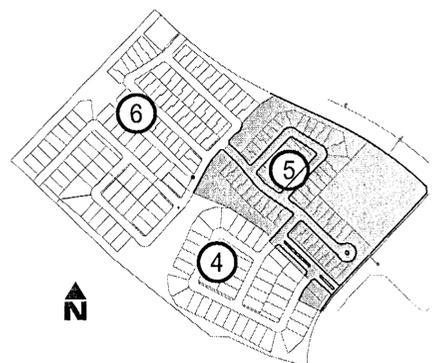
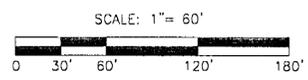
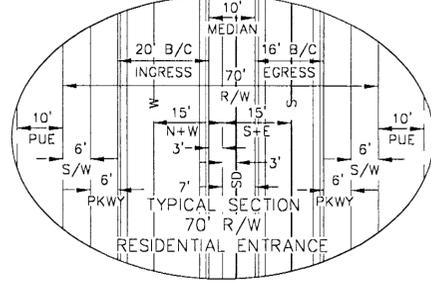
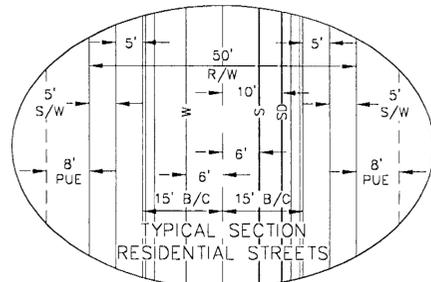
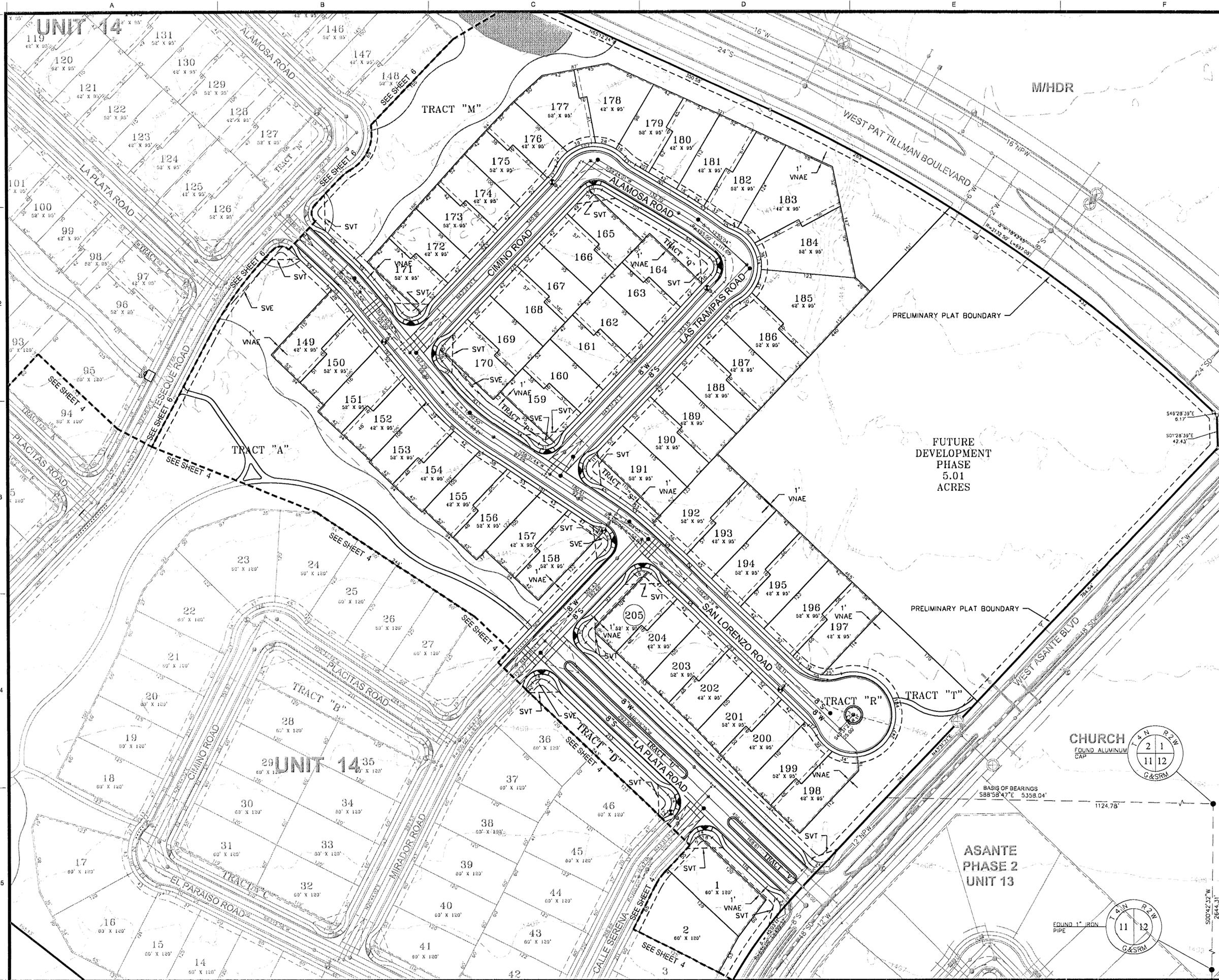
ASANTE PHASE 2 UNIT 14 - PRELIMINARY PLAT



REVISIONS:	DATE:	INIT:

 DEI Professional Services 6225 N. 24th Street, Suite 200 Phoenix, Arizona 85016 Phone: (602) 954-0038 Fax: (602) 944-8605	 LENNAR <small>EXCELLENCE IN HOME BUILDING</small>	 14393 RICHARD B. HOPPE 8-7-07 PHOENIX, ARIZONA, U.S.A.	
			DESIGN: RM
			DRAWN: JW/DLR
			CHECK: HR
			PROJ. NO: 03101
DATE: 08/07/07	SHEET: 04 of 6		

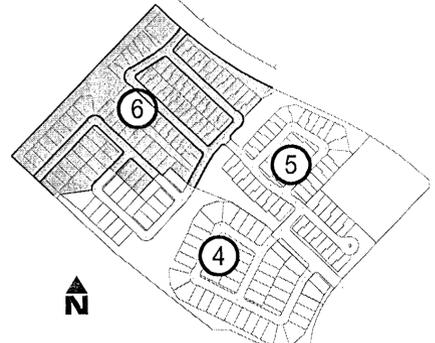
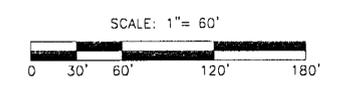
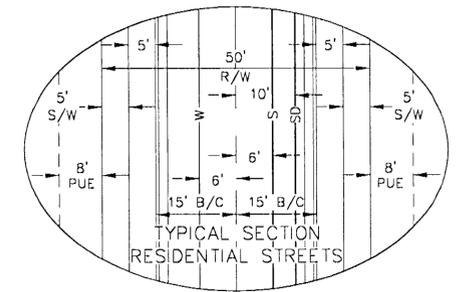
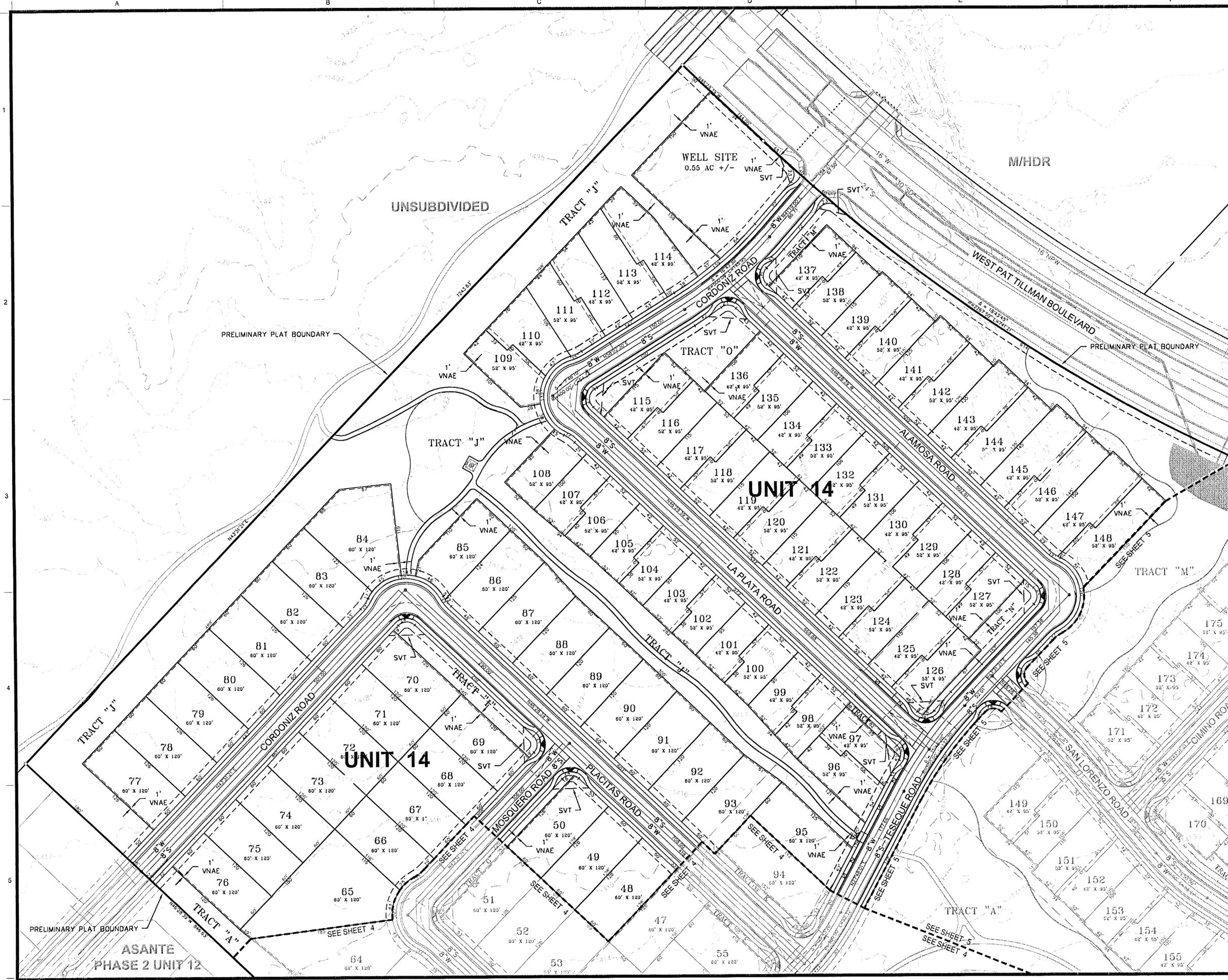
ASANTE PHASE 2 UNIT 14 - PRELIMINARY PLAT



REVISIONS:	DATE:	INIT:

 6225 N. 24th Street, Suite 200 Phoenix, Arizona 85016 Phone: (602) 954-0038 Fax: (602) 944-8005	 14393 RICHARD B. HOPPE 8-7-07 PHOENIX, ARIZONA, U.S.A.	DESIGN: RM
		DRAWN: JW/DLR
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		PROJ. NO: 03101
		DATE: 08/07/07
		SHEET: 05 of 8

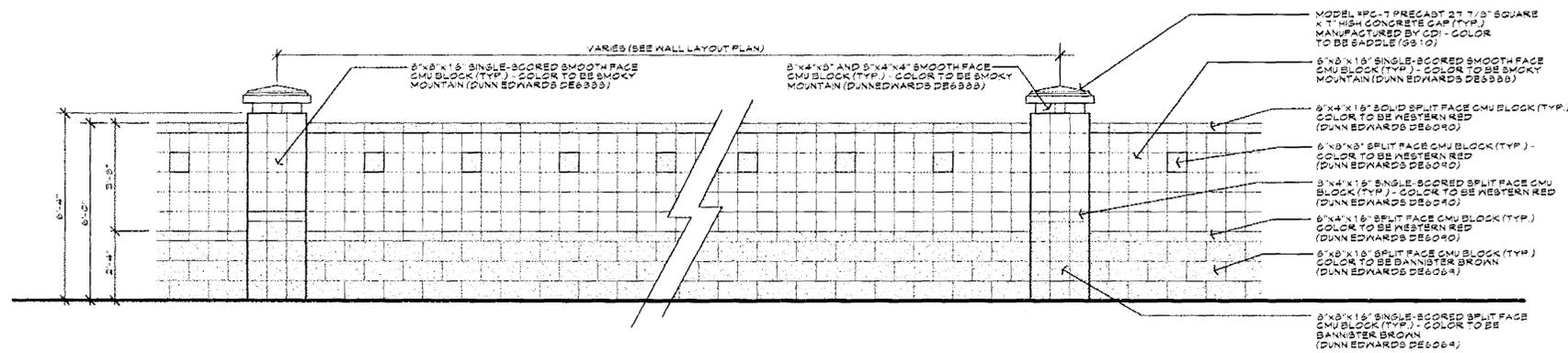
ASANTE PHASE 2 UNIT 14 - PRELIMINARY PLAT



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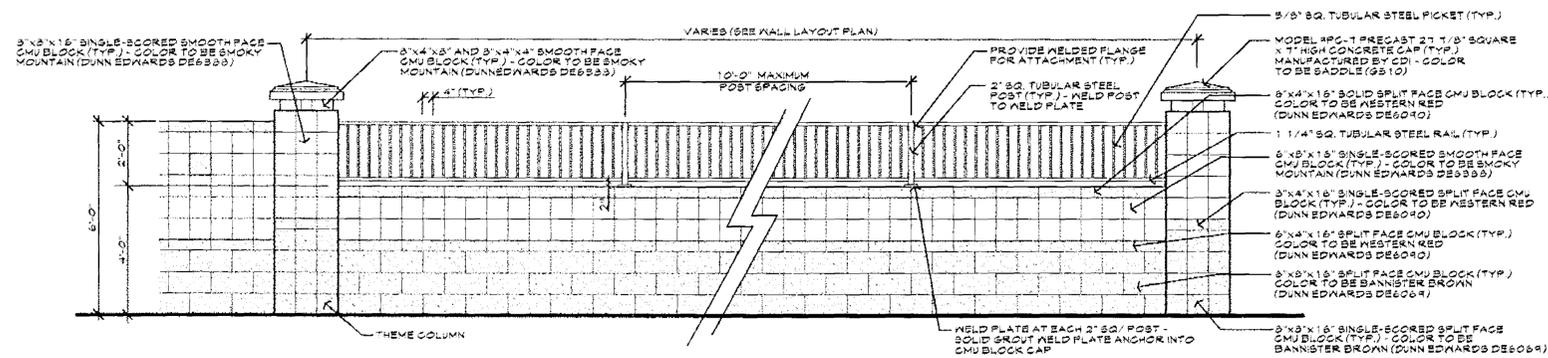
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UNIT 14		
PRELIMINARY PLAT		
DESIGN:	RM	
DRAWN:	JW/DLR	
CHECK:	HR	
PROJ. NO.:	03101	
DATE:	08/07/07	
SHEET:	06 of 6	

ASANTE PHASE 2 UNIT 14 - PRELIMINARY PLAT



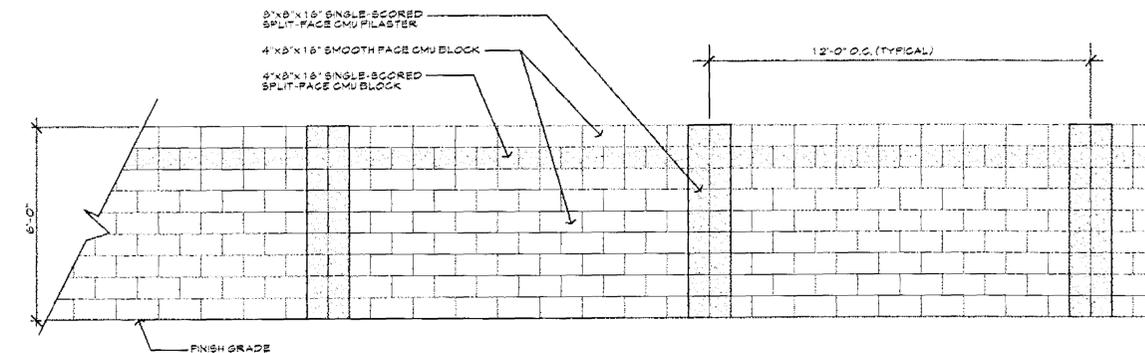
A 6' PROJECT THEME WALL
ELEVATION

SCALE: 3/8"=1'-0"



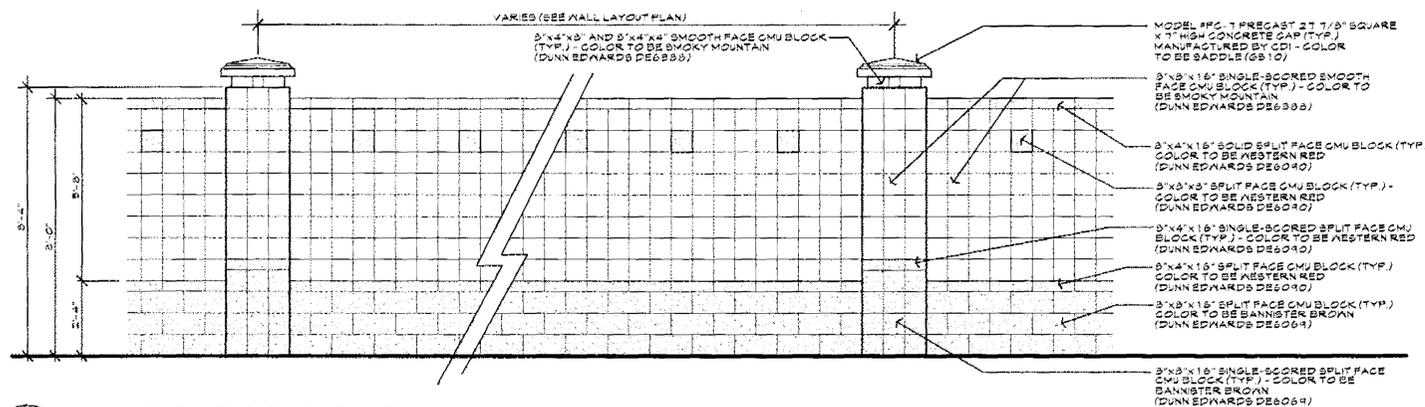
B PROJECT VIEW WALL (2' CMU / 4' IRON)
ELEVATION

SCALE: 3/8"=1'-0"



C BUILDER WALL
ELEVATION

SCALE: 3/8"=1'-0"



D 8' PROJECT THEME WALL
ELEVATION

SCALE: 3/8"=1'-0"




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 602-955-1111

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PRELIMINARY LANDSCAPE CONCEPT
PHASE TWO, UNIT 14

Arizona

SHEET

L4

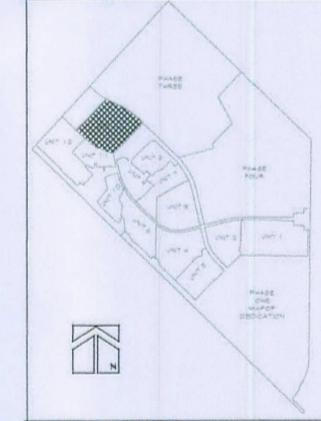
WALL LAYOUT PLAN

SEPTEMBER 27, 2006
REV. JANUARY 31, 2007

ASANTE PHASE TWO UNIT 14



PHASE MAP NTS



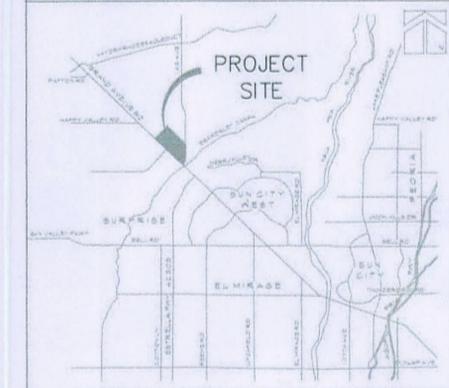
PROJECT WALL KEY

- PROJECT THEME WALL - 6' HEIGHT
SEE DETAIL 'A', SHEET L4.
- PROJECT VIEW WALL
(4' CMU / 2' WROUGHT IRON)
SEE DETAIL 'B', SHEET L4.
- PROJECT THEME WALL - 8' HEIGHT
SEE DETAIL 'D', SHEET L4.
- PROJECT BUILDER WALL
SEE DETAIL 'C', SHEET L4.
- THEME COLUMN (6' WALL HT.)
SEE DETAILS 'A' AND 'B', SHEET L4.
- THEME COLUMN (8' WALL HT.)
SEE DETAIL 'D', SHEET L4.
- PROJECT SIGNAGE LOCATION
LOCATE ON THEME WALL

NOTES:

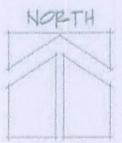
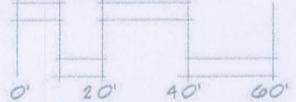
1. ALL COLUMNS AND WALLS SHALL BE LOCATED OUT OF SIGHT VISIBILITY TRIANGLES.
2. COLUMNS TO BE SET BACK 10'-0" BEHIND THE F.U.E. LINE AT SIDEYARDS (TYP.). CONTRACTOR TO INSTALL 6"x6" CONCRETE HEADER FROM THE FRONT OF COLUMN TO THE BACK OF SIDEWALK.

VICINITY MAP NTS



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SCALE: 1"=20'-0"



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PRELIMINARY LANDSCAPE CONCEPT
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Arizona

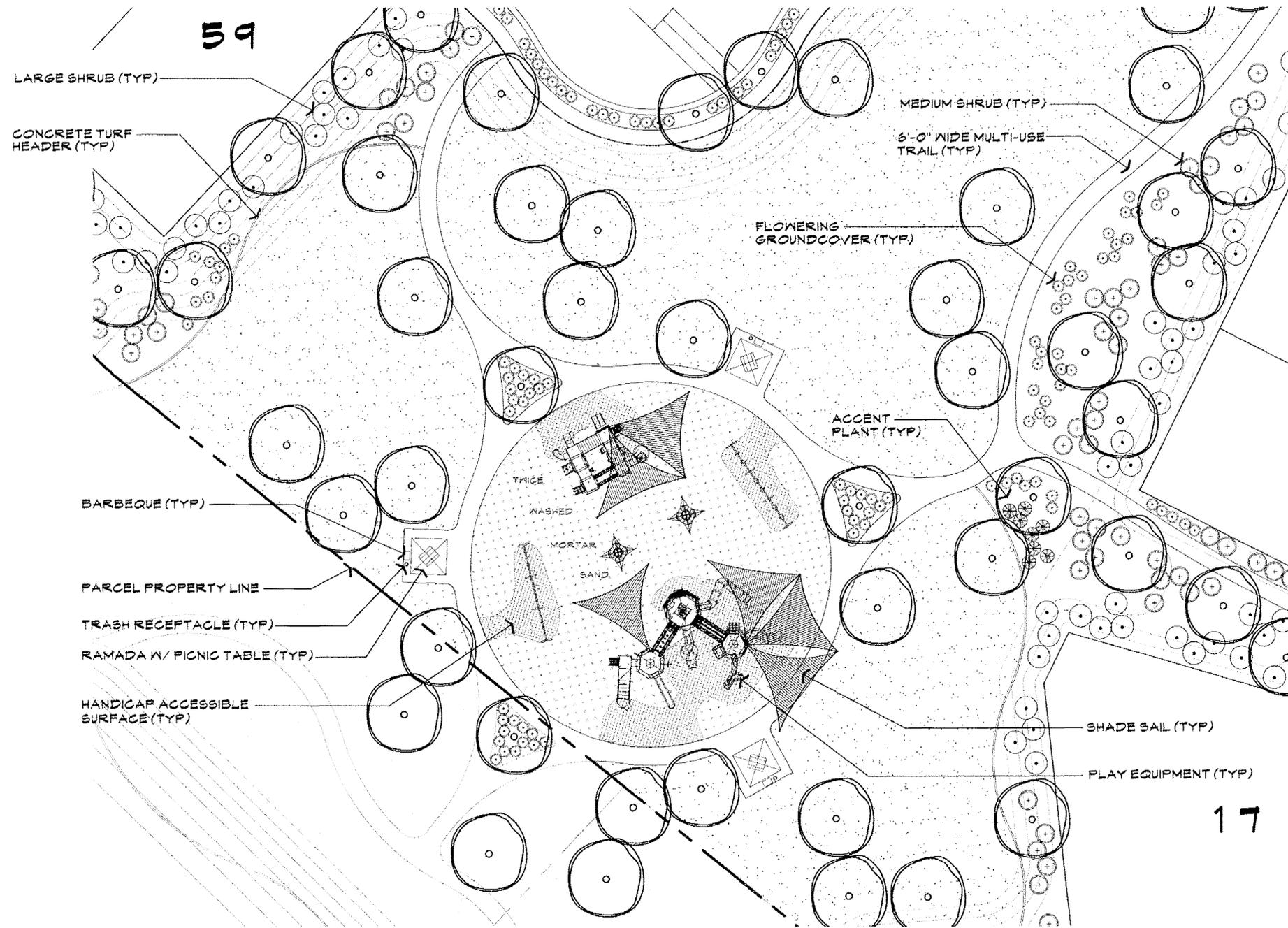
SHEET

L3

OPEN SPACE ENLARGEMENT PLAN

SEPTEMBER 27, 2006
REV. JANUARY 31, 2007

ASANTE PHASE TWO
UNIT 14



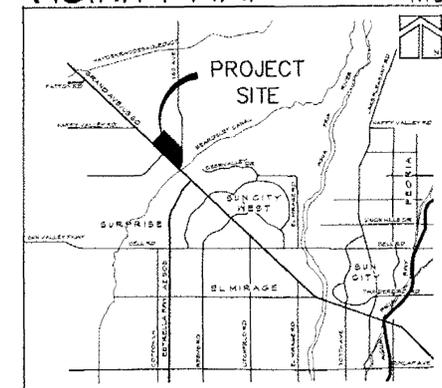
PLANT LEGEND

LARGE - MEDIUM CANOPY TREES	
ACACIA SMALLII	SWEET ACACIA
CERCIDIUM HYBRID	DESERT MUSEUM (THORNLESS PALO VERDE)
CERCIDIUM MICROPHYLLUM	FOOTHILL PALO VERDE
CERCIDIUM PRAECOX	PALO BREA
PROSOPIA CHILENSIS	THORNLESS MESQUITE
FINUS ELDERICA	MONDEL PINE
ULMUS PARVIFOLIA	CHINESE EVERGREEN ELM
MEDIUM - SMALL ORNAMENTAL TREES	
ACACIA SALICINA	WILLOW ACACIA
DALBERGIA SIBBOO	SIBBOO TREE
QUERCUS VIRGINIANA 'HERITAGE'	HERITAGE LIVE OAK
OLNEYA TESOTA	IRONWOOD
NERIUM OLEANDER	TREE OLEANDER
SCHINUS TEREBINTHIFOLIUS	BRAZILIAN PEPPER TREE
OLEA EUROPAEA 'SWAN HILL'	SWAN HILL OLIVE
SHRUBS/ACCENTS	
AGAVE SPECIES	AGAVE
AMBROSIA DELTOIDEA	TRIANGLE LEAF BURSAGE
BOUGAINVILLEA SPECIES	B. KARST BOUGAINVILLEA
BOUGAINVILLEA 'LA JOLLA'	BUSH BOUGAINVILLEA
CASSIA PHYLLODENDRA	SILVERY CASSIA
CASSIA NEMOPHILA	GREEN CASSIA
CYCAS REVOLUTA	SAGO PALM
DALEA FRUTESCENS	BLACK DALEA
DASYLIRION WHEELERI	DESERT SPOON
EREMOPHILA SPECIES	VALENTINE BUSH
HESPERALOE PARVIFLORA	RED YUCCA
LEUCOPHYLLUM CANDIDUM	THUNDERCLOUD SAGE
LEUCOPHYLLUM FRUTESCENS	THUNDER CLOUD SAGE
LEUCOPHYLLUM LANGMANIAE	GREEN CLOUD SAGE
MUHLENBERGIA RIGENS	RIO BRAVO TEXAS SAGE
NERIUM OLEANDER	DEER GRASS
RUPELLIA BRITTONIANA	PETITE PINK OLEANDER
RUPELLIA PENINSULARIS	BRITISH RUELLEA
TACOMA SPECIES	BAJA RUELLEA
PEDILANTHUS MACROCARPUS	TACOMA
ROSA BANKSIAE	LADY SLIPPER
XYLOSMA CONGESTUM	LADY BANKS ROSE
TECOMARIA CAPENSIS	XYLOSMA
CAESALPINIA SPP.	CAPE HONEYSUCKLE
	BIRD-OF-PARADISE
GROUND COVER	
ASPARGUS DENSIFLORUS 'V. SPRENGERI'	SPRENGER ASPARAGUS
CONVOLVULUS GNEORUM	BUSH MORNING GLORY
BACCHARIS X CENTENNIAL	CENTENNIAL BACCHARIS
DALEA CAPITATA 'SIERRA GOLD'	SIERRA GOLD DALEA
LANTANA CAMARA	NEON GOLD LANTANA
ROSMARINUS IRENE	IRENE ROSEMARY
BAILEYA MULTIRADIATA	DESERT MARIGOLD
PENSTEMON PARRYI	PENSTEMON SPECIES
OENOTHERA BERLANDIERI	MEXICAN EVENING PRIMROSE
VERBENA RIGIDA	SANDPAPER VERBENA
	DECOMPOSED GRANITE
	3/4" SCREENED - COLOR TO BE EXPRESS BROWN
	TURF
	SOD OR SEED DEPENDING ON TIME OF YEAR

59

17

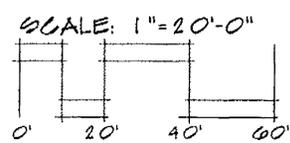
VICINITY MAP



SHEET
L2



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Parks and Recreation
11110 N. Tatum Blvd.
Suite 100
Phoenix, Arizona
85028
602-441-4043
602-441-4041 fax



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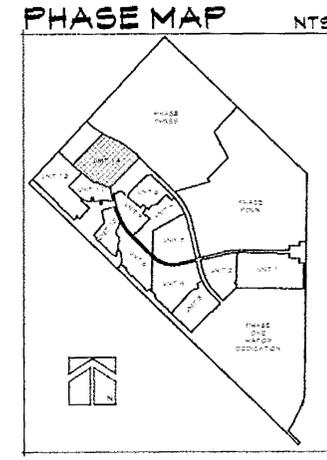
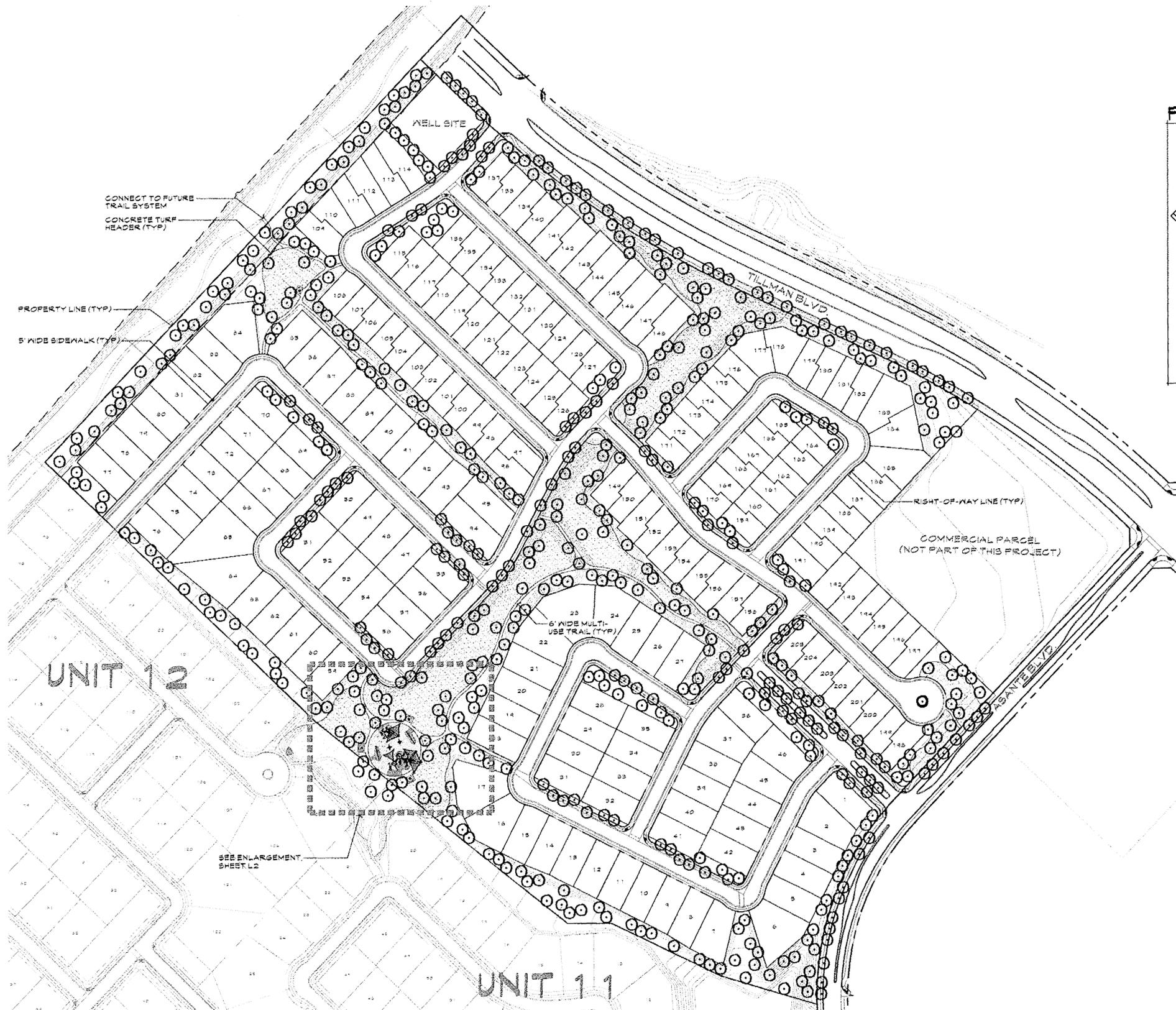
PRELIMINARY LANDSCAPE CONCEPT
PHASE TWO, UNIT 14

Arizona

LANDSCAPE MASTER PLAN

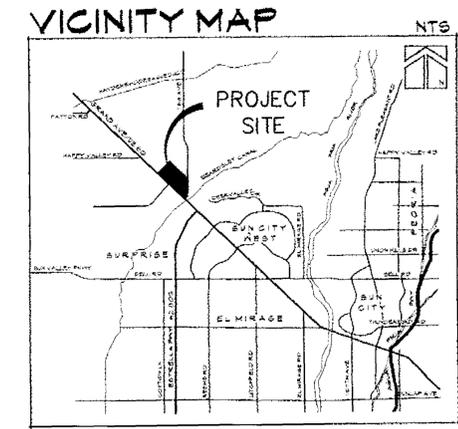
SEPTEMBER 27, 2006
REV. JANUARY 31, 2007

ASANTE PHASE TWO
UNIT 14

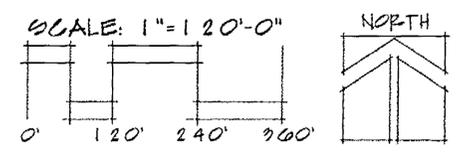


PLANT LEGEND

LARGE - MEDIUM CANOPY TREES	
ACACIA SMALLI CERCIDIUM HYBRID	SWEET ACACIA DESERT MUSEUM (THORNLESS PALO VERDE)
CERCIDIUM MICROPHYLLUM CERCIDIUM PRAECOX PROSOPIS CHILENSIS PINUS ELDERICA ULMUS PARVIFOLIA	FOOTHILL PALO VERDE PALO BREA THORNLESS MESQUITE MONDEL PINE CHINESE EVERGREEN ELM
MEDIUM - SMALL ORNAMENTAL TREES	
ACACIA SALICINA DALBERGIA SIBBOO QUERCUS VIRGINIANA HERITAGE OLNEYA TESOTA NERIUM OLEANDER SCHINUS TEREBINTHIFOLIUS OLEA EUROPAEA SWAN HILL	WILLOW ACACIA SIBBOO TREE HERITAGE LIVE OAK IRONWOOD TREE OLEANDER BRAZILIAN PEPPER TREE SWAN HILL OLIVE
SHRUBS/ACCENTS	
AGAVE SPECIES AMBROSIA DELTOIDEA BOUGAINVILLEA SPECIES BOUGAINVILLEA LA JOLLA CASSIA PHYLLODENDRA CASSIA NEMOPHILA CYCAS REVOLUTA DALEA FRUTESCENS DASYLIRION WHEELERI EREMOPHILA SPECIES HESPERALOE PARVIFLORA LEUCOPHYLLUM CANDIDUM THUNDER CLOUD LEUCOPHYLLUM FRUTESCENS GREEN CLOUD LEUCOPHYLLUM LANGMANIAE MULLENBERGIA RIGENS NERIUM OLEANDER RUELLIA BRITTONIANA RUELLIA PENINSULARIS TACOMA SPECIES PEDILANTHUS MACROCARPUS ROSA BANKSIAE XYLOSMA CONGESTUM TECOMARIA CAPENSIS CAESALPINIA SPP.	AGAVE TRIANGLE LEAF BURSAGE B. KARST BOUGAINVILLEA BUSH BOUGAINVILLEA SILVERY CASSIA GREEN CASSIA SAGO PALM BLACK DALEA DESERT SPOON VALENTINE BUSH RED YUCCA THUNDERCLOUD SAGE GREEN CLOUD SAGE RIO BRAVO TEXAS SAGE DEER GRASS PETITE PINK OLEANDER BRITISH RUELLIA BAJA RUELLIA TACOMA LADY SLIPPER LADY BANK'S ROSE XYLOSMA CAPE HONEYSUCKLE BIRD-OF-PARADISE
GROUND COVER	
ASPARAGUS DENSIFLORUS CV. SPRENGERI CONVOLVULUS GNEORUM BACCHARIS X CENTENNIAL DALEA CAPITATA SIERRA GOLD LANTANA CAMARA ROSMARINUS IRENE BAILEYA MULTIRADIATA PENSTEMON PARRYI OENOTHERA BERLANDIERI VERBENA RIGIDA	SPRENGER ASPARAGUS BUSH MORNING GLORY CENTENNIAL BACCHARIS SIERRA GOLD DALEA NEW GOLD LANTANA IRENE ROSEMARY DESERT MARGOLD PENSTEMON SPECIES MEXICAN EVENING PRIMROSE SANDPAPER VERBENA
DECOMPOSED GRANITE	
3/4" SCREENED - COLOR TO BE EXPRESS BROWN	
TURF	
SOD OR SEED DEPENDING ON TIME OF YEAR	



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PRELIMINARY LANDSCAPE CONCEPT
PHASE TWO, UNIT 14

Arizona

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L1