



**City of Surprise Planning and Zoning Commission
AGENDA**

Tuesday, December 18, 2007 - 6 P.M.

Surprise City Hall

12425 West Bell Road, Suite D100, Surprise, AZ

CALL TO ORDER

- A. Roll Call
- B. Pledge of Allegiance

ITEM	ITEM DESCRIPTION	STAFF RECOMMENDATION
C.	Approval of items on the Consent Agenda – all items with an asterisk (*) are considered to be routine matters and will be enacted by one motion and one roll call vote to the Planning and Zoning Commission. There will be no separate discussion on these items unless a Commissioner requests; in which event, the item will be removed from the consent agenda and considered in its normal sequence on the agenda.	

ITEM	ITEM DESCRIPTION	STAFF RECOMMENDATION
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CURRENT EVENTS REPORT

1	PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT REPORT	DISCUSSION
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CONSENT AGENDA:

2*	APPROVE PLANNING/ZONING COMMISSION MINUTES FOR DECEMBER 4, 2007.	APPROVE
3*	SP07-384 – CONSIDERATION AND ACTION – SURPRISE VALLEY – TRADER JOE’S AND SHOPS: REVIEW A SITE PLAN FOR SURPRISE VALLEY-TRADER JOE’S AND SHOPS LOCATED ON GRAND AVENUE SOUTH OF PARKVIEW PLACE. REQUEST IS SUBJECT TO STIPULATIONS A THROUGH G.	APPROVE PLANNER: LANCE FERRELL
4*	SP07-247 – CONSIDERATION AND ACTION – STADIUM VILLAGE RESIDENCE INN: REVIEW A SITE PLAN FOR STADIUM VILLAGE RESIDENCE INN LOCATED ON THE NORTHWEST CORNER OF BULLARD AVENUE AND PARADISE LANE. REQUEST IS SUBJECT TO STIPULATIONS A THROUGH I.	APPROVE PLANNER: ADAM COPELAND
5*	SP06-430 – CONSIDERATION AND ACTION – A DESIGN BUILD PROJECT FOR SKYWAY LOT 23 : REVIEW A SITE PLAN FOR A DESIGN BUILD PROJECT FOR SKYWAY LOT 23 LOCATED ON THE NORTHWEST CORNER OF DYSART ROAD AND PEORIA AVENUE. REQUEST IS SUBJECT TO STIPULATIONS A THROUGH H.	APPROVE PLANNER: ADAM COPELAND
6*	SPA07-365 – CONSIDERATION AND ACTION – ARIZONA CHARTER ACADEMY ELEMENTARY SCHOOL: REVIEW A SITE PLAN AMENDMENT TO AMEND PLAT SP03-171 TO ADD PROPERTY, A GYM, AND ADDITIONS TO EXISTING BUILDINGS. THE SUBJECT SITE IS LOCATED AT 16011 NORTH DYSART ROAD. REQUEST IS SUBJECT TO STIPULATIONS A THROUGH F.	APPROVE PLANNER: LANCE FERRELL

Surprise Planning & Zoning Commission

Jan Blair, Vice Chair

John Hallin, Steve Somers, Fred Watts

REGULAR AGENDA ITEM REQUIRING A PUBLIC HEARING:

- | | | |
|---|--|--|
| 7 | CUP07-051 – CONSIDERATION AND ACTION – MCDONALDS RESTAURANT:
REVIEW A CONDITIONAL USE PERMIT APPLICATION FOR MCDONALDS LOCATED ON BELL ROAD BETWEEN SARIVAL AVENUE AND LOOP 303. REQUEST IS SUBJECT TO STIPULATIONS A THROUGH F . | APPROVE

PLANNER:
LANCE FERRELL |
| 8 | PAD07-208 – CONSIDERATION AND ACTION – CACTUS COMMERCE CENTER:
REVIEW A PLANNED AREA DEVELOPMENT FOR A 160-ACRE COMMERCE/INDUSTRIAL PARK LOCATED AT THE NORTHEAST CORNER OF CACTUS AND LITCHFIELD ROADS. REQUEST IS SUBJECT TO STIPULATIONS A THROUGH H. | RECOMMEND
APPROVAL

PLANNER:
DENNIS DORCH |
| 9 | PP07-217 – CONSIDERATION AND ACTION – LOFTS@PARKVIEW PLACE:
REVIEW A PRELIMINARY PLAT FOR THE LOFTS @ PARVIEW PLACE CONSISTING OF 107 OWNER-OCCUPIED RESIDENTIAL TOWNHOMES LOCATED ON THE SOUTHEAST CORNER OF PARKVIEW AND YOUNG STREETS . REQUEST IS SUBJECT TO STIPULATIONS A THROUGH J. | RECOMMEND
APPROVAL

PLANNER:
ADAM COPELAND |

OPEN CALL TO PUBLIC:

CALL TO THE PUBLIC

Note: During this time members of the public may address the Commission on any item not on the agenda. At the conclusion of the open call, Commissioners may respond to criticism, may ask staff to review the matter or may ask that the matter be put on a future agenda. No discussion or action shall take place on any item raised.

CURRENT EVENTS REPORT

CHAIRPERSON AND COMMISSIONERS

CONSIDERATION AND ACTION TO HOLD AN EXECUTIVE SESSION:

Pursuant to A.R.S. § 38-431.03(A)(3), the Planning and Zoning Commission may go into executive session with the City Attorney for legal advice on any item listed on the agenda.

ADJOURNMENT:

POSTED: DECEMBER 11, 2007 TIME: 9 a.m.

Kathy S. Rice, Acting Director
Community Development

REQUEST TO SPEAK: Comments pertaining to the Planning and Zoning Commission business are welcome. If you wish to address the Planning and Zoning Commission, please complete a Public Comment Form and present it to the secretary before the call to order for this meeting.

SPECIAL NOTE: Individuals needing reasonable accommodations, such as large print materials and oral/ ASL interpreters, should contact the Disability Advocate at 623.222.3821 (Voice) or 623.222.3802 (TTY/VP) at least three (3) business days prior to the event so arrangements can be made.

Surprise Planning & Zoning Commission

Jan Blair, Vice Chair
John Hallin, Steve Somers, Fred Watts



**City of Surprise Planning and Zoning Commission
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Surprise Planning & Zoning Commission

Lyn Truitt, Chairman - Jan Blair, Vice Chair

Richard Alton, Jesse Conn, John Hallin, Steve Somers, Fred Watts

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Surprise Planning & Zoning Commission

Lyn Truitt, Chairman - Jan Blair, Vice Chair
Richard Alton, Jesse Conn, John Hallin, Steve Somers, Fred Watts

CITY OF SURPRISE

**PLANNING AND ZONING COMMISSION
12425 West Bell Road, Suite D-100
Surprise, Arizona 85374**

December 4, 2007

REGULAR MEETING MINUTES

CALL TO ORDER:

Vice Chair Blair called the Planning and Zoning Commission Meeting to order at 6:00 p.m. at the Surprise City Hall, 12425 West Bell Road, Suite D100, Surprise, Arizona 85374, on Tuesday, December 4, 2007.

ROLL CALL:

In attendance with Vice Chair Blair were John Hallin, Steve Somers and Fred Watts. Richard Alton, Jesse Conn, and Lyn Truitt have tendered their resignations.

PLEDGE OF ALLEGIANCE:

CURRENT EVENTS REPORT: None

CONSENT AGENDA:

All items listed with an asterisk (*) are considered to be routine by the Planning and Zoning Commission and were approved by one motion. There was no separate discussion of these items during this meeting.

Commissioner Watts made a motion to approve the **Consent Agenda**. Commissioner Somers seconded the motion. The motion passed with a vote of 4 ayes and 3 vacancies.

- **Approved Item 2*: Planning and Zoning Commission Minutes for December 4, 2007**
- **Approved Item 3*: SP06-488 – Consideration and Action – Storage Solutions, Stipulations 'a' through 'h.'**
- **Approved Item 4*: RS06-439 – Consideration and Action – O&P Estates, Stipulations 'a' through 'j.'**
- **Approved Item 5*: RS06-230 – Consideration and Action – Professional Marketing Group, Stipulations 'a' through 'j.'**

Vice Chair Blair explained Item 6, CUP07-242, Imagine School at Surprise, noting that this is a consideration and action for Imagine School at Surprise, which includes reviewing a conditional use permit for the Imagine School, located on the southeast corner of Custer Lane and 156th Avenue. The request is subject to stipulations 'a' through 'i.'

Vice Chair Blair announced that this item will not be opened to a public meeting, as the public hearing was already held.

REGULAR AGENDA ITEMS NOT REQUIRING A PUBLIC HEARING

Item 6: CUP07-242 – Consideration and Action – Imagine School at Surprise

Planner Lance Ferrell presented the project to the Commission. Staff recommended approval of **CUP07-242, Imagine School at Surprise**, subject to stipulations 'a' through 'i.'

Lynne LaGarde, Earl, Curley, and LaGarde, representing applicant, provided additional information, noting that Imagine has a proven safety record at their school campuses with adequate traffic and parking management. For this specific location, a bus service has been added and school start times have been delayed to avoid conflicts with Carden. She pointed out that the City's staff has prepared a technical memorandum to address traffic issues and has maintained there is no safety hazard and is recommending approval.

Ms. LaGarde mentioned that information was disseminated that misrepresented Imagine School. This information stated that the school would be an alternative school for dropouts. She stressed that this is not an accurate statement; Imagine School is a college preparatory school.

Ms. LaGarde indicated that Carden is misrepresenting the School Facilities Board requirements. Also, the ADOT guidelines were missing information, specifically, that engineers familiar with local conditions are in the best position to assess and make engineering decisions.

Nick Wood, Snell and Wilmer, representing Carden School, stated that he feels Commissioners are asked to act without any specific standards set forth. He indicated that determinations need to be made using discretion, while considering the effect of the proposed use upon the health, safety and general welfare of surrounding land. Without standards, decisions will be made by guessing, using individual experience, or looking to authorities for guidance. He stated that he has never asked that the Commission follow the Arizona state statutes nor has he requested that the ADOT set of standards for school safety be imposed upon the decision makers. He suggested that since no specific standards have been given for the Commissioners to use, perhaps they could rely on the standards set by the School Facilities Board.

Mr. Wood provided information regarding various charter schools throughout the city with less students yet more parking accommodations than recommended for this site.

In response to Commissioner Watts, Ms. LaGarde stated that signage can be provided if needed. She added that school staff does typically direct traffic at the schools.

Commissioner Somers made a motion to **approve CUP07-242, Imagine School at Surprise**, subject to stipulation 'a' through 'i.' Commissioner Watts seconded the motion. The motion failed with a vote of 2 ayes (Hallin, Blair), 2 nays (Watts, Somers) and 3 vacancies.

Vice Chair Blair called a recess at 6:16 p.m. The meeting was reconvened at 6:24 p.m.

REGULAR AGENDA ITEMS REQUIRING A PUBLIC HEARING

Item 7: PP07-077 – Consideration and Action – Laizure Estates

Planner Adam Copeland presented the project to the Commission. Staff recommended approval of **PP07-077, Laizure Estates**, subject to stipulations 'a' through 'l.'

In response to Commissioner Hallin, **Brad Chelton, Copperfield Management, applicant**, stated that they will comply with standards for crossing washes, as well as minimize the amount of disturbance to the hillside.

Vice Chair Blair opened the meeting for public comment. Hearing no comments from the public, Vice Chair Blair closed the public hearing.

Commissioner Somers made a motion to **approve PP07-077, Laizure Estates**, subject to stipulations 'a' through 'l.' Commissioner Hallin seconded the motion. The motion passed with a vote of 4 ayes and 3 vacancies.

Item 8: PADA07-155 – Consideration and Action – Sycamore Farms Parcel 12

Planner Bart Wingard presented the project to the Commission. Staff recommended approval of **PADA07-155, Sycamore Farms Parcel 12**, subject to stipulations 'a' through 'h.'

Mike Withey, Withey, Anderson & Morris, applicant, provided additional information about the project, showing the existing site and the various surrounding projects. He indicated that multi-family projects are often a good buffer use. He noted that the request is not adding overall units to the PAD; rather it is far less than what was originally approved.

In response to Commissioner Watts, Planner Wingard replied that the north half of the parcel will remain medium density.

In response to Commissioner Somers, Planner Wingard explained the various densities of the projects surrounding this parcel.

In response to Commissioner Hallin, Planner Wingard noted that the 75-foot buffer is part of the guidelines. He further explained what architectural forward. **Ed McCoy, applicant**, replied that this is not a gated community.

Vice Chair Blair opened the meeting for public comment.

Laura Morgan, voiced the following concerns:

- 360 units in small community = 360 to 720 cars.
- Not notified that apartments would be built around my house when purchased.
- Crime; people wandering through neighborhood; walking dogs who make messes.
- Feel apartments will outnumber the homes and decrease value of homes.

Doc Sullivan, voiced the following concern:

- Consider continuing to January when there is a full commission.

Michael Besk, voiced the following concerns:

- Just closed on home and found out that there will be apartments.
- Moved here for a quiet area.

Janet Sullivan, representing parents Danny and Ninfa Rule, voiced the following concerns:

- Attended community outreach meeting
- Submitted letters to be part of record.
- 360-unit apartment does not fit the character of community.
- Parcel 12 was to be medium density.
- Parcel could be high density rather than having it in Parcel 11 and 12.
- This is not a minor change to the residents.
- Do not want three-story apartment building looming over homes.
- Apartments will outnumber single-family homes.
- Increased traffic and crime; decrease home values.

Amy Packa, voiced the following concerns:

- Agree with the other speakers.
- Crowd the schools.
- Apartment residents do not pay as much taxes; strain on school system.
- Crime will increase.
- Poor planning.

Michael Wright, voiced the following concerns:

- Negative impact on quality of life.
- Excessive noise, disturbances; property damage – apartments.
- Past 12 months: 171 calls a high-density apartment complex in Surprise – criminal damage; stolen vehicles; thefts; suspicious activities.
- Above-mentioned crimes do not end at the property lines.
- Financial bottomline of an out-of-state corporation.

Pete and Sandra Vargas: agree with other speakers' statements.

Hearing no additional comments from the public, Vice Chair Blair closed the public hearing.

Mr. Withey reiterated the uses of the surrounding properties, stressing that this will be a very urban area.

In response to Commissioner Hallin, Mr. Withey noted that the original PAD did indicate three-story buildings.

Commissioner Somers made a motion to continue PADA07-155, Sycamore Farms Parcel 12.

Commissioner Watts made a motion to **approve PADA07-155, Sycamore Farms Parcel 12**, subject to stipulations 'a' through 'h.' Commissioner Somers seconded the motion. The motion passed with a vote of 3 ayes, 1 nay (Hallin), and 3 vacancies.

There was some discussion that many of the audience members were unable to obtain a speaker's slip because the room was crowded with other residents to hear a previous agenda item. Thus, they felt they did not have an opportunity to voice their concerns.

Vice Chair Blair mentioned that this agenda item will go forward to the City Council where there will be an additional public hearing where residents could speak.

In response to Vice Chair Blair, City Assistant Attorney James Gruber explained that it is the chair's discretion as to whether additional public statements would be heard.

Commissioner Watts made a motion that the Commission hear additional testimony, no second motion was made nor was the motion voted on.

Vice Chair Blair reopened the meeting for additional comments:

Tricia Meyers, voiced the following concerns:

- No barrier between apartments and single-family homes.
- Why should my HOA fees pay for others to use our area.
- Bus stop safety with increased traffic.

Chad Brown, voiced the following concerns:

- Area is being changed after we have bought our homes.
- Where is the buffer?
- Not enough parking for these apartments.
- Consider the people of Surprise; you represent us, not out-of-state corporation.

Vice Chair Blair called a recess at 7:10 p.m. The meeting was reconvened at 7:12 p.m.

Commissioner Somers made a motion to **reconsider** the previous motion. Commissioner Watts seconded the motion. The motion passed with a vote of 4 ayes and 3 vacancies.

Vice Chair Blair reopened the meeting for public comment.

Stephanie Matthews, voiced the following concerns:

- Children from apartments will be in our common areas.
- Property values will drop.
- Home and car insurance will increase.

John Paul Cartier, voiced the following concerns:

- Support the comments.
- Moved to this area; took a lot of time to investigate where to live.
- No one can predict what the future will be concerning the surrounding properties.
- Financial interest of the corporations will end after build out.

Michael Morgan, voiced the following concerns:

- Used to work with Taylor Woodrow.
- Safety of my family.
- Told there would be no additional apartments other than what is currently being built.
- Traffic – only two roads to the apartments.

Carolyn Fall, voiced the following concerns:

- Built our dream house; never would have picked the location if I knew what I know now.
- Continuous traffic.
- We are stuck here.
- 9-year-old's window will face an apartment.
- Was told the property would be medium density.

Chelsea King, voiced the following concerns:

- Back up to the apartments that are currently being built.
- Was not happy about the apartments
- Assured that medium density would be single-family homes.

Tyler Loomis, voiced the following concerns:

- Just moved here. Surprise is centered around community.
- For a town that prides itself in being family centered, concerned that this is being considered.
- 33rd safest community in America; this could decrease that standing.
- It is a big deal to us.
- Quality of life

Dion Garcia, voiced the following concerns:

- Apartment buildings will cause additional traffic.
- Like seeing the White Tank Mountains.

Hearing no additional comments from the public, Vice Chair Blair closed the public hearing.

In response to commissioner Somers, Planner Wingard reiterated that the PAD document states that three-story buildings are allowed.

Commissioner Somers made a motion to **continue PADA07-155, Sycamore Farms Parcel 12**, to the January meeting. Commissioner Watts seconded the motion. The motion passed with a vote of 3 ayes, 1 nay (Hallin), and 3 vacancies.

Item 9: PADA07-132 – Consideration and Action – Crossroads at Surprise

Planner Adam Copeland presented the project to the Commission. Staff recommended denial of **PADA07-132, Crossroads at Surprise**, subject to stipulation 'a.'

Stephen Anderson, applicant, provided additional information about the project, explaining that the site is zoned C3 and the site plan has been approved. This PADA would allow light industrial users. This project is complicated by the passing of a text amendment in 2006 that establishes a minimum acreage threshold for PADs. He stated that he feels this application warrants an exception.

In response to Commissioner Watts, Planner Copeland explained that if this agenda item is approved, the PADA would be its own PAD.

Planner Copeland noted that although the agenda shows that staff recommendation for this project indicates approval, staff is recommending denial at this time.

Kathy Rice, Acting Director, suggested removing stipulation 'a.'

In response to Commissioner Hallin, City Attorney Gruber stated the City Council could approve this project without doing a text amendment.

In response to Vice Chair Blair, Planner Copeland explained that the legal interpretation for this application is that it does not meet current code. The applicant interprets the code language differently.

Vice Chair Blair made a motion to **remove stipulation 'a.'** Commissioner Somers seconded the motion. The motion passed with 4 ayes and 3 vacancies.

Vice Chair Blair opened the meeting for public comment. Hearing no comments from the public, Vice Chair Blair closed the public hearing.

Commissioner Somers made a motion to **approve PADA07-132, Crossroads at Surprise**. Commissioner Hallin seconded the motion. The motion passed with a vote of 4 ayes and 3 vacancies.

OPEN CALL TO PUBLIC:

Vice Chair Blair called to the public to discuss any issues not noted on the agenda. Hearing no comments from the public, Vice Chair Blair closed the call to the public.

CURRENT EVENTS REPORT:

Vice Chair Blair voiced a concern about receiving materials at the last minute at the meeting. Ms. Rice suggested that changes to the rules and procedures could be made to have applicants present all materials in advance of the meeting.

Vice Chair Blair recommended that a workshop be held at the beginning of the year to instruct new and current commissioners about policy and procedures. She reemphasized that she does not feel that commissioners should be given last-minute stacks of information and then make a decision without reviewing that material adequately.

Vice Chair Blair read a letter to the Commission from Mayor-Elect Lyn Truitt, thanking everyone for their commitment to the residents of Surprise.

CONSIDERATION AND ACTION TO HOLD AN EXECUTIVE SESSION:

Pursuant to A.R.S. § 38-431.03(A)(3), the Planning and Zoning Commission may go into executive session with the City Attorney for legal advice on any item listed on the agenda.

No request was made to call for an executive session.

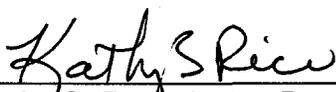
ADJOURNMENT:

Hearing no further business, Vice Chair Blair adjourned the regular Planning and Zoning Commission meeting, Tuesday, December 4, 2007 at 7:47 p.m.

STAFF PRESENT:

Assistant City Attorney Jim Gruber, Fire Marshall Doug Helbig, City Planner Adam Copeland, City Planner Lance Ferrell, City Planner Bart Wingard, City Planner Vamshee Kovuru, Community Development Administrator Marcel LaVallee, Planning & Development Services Manager Berrin Nejad, Traffic Engineer Nicholas Mascia, Acting Community Development Director Kathy Rice, and Planning and Zoning Commission Secretary Carol Dager.

COUNCIL MEMBERS PRESENT: Doc Sullivan



Kathy S. Rice, Acting Director
Community Development Department

Jan Blair, Vice Chair
Planning and Zoning Commission

ITEM 3

PROPOSAL:

Surprise Valley-Trader Joe's and Shops proposes grocery store, retail space and a bank totaling 48,511 square feet. The proposed square footage of the bank is 4,972s.f. Trader Joe's will be approximately 12,714s.f.

Surprise Valley-Trader Joe's and Shops has two entry points from roadways and connections to the projects to the east and west. There is one ingress/egress point along Grand Avenue as well as Mountain View Road.

<u>EXISTING AND SURROUNDING</u>	<u>ZONING:</u>	<u>LAND USE:</u>
ON-SITE:	PAD-Park Place	Commercial
NORTH:	Sun City of Surprise	Residential
EAST:	C-2 Community Commercial	Commercial
SOUTH:	PAD-Park Place	Vacant
WEST:	PAD-Park Place	Commercial

DEPARTMENTAL REVIEW:

All departments involved in the subject review of the site plan are recommending the project for approval subject to all stipulations.

EXISTING UTILITIES AND SERVICES STATUS:

WATER	Arizona American Water Co.
SEWER	City of Surprise
FIRE PROTECTION	The closest Fire Station to this site is at 18600 Reems Road which is with in ½ mile
POLICE PROTECTION:	Surprise Police Department closest to project is located at 14250 West Statler Plaza (1.5 miles)

INFRASTRUCTURE

All infrastructure will be developed in accordance with the Surprise Municipal Code.

LIGHTING:

The site lighting will include pole fixtures to match the existing fixtures at the adjacent commercial development and will not exceed 16' in height. All lighting along the residential property lines will have an intensity of zero foot candles.

ITEM 3

STANDARD STIPULATIONS:

- a) Prior to delivery of any combustible material to the site, fire department access and fire protection systems shall be completely operational in accordance with the approved plans by the Fire Chief and the City Engineer;
- b) Major changes to this Site Plan with regards to use and intensity must be processed as a revised application with approval by the Planning and Zoning Commission. Minor changes may be administratively approved by the Planning and Community Development Director, Fire Marshal, City Engineer, and Water Services Director;
- c) The applicant shall include all approved stipulations related to the project on the title sheet of construction plans prior to plan check submittal;
- d) Applicant or property owner must provide the City with approved earth moving permit by Maricopa County Environmental Services Department prior to release of any permits;
- e) Approval of this site plan is not to be construed as an approval of any violation of the current adopted Surprise Municipal Code at the time of submission;
- f) All landscaping, hardscape and wall details shall be submitted for separate landscape plan review and approval by the Planning and Community Development Director prior to issuance of a building permit;
- g) All roof mounted and ground mounted mechanical equipment shall be screened from public view and will be subject to the approval of the Planning and Community Development Director.

ITEM 4

REPORT TO THE PLANNING AND ZONING COMMISSION

CASE NUMBER: SP07-247 (Stadium Village Residence Inn)
STIPULATIONS: a through i
PREPARED BY: Adam Copeland, Planner @ 623-222-3137

Application Date: June 21, 2007
Planning and Zoning Commission: December 18, 2007

APPLICANT/OWNER: Darryl Szarka
Stadium Village Royal LLC
7077 El Marilyn Rd
Scottsdale, AZ 85254
P: 480-556-9737
F: 480-556-0221

REQUEST: Approval of a Site Plan for Stadium Village Residence Inn.

SITE LOCATION: Located on the northwest corner of Bullard Avenue and Paradise Lane.

SITE SIZE: 4 acres.

RECOMMENDATION: Staff recommends that this request, a Site Plan for Stadium Village Residence Inn (SP07-247), be **approved** subject to stipulations **a through i**.

PROJECT ANALYSIS:

PROPOSAL

The applicant is proposing to construct a four (4) storey 89,830 S. F. hotel consisting of 116 guest units.

As the name implies, the development is located in the Stadium Village master development. Of the 69-acre Stadium Village site, the subject project consists of approximately 4 acres.

The overall project will maintain consistency by using similar design treatments for the streetscape, landscape, lighting, signage and entry features used in Stadium Village. These performance standards are developed in the Orchards Third Planned Area Development document to ensure that the plan's integrity and vital community components are maintained throughout the development process.

BACKGROUND

Stadium Village is within the Orchards Planned Area Development that has been amended to reclassify the subject area to mixed use. To this date, the Planning and Zoning Commission has approved Shea Offices, Crestone Development, and the Holiday Inn Express within Stadium Village.

AREA ANALYSIS

Surrounding the Stadium Village site is single-family residential to the west, commercial and single-family residential to the north, Surprise Stadium to the south, and commercial/public facilities to the east. The subject project within the Stadium Village Site is appropriately located consisting of hotel/restaurant uses to the east, future commercial/office/residential to the north, and future higher-density residential to the west.

FINDINGS:

The subject project will enhance the urban activity generated from the Surprise Stadium, Library, Aquatic Center and the future City Hall Complex along Bullard Avenue, Stadium Way, Paradise Lane, and Young Street. Enhanced improvements will take place along Paradise Lane, and Bullard Avenue to promote pedestrian connectivity to Bullard Avenue. Bullard Avenue is considered a prominent urban street, because it ultimately leads to the above-mentioned prominent urban activities. Also, Bullard Avenue ends at Bell Road and will not act as a major thoroughfare. It is designed to be pedestrian friendly with low traffic speeds, large decorative sidewalks, shade structures, and urbanized contemporary architecture. When entering Bullard Avenue from Bell Road, the views will consist of a downtown atmosphere with buildings placed at a build-to line creating an urban street wall.

Buildings along Bullard Avenue, Young Street, Stadium Way, and Paradise Lane are all placed at a "Build-To line", where the buildings are moved up to the street in a symmetrical pattern. This concept is used in the Stadium Village Residence Inn project to promote an urban environment.

Traffic generation will increase with the subject project. The City reviewed the traffic impact analysis and has found that with the proper Right-of-Way dedication, dimensions, and striping, the Stadium Village site will become a functional active urban center.

COMPLIANCE WITH PAD

The approved Orchards Planned Area Development Third Amendment consists of a strong set of guidelines that supersedes the City's current standards. The overall community has a set of principles and goals that tie together different land uses. The following statements are examples of types of principles that form the base of the Stadium Village Project.

- Provide for a lively outdoor atmosphere.

ITEM 4

- Promotion for fully integrated urban core for the City with both residential and non-residential uses.
- Develop into a more intense urban form.
- The Mixed Use designation will also allow for, and encourage “live/work” land uses.

The zoning allows for modified setbacks and building heights in order to encourage intense urban development. The subject site plan complies with the Orchards Planned Area Development guidelines and requirements.

LANDSCAPING

There are broad community standards that bind together the Stadium Village community. The importance of providing shade is a central concern throughout the Stadium Village Development. Enhanced landscaping planting will occur along Bullard Avenue and Paradise Lane and consist of tree grates and canopy shade trees, along with street furniture.

DEPARTMENTAL REVIEW:

During the review process, the departments below had comments that were addressed prior to moving the subject project forward to the Planning and Zoning Commission subject to all stipulations:

The building division commented on accessible parking routes and number of spaces, which were revised to the City's standards.

The Engineering Department had technical comments on drainage and retention that were addressed.

The Traffic Engineering Division has reviewed the Traffic Impact Analysis for the overall Stadium Village Site. Traffic wanted to see visibility triangles to ensure views were not block from exiting vehicles. In addition the Traffic Division requested to see driveways across Paradise and Bullard. No Driveways are planned at this time across the street from the subject project.

The Water Services Department had comments on water and sewer as the Stadium Village Project progresses. The City is working on coordinating with the developer for a reclaimed line to be placed along Paradise Lane. The City will be placing the reclaimed line along Paradise Lane, but needed to ensure the proper dimensions, and easements were in place to do so. The developer addressed all comments from the Water Services Department.

The Fire Department had issues with fire hydrant locations, aisle widths, and fire department locations. The applicant addressed all comments and modified the site plan.

ITEM 4

The Community Development Department had significant concerns on landscape, pedestrian connections, and the creation of a functional high quality urban project. The applicant addressed all comments.

AGENCY REVIEW:

See attached letters from ADOT and Luke.

EXISTING UTILITIES AND SERVICES STATUS:

WATER	City of Surprise
SEWER	City of Surprise
FIRE PROTECTION	The closest fire station is located on the NW corner of Parkview and Greenway Road (1/2 Mile south).
POLICE PROTECTION:	The closest police station is located at 14250 West Statler Plaza (1 mile east).

STIPULATIONS:

- a) Prior to delivery of any combustible material to the site, fire department access and fire protection systems shall be completely operational in accordance with the approved plans by the Fire Chief and the City Engineer;
- b) Major changes to this Site Plan with regards to use and intensity must be processed as a revised application with approval by the Planning and Zoning Commission. Minor changes may be administratively approved by the Planning and Community Development Director, Fire Marshal, City Engineer, and Water Services Director;
- c) All parcel numbers shall be active prior to submittal of any building permit and shall stay active throughout the construction process until a Letter of Compliance and/or Certificate of Occupancy is issued. Any subdivision or lot split shall be reviewed and approved by the City of Surprise prior to recordation with Maricopa County.
- d) The applicant shall include all approved stipulations related to the project on the title sheet of construction plans prior to plan check submittal;
- e) Applicant or property owner must provide the City with approved earth moving permit by Maricopa County Environmental Services Department prior to release of any permits;
- f) Approval of this site plan is not to be construed as an approval of any violation of the current adopted Surprise Municipal Code at the time of submission;
- g) All roof mounted and ground mounted mechanical equipment shall be screened from public view and will be subject to the approval of the Planning and Community Development Director;

ITEM 4

h) All mechanical equipment, transformers, utility boxes, gas lines, shall be completely screened from public view prior to letter of compliance and/or Certificate of occupancy. Any changes to the landscape plan shall be submitted to the Community Development Department for review and approval.

i)

- Non-potable or reclaimed effluent must be used for all irrigation (once available). Reclaimed water lines should be shown on the site plan.
 1. The reclaimed water lines shall be shown on the Civil plans. There should be a stub out at Paradise lane.
- The water meter(s) must be accessible to COSWSD 24 hrs/day/365, through ROW's or exclusive easement deeded to the City.
- There needs to be ingress, egress, regress to access the water meter. Please add this note to the site plan.



Arizona Department of Transportation
Intermodal Transportation Division

206 South Seventeenth Avenue Phoenix, Arizona 85007-3213

Janet Napolitano
Governor

Victor M. Mendez
Director

Debra Brisk
Deputy Director

June 29, 2007

Ms. Carol Dager
City of Surprise Planning Department
12425 West Bell Road
Surprise, Arizona 85374

RE: **Stadium Village Residence Inn**/ SP07-247/ SWC Bullard Ave. & Paradise Ln.

Dear Ms. Dager:

Thank you for your notification regarding the Site Plat for the subject referenced above. After a complete review, we have concurred that the proposed Plat at this time will have no impact on our highway facilities in this area.

ADOT does reserve the right to review and comment on all development plans for this site as to any impact they may have on the State Highway System.

Should you have any questions, you may contact me at 602-712-8755 or by fax at 602-712-3051, or in writing at 205 S. 17th Avenue, Right of Way Project Management Section, Suite 349 MD 612E, Phoenix, Arizona 85007. Thank you in advance for your cooperation.

Sincerely,

LOUIS J. MALLOQUE,
Right of Way Agent III
imalloque@azdot.gov





DEPARTMENT OF THE AIR FORCE
AIR EDUCATION AND TRAINING COMMAND

COMMUNITY DEVELOPMENT

16 July 2007

Mr. James R. Mitchell
Director, Community Initiatives Team
56th Fighter Wing
14185 West Falcon Street
Luke AFB AZ 85309-1629

Ms. Carol Dager
City of Surprise Planning Department
12425 West Bell Road
Surprise AZ 85374

Re: Case #SP07-247 Stadium Village Residence Inn

Dear Ms. Dager

Thank you for the opportunity to comment on the Site Plan Application for the Stadium Village Residence Inn. The Residence Inn, on 2,387 gross acres, is located south of the southwest corner of Bell Road and Bullard Avenue, just north of the existing Surprise Ball Fields. Plans call for the construction of a 116 unit, 4-story hotel with a density of 49 dwelling units (du) per acre. The site is approximately 1 1/2 miles outside the 1988 JLUS 65 Ldn, "high noise or accident potential zone" as defined by A.R.S. § 28-8461 and is within the "territory in the vicinity of a military airport" also defined by A.R.S. § 28-8461.

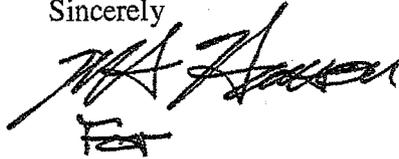
Luke AFB follows the guidelines in the Graduated Density Concept (GDC). The GDC proposes, in the absence of a more restrictive state, county or municipal general or comprehensive plan, graduating densities away from the 65 Ldn as follows: a maximum of 2 du/acre from the 65 Ldn to 1/2 mile, a maximum of 4 du/acre from 1/2 to 1 mile, and a maximum of 6 du/acre from 1 to 3 miles. The proposed density of 49 du/acre does not meet these guidelines. However, the City of Surprise requested that Luke AFB use the previously approved Orchard PAD with mixed use allowing for a maximum of 1,150 dwelling units as the maximum build out for the area. The Residence Inn with 116 units along with other small residential developments will be closely monitored by Surprise planners to ensure the maximum number is not exceeded. The overall density at maximum build-out was agreed upon by Surprise Planning and Luke AFB to not exceed the maximum densities identified above. Given that stipulation, Luke AFB has no operations or safety issues concerning this project.

Since the facility will be located within the "territory in the vicinity of a military airport," it will be subjected to approximately 165 over flights a day, with some as low as 1,500 feet above ground level. We recommend you review the sound attenuation requirements found in A.R.S. § 28-8482. In addition, a strong notification program on the part of the applicant is

essential to inform potential residents about Luke AFB operations. We also recommend a review of the Luke AFB web site at <http://www.luke.af.mil>, Community Interests and Community Initiatives links, for further information.

If there are any questions, please contact my Community Planner, Mr. Bob Dubsky, at (623) 856-6195.

Sincerely

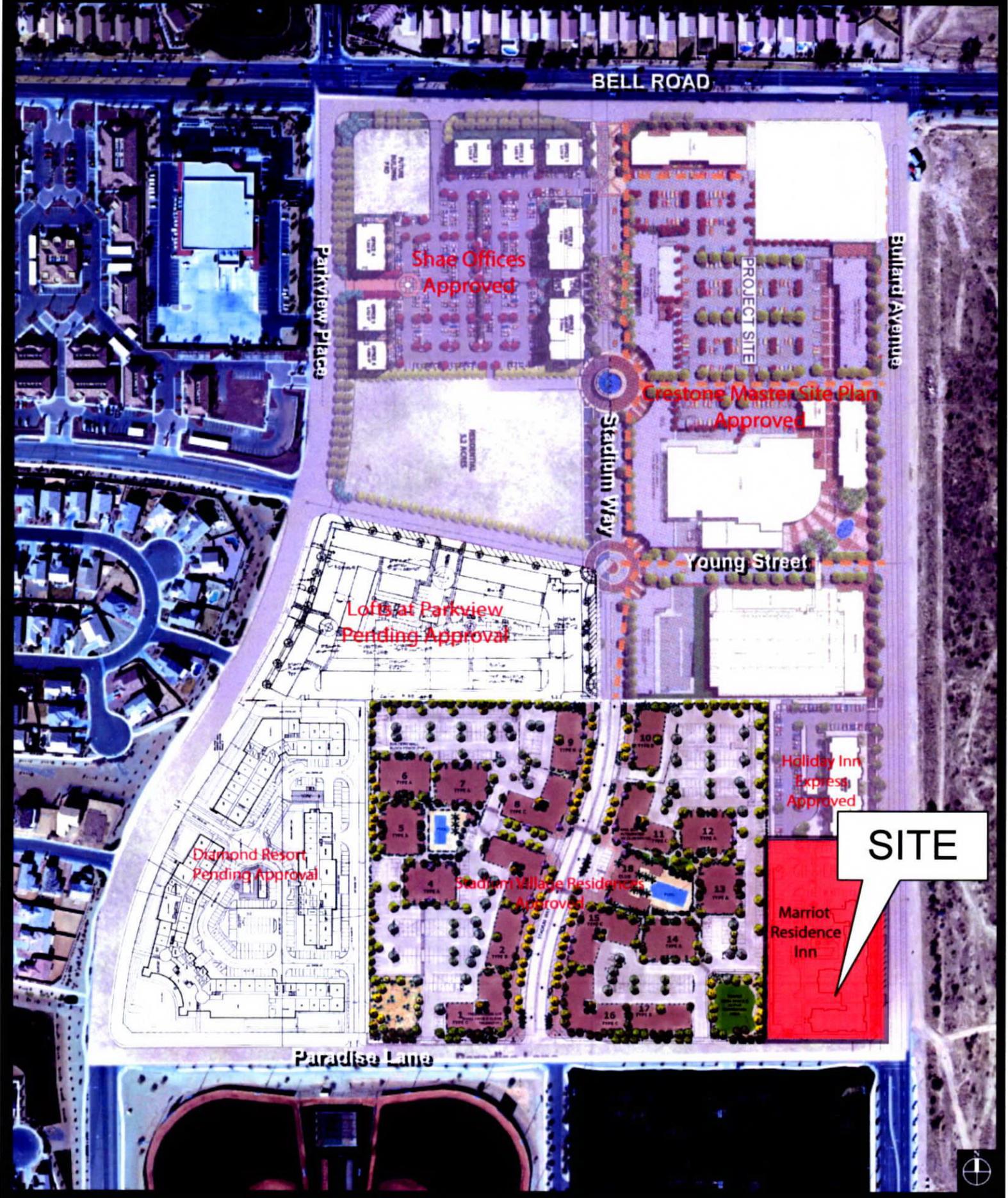
A handwritten signature in black ink, appearing to read 'J. Mitchell', written over a horizontal line.

JAMES R. MITCHELL

cc:

Colonel Henry M. Reed III, Vice Commander, 56th Fighter Wing.

Stadium Village



BELL ROAD

Bullard Avenue

Parkview Place

Shae Offices
Approved

PROJECT SITE

Crestone Master Site Plan
Approved

Stadium Way

Young Street

Lofts at Parkview
Pending Approval

Diamond Resort
Pending Approval

Stadium Village Residences
Approved

Holiday Inn
Express
Approved

SITE

Marriot
Residence
Inn

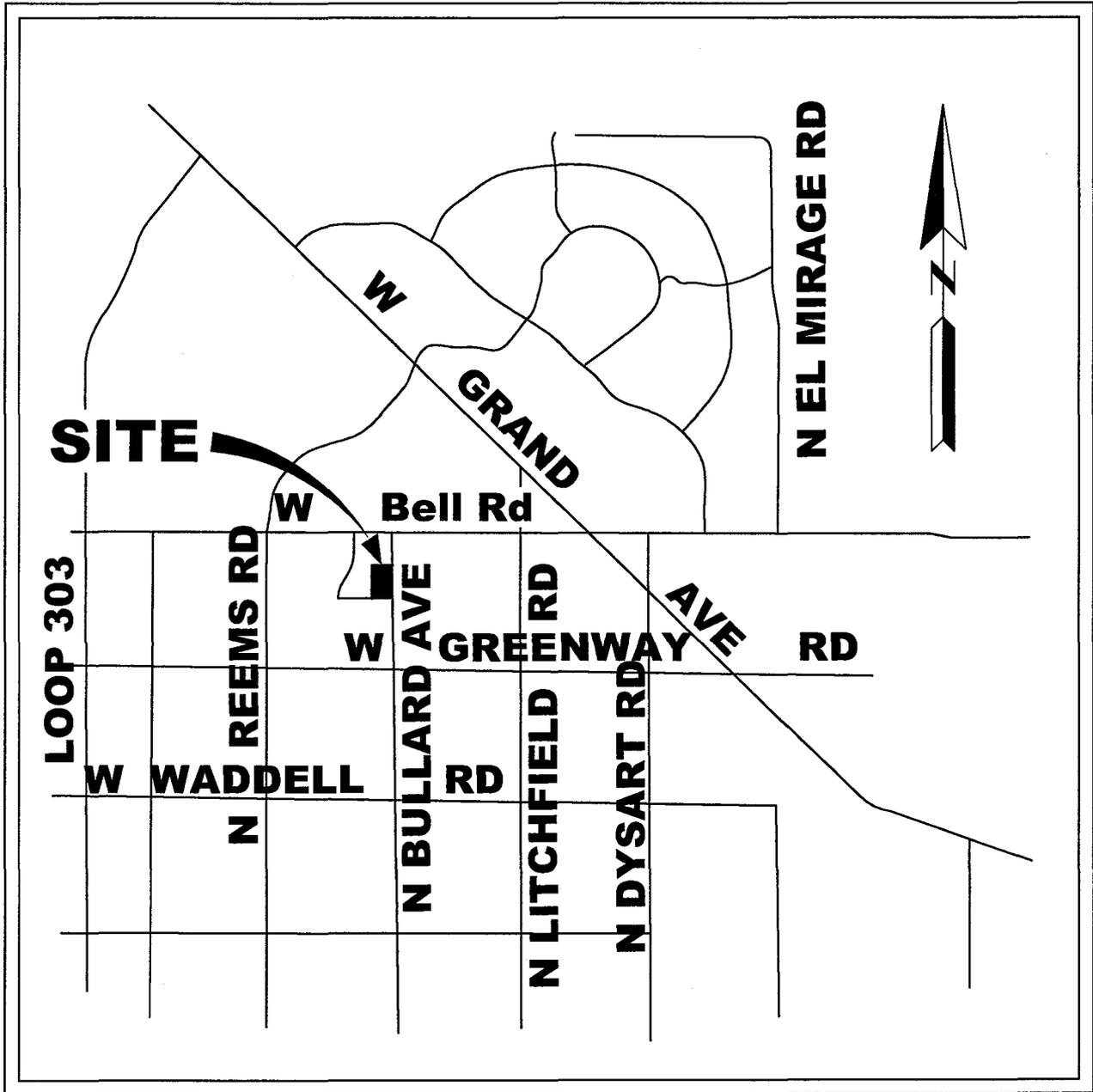
Paradise Lane



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NOV 16 2007

COMMUNITY
DEVELOPMENT



SP-07247



STADIUM VILLAGE - RESIDENCE INN
SURPRISE, ARIZONA

VICINITY MAP



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NOV 16 2007

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**STADIUM VILLAGE RESIDENCE INN
LOT 10, PARCEL 2
Site Plan Application**

Date: June 11th, 2007

Project: Residence Inn
S.W.C. Bullard Ave. and Paradise Lane
Surprise, Arizona

Client: Stadium Village Royal, L.L.C.
7077 E. Marilyn Road
Scottsdale, Arizona 85254

Project Narrative:

Stadium Village lot 10 is zoned a "Planned Area Development" (PAD) and will remain a PAD. The master site improvements are complete. The surrounding parcels are also zoned PAD with an existing Holiday Inn and Express to the north and vacant land to the west.

The pedestrian and automobile circulation ties into the existing H.I.E. and the master site plan. Pedestrian movement will be enhanced through the design of several shaded pathways, allowing access from parking areas to the hotel as well as Bullard Ave.

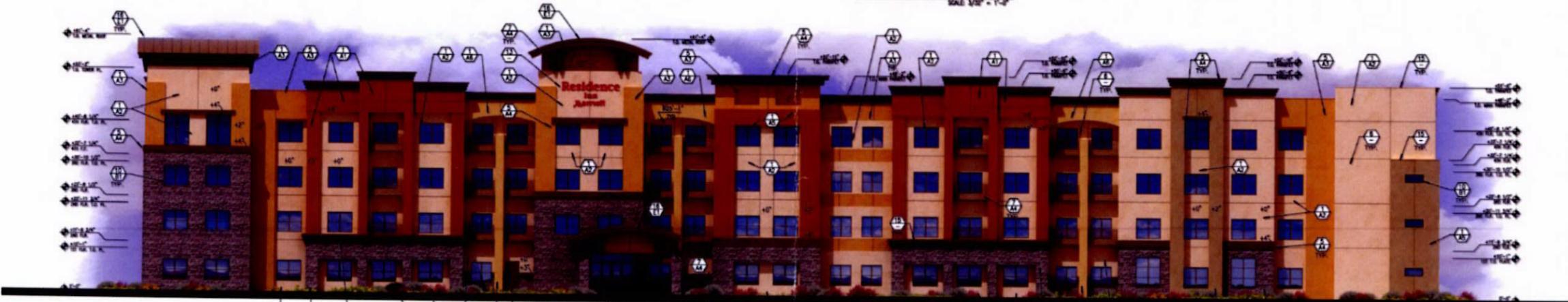
The Residence Inn is 4-story hotel with 116 guest units and a maximum tower height of +60'-10". This is a hospitality building approximately 89,830 square feet. The building is comprised of wood frame with stucco finish, stone veneer and exposed steel/ railing to accent the building's façade. Various building projection's break up the exterior elevations with different design characteristics at each element. The exterior elevations are similar to the surrounding buildings established color palette and building features. The building is occupancy Group R-1 with A-3.

The hotel amenities include an outdoor swimming pool and spa, barbeque area, and shade ramada. Also there will be a fitness room, guest laundry, meeting room, and library.

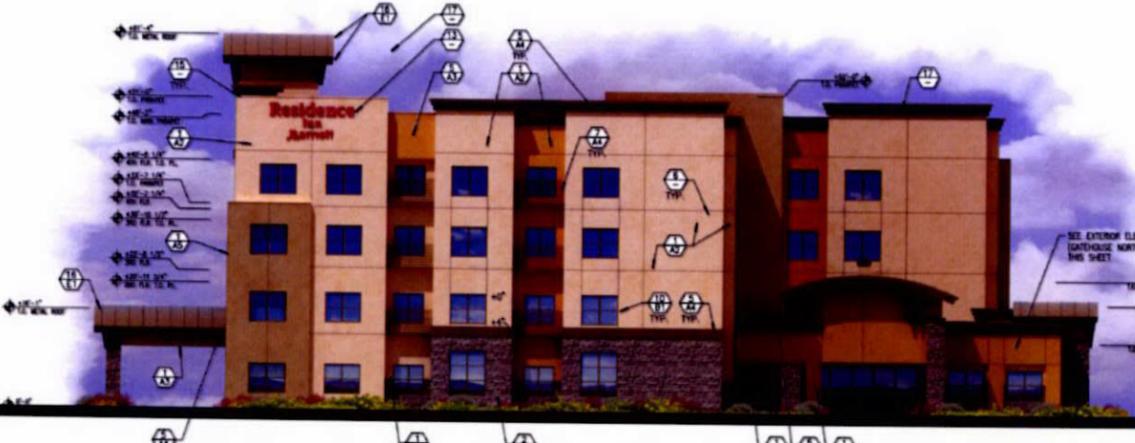
Landscaped areas surrounding the building will be provided enhancing appeal and allowing retention of storm water and drainage.



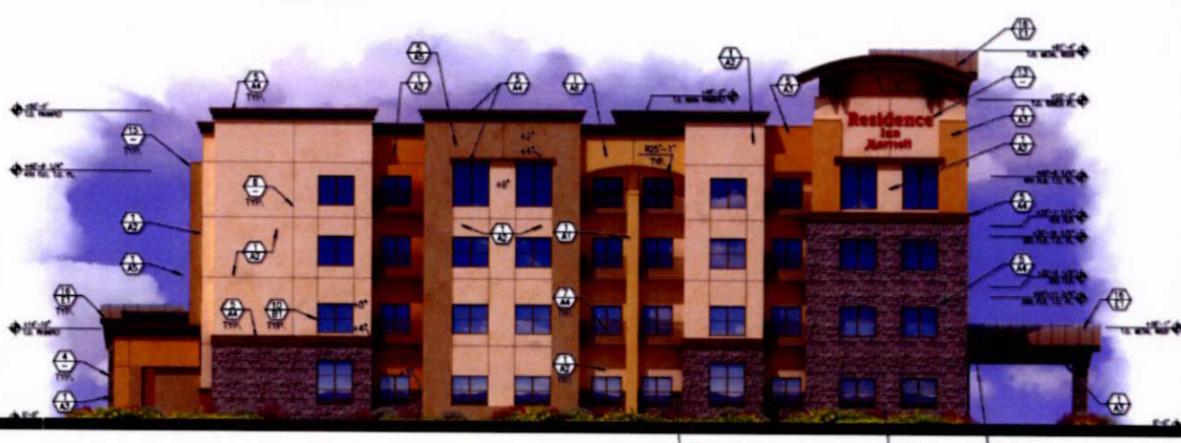
REAR ELEVATION (WEST)
SCALE 1/8" = 1'-0"



FRONT ELEVATION (EAST)
SCALE 1/8" = 1'-0"



RIGHT SIDE ELEVATION (NORTH)
SCALE 1/8" = 1'-0"



LEFT SIDE ELEVATION (SOUTH)
SCALE 1/8" = 1'-0"

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DEVELOPMENT

MATERIAL / COLOR SCHEDULE	
<p>COLORS</p> <ul style="list-style-type: none"> * PAINT: (DUNN EDWARDS) A1. "SUNFROST" DES328 A2. "TINE SAND" DES328 A3. "ROOT BEER FLOAT" DES328 A4. "MOONLIGHT BROWN" DES210 A5. "PAPER SACK" DES173 A6. "WHEAT BREAK" DES380 * FINISH: (QUAKER) B1. FRAME: "DARK BRONZE" GLAZING: "DUAL GLAZE, BRONZE TINT" * SIDING: (KAMMEK) C1. FRAME: "DARK BRONZE" GLAZING: "BRONZE TINT" * SIGN: (CORONADO) D1. QUICKSTAK "ASPEN" * ROOF: (UNICLAD) E1. UC-3 METAL ROOF 	<p>MATERIALS</p> <ol style="list-style-type: none"> 3-COAT STUCCO SYSTEM OVER PAPER BACKED METAL LATH ON EXIST. GRADE PLYWOOD ON WOOD FRAME - "TINE FINISH" CULTURED STONE IN MORTAR SETTING BED OVER 3-COAT STUCCO SYSTEM NOT USED WALL MOUNTED EXTERIOR LIGHT STUCCO FINISH OVER FOAM POP-OUT/CORNICE STUCCO CONTROL JOINT EXPOSED STEEL NOT USED DOOR AND FRAME - FACTORY APPLIED FINISH WINDOW AND FRAME - FACTORY APPLIED FINISH NOT USED NOT USED LOUVERED VENT - FACTORY APPLIED FINISH ILLUMINATED SIGN PROVIDE POWER & BLOCKING UNDER SEPARATE REVIEW AND PERMIT NOT USED SHEET METAL COPING STANDING METAL SEAM ROOF BUILDING BEYOND
<p>NOTES</p> <ol style="list-style-type: none"> VERIFY GRADE HEIGHTS WITH CIVIL DRAWINGS. FIRE BLOCKING IN ALL POP-OUT & FLOOR LINES. PAIN ALL METAL FLASHING & EXTERIOR MECHANICAL VENT COVERS TO MATCH SURROUNDING COLOR. ALL ROOF TOP MECHANICAL EQUIPMENT TO BE FULLY SCREENED BY BUILDING PARAPET. ALL SIGNAGE UNDER SEPARATE REVIEW AND PERMIT. 	



PK ARCHITECTS, PC
1333 WEST BROADWAY ROAD #101
TUCSON, ARIZONA 85702
PHONE: (520) 283-1820
FAX: (520) 283-1821

WE HEREBY CERTIFY THAT THE SET OF ARCHITECTURAL DRAWINGS PREPARED FOR THE ABOVE PROJECT AND THE CONTRACT DOCUMENTS WERE PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED ARCHITECT IN THE STATE OF ARIZONA. I AM NOT PROVIDING THESE SERVICES AS AN EMPLOYEE OR AGENT OF ANY OTHER PERSON OR ENTITY. I AM NOT PROVIDING THESE SERVICES AS PART OF A CONTRACT WITH ANY OTHER PERSON OR ENTITY. I AM NOT PROVIDING THESE SERVICES AS PART OF A CONTRACT WITH ANY OTHER PERSON OR ENTITY. I AM NOT PROVIDING THESE SERVICES AS PART OF A CONTRACT WITH ANY OTHER PERSON OR ENTITY.



SURPRISE, ARIZONA

PROJECT NO: 07-307
DATE: 09.05.07
DRAWN BY: CPH
CHECKED BY: DMH

EXTERIOR ELEVATIONS

A3.1



PK ARCHITECTS
 PK ARCHITECTS, PC
 1620 N. 48th ST. #102
 PHOENIX, AZ 85018
 PHONE: (602) 283-1620
 FAX: (602) 283-1621

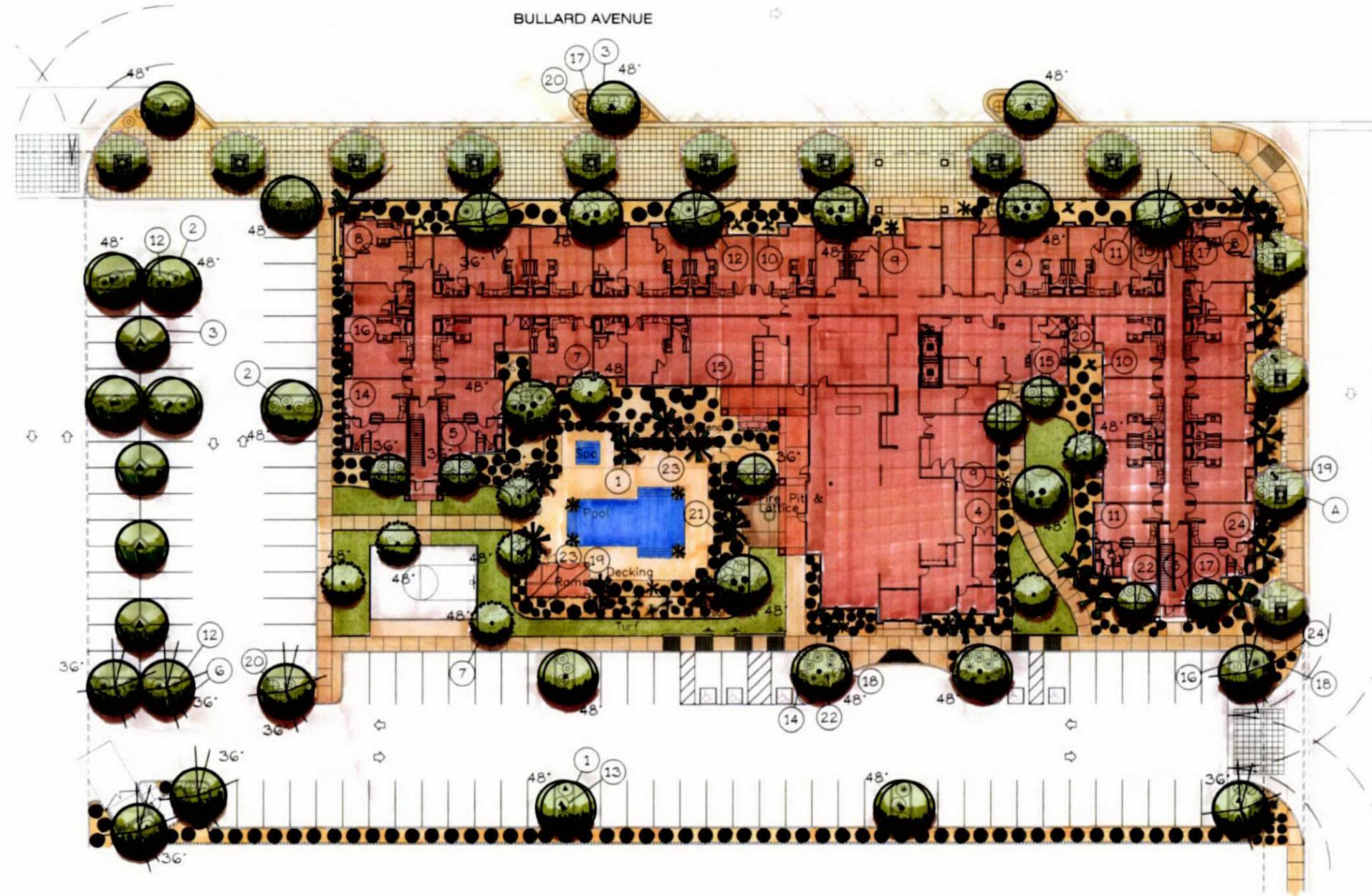


SURPRISE, ARIZONA



PLANTING PLAN

L2.0



PLANT MATERIAL LEGEND

KEY SYMBOL	BOTANICAL/Common NAME	SIZE (Height/Canopy/Caliper)	QUANT
EXISTING TREES			
(A)	Ulmus parvifolia Evergreen Elm	Existing to remain	
NEW TREES			
(1)	Arceuthobium rooseae Green Palm	24' Box 10' tall no Double-staked Typ	4
(2)	Persea hybrid Desert Mesquite	36' Box 10' 8' 2.5' 48' Box 12' 8' 2.5' Double-staked Typ	2
(3)	Ulmus parvifolia Evergreen Elm	24' Box 10' 4' 1.5' 48' Box 18' 10' 3.75' Double-staked Typ	3
(4)	Jacaranda mimosifolia Jacaranda	48' Box 14' 6' 3.5' Double-staked Typ	6
(5)	Nerium Oleander Sister Agave Standard Oleander	24' Box 9' 4' 1.25' 36' Box 12' 6' 1.5' Double-staked Typ	4
(6)	Prosopis hybrid Phoenix Thornless Hybrid Mesquite	24' Box 8' 4' 1.5' 36' Box 10' 8' 1.5' Double-staked Typ	7
(7)	Quercus virginica Heritage Live Oak	48' Box 17' 12' 4.5' Double-staked Typ	8
(8)	Washingtonia robusta Mexican Fan Palm	15'-25' Tall see plan	11
SMALL PALMS			
(9)	Chamaedorea humilis Mediterranean Fan Palm	15 Gallon	12
(10)	Phoenix roebelenii Pygmy Date Palm	5 Gallon	8
LARGE SHRUBS			
(11)	Eranopsis bi-vittata Valentine Bush	5 Gallon	30
(12)	Leucophyllum longneavei Rio Bravo Texas Ranger	5 Gallon	102
(13)	Nerium sp. Petite Fox Petite Fox Oleander	5 Gallon	37
MEDIUM AND SMALL SHRUBS			
(14)	Gallardia californica Baja Red Fairy Duster	5 Gallon	18
(15)	Gonolobus grandiflorus Green Carpet Nettle Fern	5 Gallon	25
(16)	Muhlenbergia capillaris Regal Mt. Regal Mt. Deer Grass	5 Gallon	14
(17)	Gallatella - Toy Tin Dwarf Bottle Brush	5 Gallon	37
(18)	Kuhnia pensilvanica Baja Kueba	5 Gallon	126
GROUNDCOVERS			
(19)	Lantana n. New Gold	1 Gallon	80
(20)	Kuhnia brittoniana Kater Kater Kueba	1 Gallon	18
(21)	Rousselia affinis Dwarf Rosemary	5 Gallon	58
ACCENTS			
(22)	Bougainvillea Go-Late Dwarf Bougainvillea	5 Gallon	20
(23)	Agave gemifera Ten Finger Agave	5 Gallon	11
(24)	Bougainvillea Torch Glow Torch Glow Bougainvillea	5 Gallon	8
(25)	Hesperaloe parviflora Red Yucca	5 Gallon	18
LANDSCAPE MATERIALS			
(26)	Decomposed Granite Desert Gold	1/2" size screened 2' Deep	
(27)	Concrete Header	4' x 6' Curbstyle 2' Deep	
(28)	Mulch Bermuda	Sod	

NOTE:
 QUANTITIES SHOWN FOR CITY APPROVAL ONLY. LANDSCAPE CONTRACTOR TO INSTALL QUANTITIES AS SHOWN ON PLAN, NOT ON LEGEND.
 DECOMPOSED GRANITE TO OCCUR IN ALL LANDSCAPE AREAS EXCEPT TURF, RIVER ROCK, AND HARDSCAPE UNLESS NOTED ON PLANS.
 SMALLER TREE SIZE TO TAKE PRECEDENCE UNLESS NOTED ON PLANS.

LANDSCAPE PLAN



RECEIVED

NOV 16 2007

COMMUNITY DEVELOPMENT

Two working days before you file
 CALL FOR THE BLUE STAKES
 263-1500
 Blue Stakes Center
 CALL COLLECT



L2.0



WATER SERVICES DEPARTMENT
12425 West Bell Road, Suite D-100
Surprise, Arizona 85374
Office: (623) 875-4290
Fax: (623) 583-2892
Web Site: www.surpriseaz.com

July 23, 2007

Attention: Jeremy Dewald
Lightowler Johnson Associates
700 Main Avenue
Fargo, ND 58103

Re: Stadium Village Residence Inn Will Serve Letter

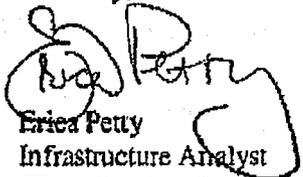
Dear Mr. Dewald:

The Stadium Village Residence Inn is within the City of Surprise Water and Sewer Service area. The City of Surprise will be the provider for both and will initiate the service in accordance with the detailed conditions of the existing development agreement, and current standards.

Once all requirements and obligations are met, the City will provide water and sanitary sewer service to this project.

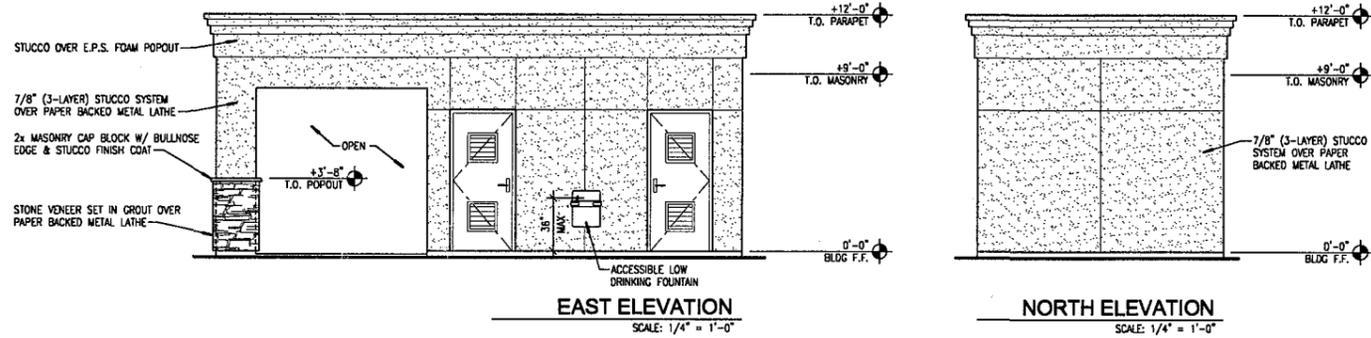
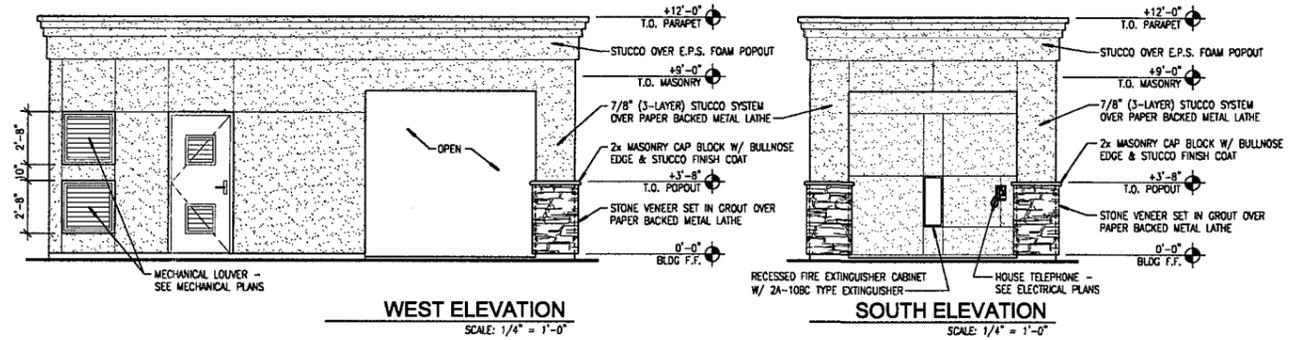
Please feel free to contact me if you have any questions at 623-222-7000.

Sincerely,

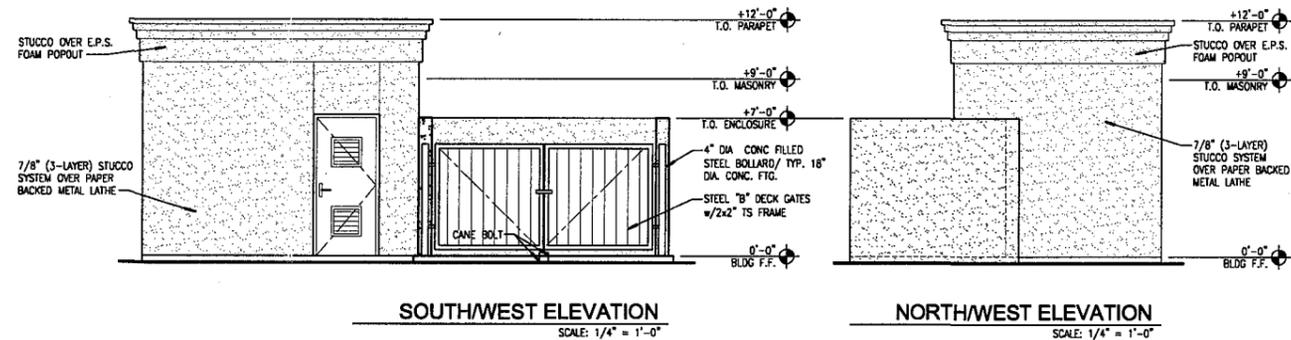
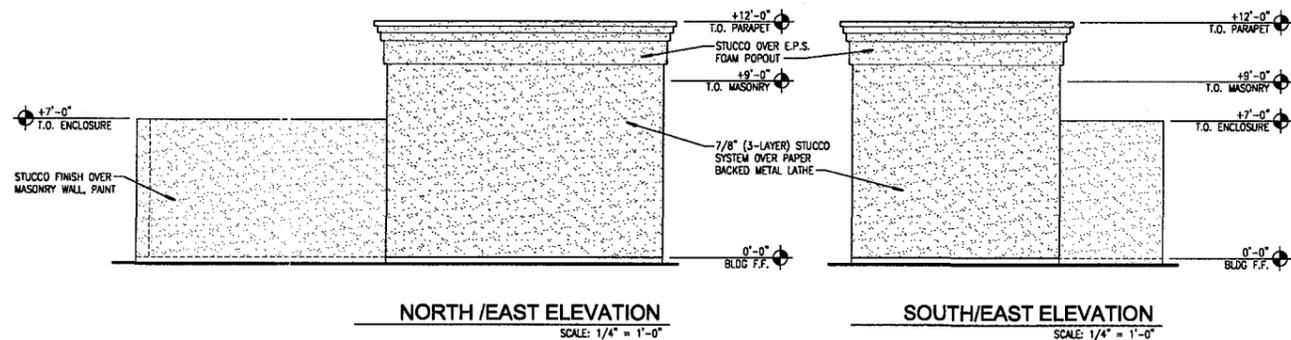


Erica Petty
Infrastructure Analyst
Water Services Department

cc: Scott Chesney, Development Services Director



OUTDOOR RESTROOM/POOL EQUIPMENT



TRASH ENCLOSURE/STORAGE



PK ARCHITECTS, PC
1333 W. BROADWAY #101
TEMPE, AZ 85282
PHONE: (602) 283-1620
FAX: (602) 283-1621

BE ADVISED THAT THIS SET OF PLANS HAS BEEN PREPARED FOR BUILDING PLAN REVIEW PURPOSES ONLY. AT THIS TIME, THIS SET OF PLANS SHOULD BE CONSIDERED PRELIMINARY IN NATURE AND NOT FOR CONSTRUCTION. THIS SET OF PLANS SHALL NOT BE USED FOR ANY PURPOSES WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. ANY CHANGES TO THESE PLANS SHALL NOT BE USED FOR FINAL BIDDING PURPOSES AND ANY BID SUBMITTED THAT HAS BEEN BASED ON THIS SET OF PLANS SHALL BE CONSIDERED PRELIMINARY. THIS SET OF PLANS WILL CHANGE DUE TO PLAN REVIEW COMMENTS AND THE ARCHITECT'S INTERNAL REVIEW. SUBSTITUTION AS WELL AS INTERNAL REVISIONS.



SURPRISE, ARIZONA

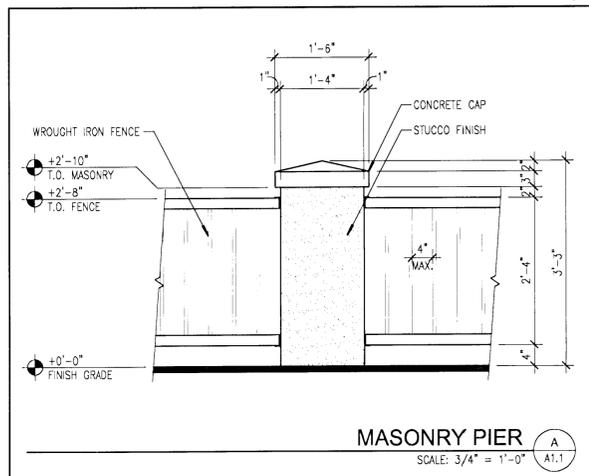
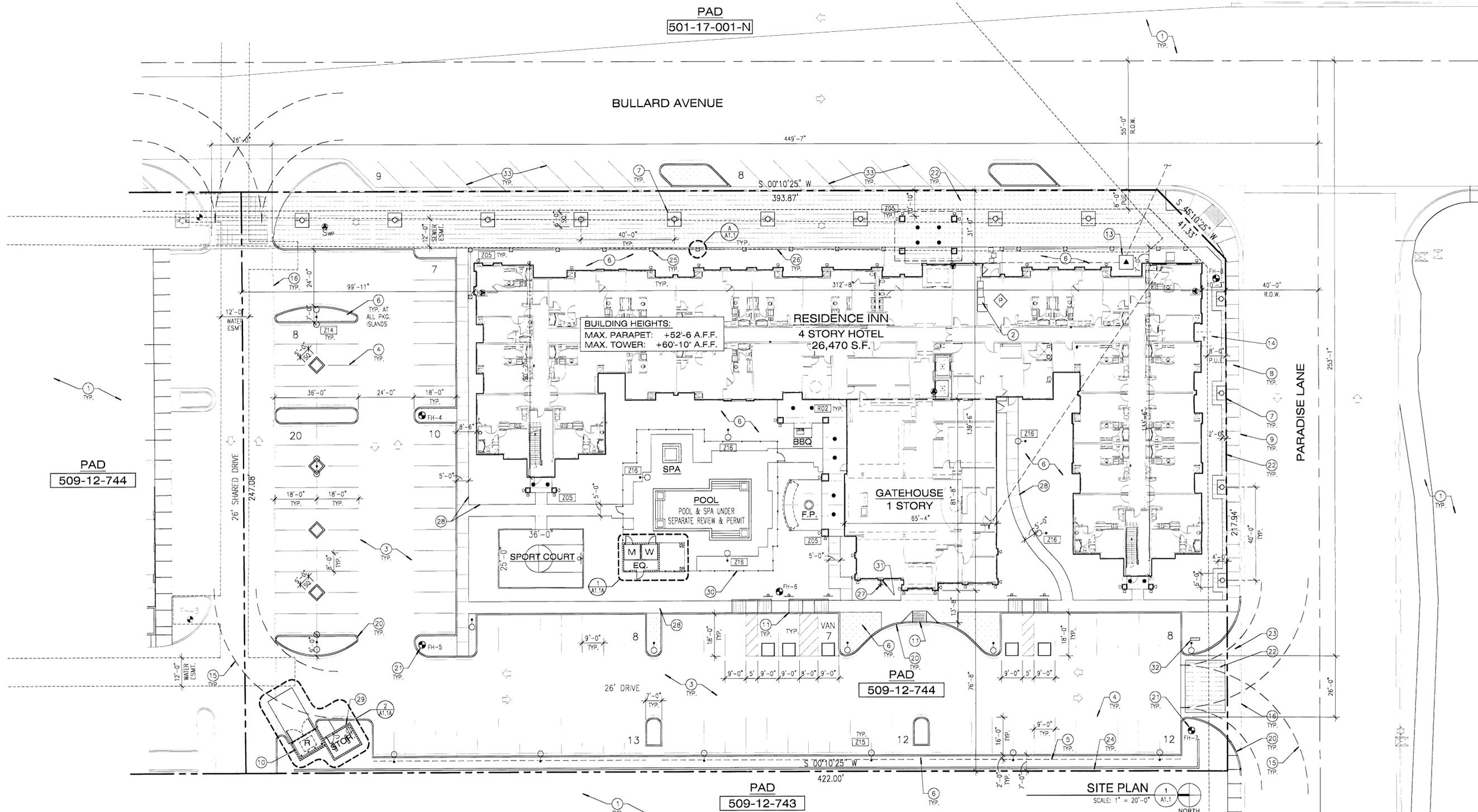
REVISION	COMMENTS

PROJECT NO:	07-307
DATE:	09.05.07
DRAWN BY:	CPH
CHECKED BY:	SMK

SHEET TITLE:
EXTERIOR ELEVATIONS

SHEET NUMBER:
A1.1A

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF PK ARCHITECTS, P.C. ALL RIGHTS AND OTHER INFORMATION ON THE DRAWINGS ARE FOR THE USE OF THE SPECIFIC PROJECT AND SHALL NOT BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF PK ARCHITECTS, P.C. IN THE EVENT OF A DISPUTE, THE CONTRACT DOCUMENTS SHALL BE THE BASIS FOR RESOLUTION. THE CONTRACT DOCUMENTS SHALL BE THE BASIS FOR RESOLUTION. THE CONTRACT DOCUMENTS SHALL BE THE BASIS FOR RESOLUTION.



PROJECT DATA

ADDRESS:	LOT 10 PARCEL 2 S.W.C. BULLARD AVE. AND PARADISE LN. SURPRISE, ARIZONA
PROPOSED USE:	4 STORY HOSPITALITY
EXISTING ZONING:	PAD
PROPOSED ZONING:	PAD (NO CHANGE)
OCCUPANCY:	R-1 WITH A-3
CONSTRUCTION TYPE:	TYPE V A
BUILDING HEIGHT:	+70'-0" MAX.
FIRE PROTECTION (NFPA 13):	FULLY SPRINKLERED INCLUDING ATTIC
SITE DATA:	
GROSS SITE AREA:	3.21 AC
NET SITE AREA:	2.39 AC
BUILDING COVERAGE:	26%
LANDSCAPING COVERAGE:	21%
BUILDING:	
FIRST FLOOR:	26,470 S.F.
COVERED AREA:	1,379 S.F.
SECOND FLOOR:	21,120 S.F.
THIRD FLOOR:	21,120 S.F.
FOURTH FLOOR:	21,120 S.F.
TOTAL (INCLUDING COVERED AREA):	91,209 S.F.
TOTAL:	89,830 S.F.

KEYNOTES

- EXISTING ADJACENT SITE TO REMAIN
- NEW SERVICE ENTRANCE SECTION (S.E.S.)
- NEW ASPHALT PAVING
- 4" WIDE PARKING STRIPE
- VEHICLE OVERHANG
- LANDSCAPE MATERIAL
- DECORATIVE STEEL TREE GRATE
- EXISTING SIDEWALK TO REMAIN
- EXISTING CURB/GUTTER TO REMAIN
- 6'-0" HIGH MASONRY REFUSE ENCLOSURE WITH STEEL GATE
- ACCESSIBLE RAMP - PER A.D.A.
- 5'-0" WIDE ACCESSIBLE PATHWAY - 4" WIDE STRIPES AT 3'-0" O.C.
- PROPOSED TRANSFORMER ON CONCRETE PAD LOCATION
- EXISTING TRANSFORMER PAD TO BE RELOCATED
- TRUCK TURNING RADIUS - PER C.O. SURPRISE (35' INTERIOR/55' EXTERIOR)
- EXISTING CURB/ GUTTER TO BE REMOVED
- SITE VISIBILITY TRIANGLE PER C.O. SURPRISE DETAIL
- MONUMENT SIGN
- BICYCLE RACK - 4 BIKE CAPACITY
- NEW CONCRETE CURB
- NEW FIRE HYDRANT
- INTEGRAL COLORED/ STAMPED CONCRETE
- STANDARD GREY CONCRETE
- +4'-0" HIGH SITE SCREEN WALL
- MASONRY PIER WITH STUCCO FINISH AND CONCRETE CAP
- +3'-0" HIGH DECORATIVE WROUGHT IRON RAILING
- FIRE DEPARTMENT CONNECTION (F.D.C.) ON BUILDING
- NEW CONCRETE SIDEWALK
- +8'-0" STORAGE BUILDING WITH FLAT ROOF
- +5'-0" HIGH WROUGHT IRON FENCE WITH 3'-0" WIDE SELF-CLOSING GATES
- LOCATION OF RECESSED FIRE DEPARTMENT "KNOX BOX"
- NEW MONUMENT SIGN - UNDER SEPARATE REVIEW AND PERMIT
- OFF STREET PARKING BY OTHERS

GENERAL NOTES

- ALL MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW.
- ALL SIGNAGE REQUIRES A SEPARATE PERMITTING PROCESS.
- TRASH ENCLOSURE SHALL BE IN COMPLIANCE WITH CITY OF SURPRISE STANDARD DETAIL, GATE IS REQUIRED.
- ALL PROPOSED DEVELOPMENT PHASES DEPICTED ON THIS SITE PLAN SHALL BE PROVIDED A MINIMUM OF TWO (2) SEPARATE POINTS OF UNOBSTRUCTED ACCESS WITH A MINIMUM WIDTH OF TWENTY FEET, INSTALLED & MAINTAINED PURSUANT TO THE REQUIREMENTS OF THE CITY OF SURPRISE.



PK ARCHITECTS, PC
 1333 W. BROADWAY #101
 TEMPE, AZ 85282
 PHONE: (602) 283-1620
 FAX: (602) 283-1621

BE ADVISED THAT THIS SET OF PLANS HAS BEEN PREPARED FOR BUILDING PLAN REVIEW PURPOSES ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION. THIS SET OF PLANS SHALL NOT BE CONSIDERED FINAL UNTIL ALL APPROVALS HAVE BEEN OBTAINED FROM ALL AUTHORITIES HAVING JURISDICTION. THIS SET OF PLANS SHALL NOT BE USED FOR FINAL BIDDING PURPOSES AND ANY BID SUBMITTED THAT HAS BEEN BASED ON THIS SET OF PLANS SHALL BE CONSIDERED PRELIMINARY. THIS SET OF PLANS SHALL BE SUBJECT TO THE VARIOUS AUTHORITIES HAVING JURISDICTION AS WELL AS INTERNAL REVIEWS.



SURPRISE, ARIZONA

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PROJECT NO: 07-307
 DATE: 09.05.07
 DRAWN BY: CPH
 CHECKED BY: SMK

SHEET TITLE:
ARCHITECTURAL SITE PLAN

SHEET NUMBER:
A1.1

REPORT TO THE PLANNING AND ZONING COMMISSION

CASE NUMBER: SP06-430 (A Design Build Project for Skyway lot 23)
STIPULATIONS: a through h
PREPARED BY: Adam Copeland, Planner @ 623-222-3137

Application Date: October 27, 2006
Planning and Zoning Commission: December 18, 2007

APPLICANT: Bala Raman
Raman Design Associates
2659 W. Guadalupe Rd Ste D201
Mesa, Arizona 85202
P: 480-897-2578
F: 480-752-8511

OWNER: Jim McDowell
Skyway Lot 21 LLC
9735 N 90 PL 250
Scottsdale, AZ 85258-5055
P: 480-990-8136
F: 480-947-3015

REQUEST: Approval of a Site Plan for A Design Build Project for Skyway Lot 23.

SITE LOCATION: Located on the northwest corner of Dysart Road and Peoria Avenue.

SITE SIZE: 3 acres.

RECOMMENDATION: Staff recommends that this request, a Site Plan for A Design Build Project for Skyway Lot 23 (SP06-430), be **approved** subject to stipulations **a through h**.

PROJECT ANALYSIS:

PROPOSAL

The applicant is proposing to build two (2) 14,440 S.F. spec buildings within Skyway Business Park. The project will be built in two phases. Phase 1 of this project will be built on the north half of lot 23 and phase 2 on the south half.

ITEM 5

BACKGROUND

- The project is located within the Skyway Business Park Planned Area Development, which was approved on July 14, 2005 by the City Council.
- October 4, 2005 the Preliminary Plat was approved by City Council.
- On December 22, 2005 the Final Plat for Skyway Business Park was approved by the City Council, which created the subject lot.

AREA ANALYSIS

Surrounding the site is Skyway Business Park on the north, south, and east. Across the Dysart Road to the east is the City of El Mirage containing of scattered residential uses, vacant property, and a high school.

Adjacent surrounding projects are zoned allowing various general commercial, Business Park, or industrial uses.

CIRCULATION:

Ingress and egress to the site will be from Dysart Road to the east and shared access to the north and south of lot 23.

ARCHITECTURE:

The design is consistent with the City of Surprise Design Guidelines, whereas it incorporates proper building scale and site orientation.

The architecture of the subject project reflects a design that is contemporary in nature. Noticeable design features are exposed stucco, recessed entrances, and CMU elements.

The building materials consist of a combination of stucco, aluminum framing, and masonry walls. An earth tone color palette gives the building a contemporary yet rustic appeal by clearly defining the various material edges.

LANDSCAPING

The landscape plan was reviewed and recommended for approval by staff. The landscape was designed to compliment the theme along Dysart and Varney Road established in the Planned Area Development. Dysart Road will consist of curb-separated sidewalks with shade trees on both sides.

FINDINGS:

The applicant has worked diligently with staff in creating an aesthetic appearance along the adjacent roadways. In addition, the project complies with the approved Planned Area Development Standards for Skyway Business Park and the Surprise Municipal Code.

ITEM 5

DEPARTMENTAL REVIEW:

During the review process, the departments below had comments that were addressed prior to moving the project forward to the Planning and Zoning Commission.

The Building Division commented on accessible parking routes and number of spaces, which were revised to the City's standards.

The Engineering Department reviewed the drainage report with no further comments.

The Traffic Engineering Division reviewed the Traffic Impact Analysis and had no comments.

The Water Services Department had no comments.

The Fire Department had issues with emergency access, fire hydrant locations, turning movements, and fire access lanes. The applicant revised the site plan and addressed all Fire Department comments.

The Planning Division had significant concerns on the architecture of the building. Through several design review meetings, the applicant revised the building to address all of staff's comments.

EXISTING UTILITIES AND SERVICES STATUS:

WATER	City of Surprise
SEWER	City of Surprise
FIRE PROTECTION	The closest fire station is located on the NE corner of Bola Drive and West Village Drive (3 ½ miles northeast).
POLICE PROTECTION:	The closest police station is located at 14250 West Statler Plaza (5 miles northwest).

ITEM 5

STIPULATIONS:

- a) Prior to delivery of any combustible material to the site, fire department access and fire protection systems shall be completely operational in accordance with the approved plans by the Fire Chief and the City Engineer;
- b) Major changes to this Site Plan with regards to use and intensity must be processed as a revised application with approval by the Planning and Zoning Commission. Minor changes may be administratively approved by the Community Development Director, Fire Marshal, City Engineer, and Water Services Director;
- c) All parcel numbers shall be active prior to submittal of any building permit and shall stay active throughout the construction process until a Letter of Compliance and/or Certificate of Occupancy is issued. Any subdivision or lot split shall be reviewed and approved by the City of Surprise prior to recordation with Maricopa County.
- d) The applicant shall include all approved stipulations related to the project on the title sheet of construction plans prior to plan check submittal;
- e) Applicant or property owner must provide the City with approved earth moving permit by Maricopa County Environmental Services Department prior to release of any permits;
- f) Approval of this site plan is not to be construed as an approval of any violation of the current adopted Surprise Municipal Code at the time of submission;
- g) All roof mounted and ground mounted mechanical equipment shall be screened from public view and will be subject to the approval of the Community Development Director;
- h) All mechanical equipment, transformers, utility boxes, gas lines, shall be completely screened from public view prior to letter of compliance and/or Certificate of occupancy. Any changes to the landscape plan shall be submitted to the Community Development Department for review and approval.



DEPARTMENT OF THE AIR FORCE
AIR EDUCATION AND TRAINING COMMAND

14 November 2006

Mr. James R. Mitchell
Director, Community Initiatives Team
56th Fighter Wing
14185 West Falcon Street
Luke AFB AZ 85309-1629

Ms. Cindy Coen
City of Surprise Planning Department
12425 West Bell Road
Surprise AZ 85374

Re: Case #SP06-430 Skyway Commerce Center Lot 24 A Design Build Project

Dear Ms. Coen

Thank you for the opportunity to provide comments on the Site Plan Application for the Skyway Commerce Center Lot 24, a Design Build Project. Lot 24 is located on 2.3 gross acres near the northwest corner of Dysart Road and Peoria Avenue. Plans are to build two 14,440 square foot single story office/warehouse buildings for light industrial businesses. This location is inside the 1988 JLUS 70 Ldn, "high noise or accident potential zone" as defined by A.R.S. § 28-8461 and within the "territory in the vicinity of a military airport" also defined by A.R.S. § 28-8461.

As described, light industrial use will not negatively impact the flying operations at Luke AFB. Since Lot 24 will be located within the "territory in the vicinity of a military airport," it will be subjected to high noise from approximately 165 over flights a day, with some as low as 1,500 feet above ground level. We recommend you review the sound attenuation requirements found in A.R.S. § 28-8482. In addition, a strong notification program on the part of the applicant is essential to inform potential tenants about Luke AFB operations. We also recommend a review of the Luke AFB web site at <http://www.luke.af.mil>, Community Interests and Community Initiatives links, for further information.

If there are any questions, please contact my Community Planner, Mr. Bob Dubsky, at (623) 856-6195.

Sincerely

A handwritten signature in black ink, appearing to read "J. Mitchell", written over a horizontal line.

JAMES R. MITCHELL

cc:

Colonel David L. Orr, Vice Commander, 56th Fighter Wing

Vicinity Map

Skyway Lot 23



- ⑩ Marley Park Square
- ⑪ Surprise Point
- ⑫ 84 Lumber
- ⑬ Varamonte Retail Center
- ⑭ Litchfield Commerce Park
- ⑮ Desert Cove Commercial Park
- ⑯ Skyway Business Park II
- ⑰ Milgard Manufacturing
- ⑱ Skyway Business Park I
- ⑲ Surprise Commerce II
- ⑳ Summit Business Park
- ㉑ Valentine Reality Commercial Industrial Park





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DESIGN
ASSOCIATES
ARCHITECTURE & PLANNING

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Project Narrative

Design Build Project for Skyway Lot 23, LLC

Location and Project Description

Lot 23 of the Skyway Business Park sub-division is situated at northwest corner of Peoria Avenue and Dysart Road. The lot has Dysart Road along its eastern boundary. Final Plat Amendment application has been submitted to split this lot into two equal parcels with a net area of 1.1478 ac. each. This application has been approved by the City.

The project will be built in two phases. Phase I of this project will be built on north half of lot 23.

Phase I will have a single story office/warehouse building with a future truckwell in the rear. This building footprint will be mirrored on Phase II of this project in the future. Exterior building walls are painted masonry with stucco accent over the entrance.

These are spec buildings with a total gross area of 14,440 sq. ft. each.

Historical Data

Up till recently the site was an irrigated farmland gently sloping to the south at 0.35%.

Operational Aspect of Use

The buildings are designed to accommodate service industries with need for onsite enclosed warehouse or storage space in addition to a front office.

Infrastructure

Existing utility infrastructure improvements includes a 12 inch waterline and a 8 inch sanitary sewer along Dysart Road. Curb and gutter exist on west side of Dysart Road only. An underground storage system will be provided for onsite retention for each parcel.

Phasing

This project will be completed in two phases. See description above.

Permits

Currently there are no Federal, State, and City permits pending.

Nov. 8, 2007



Vicinity Map

Office / Warehouse Buildings

For Skyway Lot 23 L.L.C. **RECEIVED**

LEGEND

● Skyway Lot 23, L.L.C.

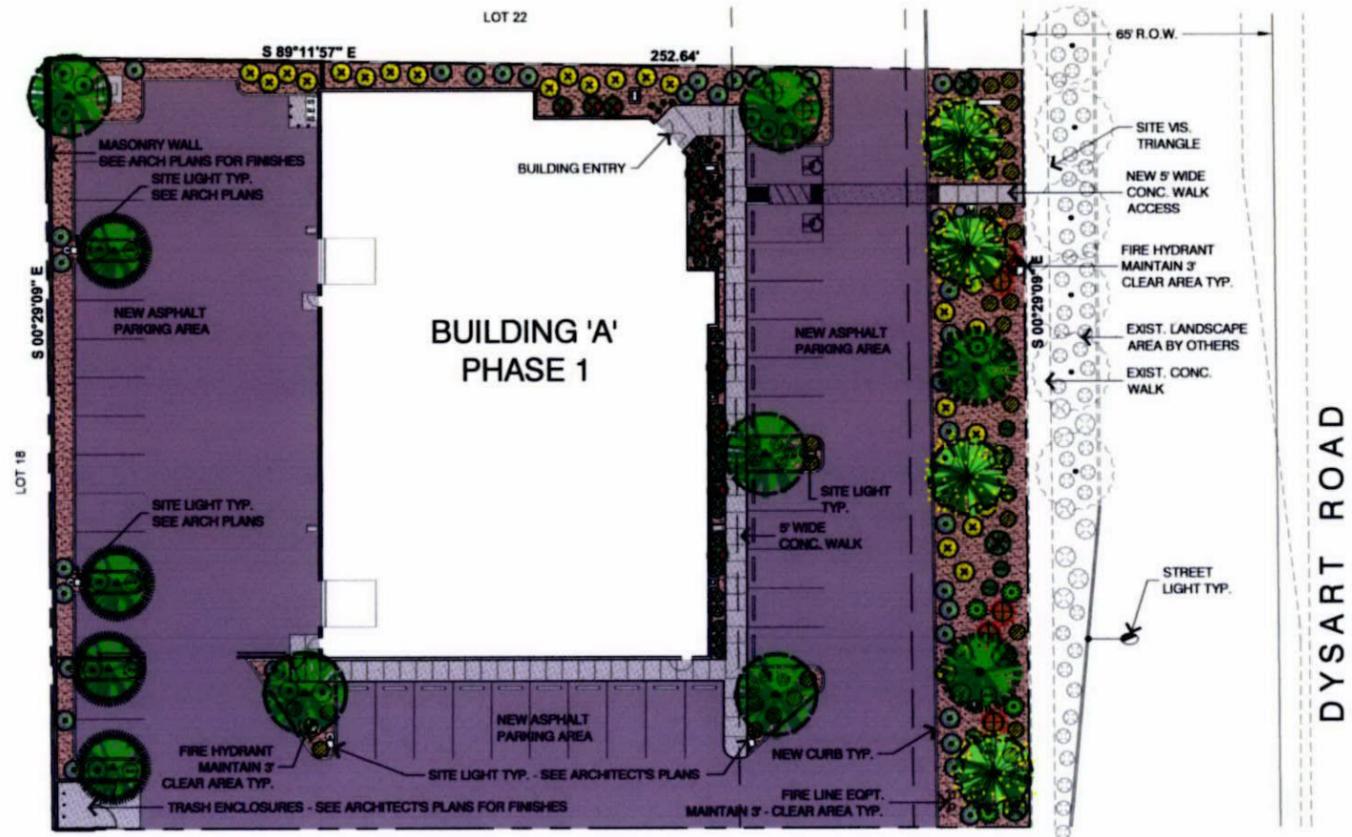
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1" : 2500'



Approximate Scale

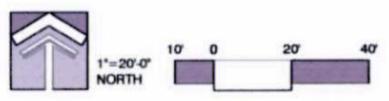
October 25, 2007



PLANT LIST

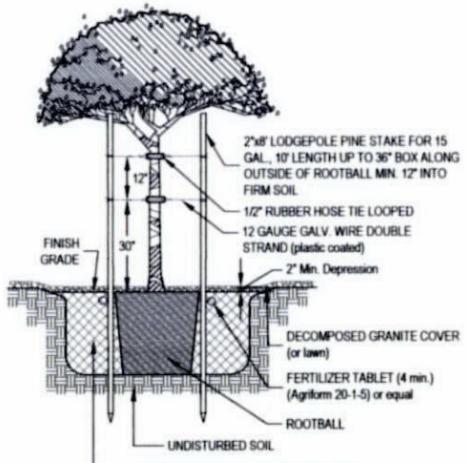
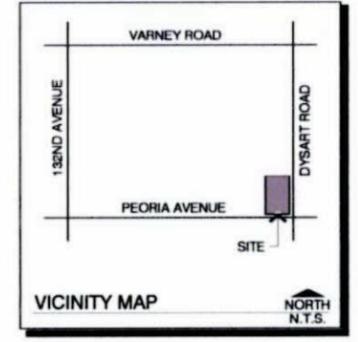
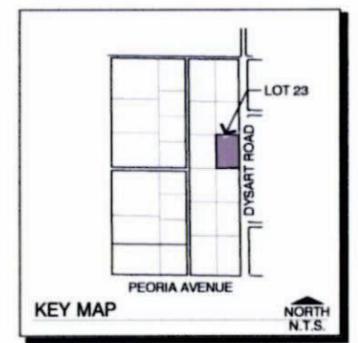
SYMBOL	BOTANICAL NAME COMMON NAME	SIZE QUAN.	REMARKS
	<i>Prosopis velutina</i> Native mesquite	48" box 2	15' ht., 12" sp., 2" cal.
	<i>Parkinsonia floridum</i> Blue palo verde	36" box 3	10' ht., 8" sp., 3" cal.
	<i>Dalbergia sissoo</i> Sissoo tree	24" box 4	11' ht., 6 1/2" sp., 3" cal.
	<i>Dalbergia sissoo</i> Sissoo tree	48" box 5	15' ht., 10" sp., 4" cal.
	<i>Leucophyllum langmaniae</i> 'rio bravo' Rio bravo sage	15 gal. 52	
	<i>Senna nemophylla</i> Green cassia	5 gal. 27	
	<i>Bougainvillea</i> sp. 'rosenka' Rosenka bougainvillea	5 gal. 8	
	<i>Lantana</i> sp. 'new gold' New gold lantana	5 gal. 32	
	<i>Baccharis</i> x 'starns' thompson Dwarf desert broom	5 gal. 12	
	<i>Myrtus communis</i> 'compacta' Dwarf myrtle	5 gal. 34	
	<i>Acacia redolens</i> 'desert carpet' Desert carpet acacia	5 gal. 7	
	<i>Agave gemmiflora</i> Twin-flowered agave	15 gal. 6	
	<i>Carissa</i> g. 'boxwood beauty' Boxwood beauty natal plum	5 gal. 23	
	<i>Hibiscus</i> 'itsy bitsy' Itsy bitsy hibiscus	5 gal. 11	

DECOMPOSED GRANITE - 3/4" SCREENED, 2" DEPTH IN ALL AREAS OF PLANTING. 'EXPRESS BROWN' COLOR TO MATCH EXISTING ADJACENT LANDSCAPE AREA.



LANDSCAPE AREA CALCULATIONS	
NET LAND AREA	= 99,969 S.F.
LANDSCAPED AREA	= 22,988 S.F.
% AREA LANDSCAPED	= 0.22 %

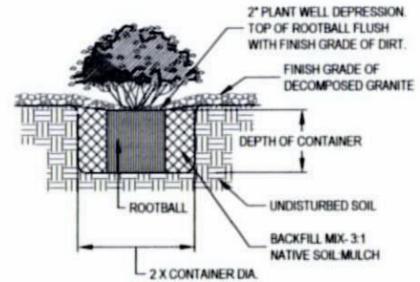
NOTE:
All landscaped areas have a ground cover coverage of at least 25%. Adequate root zones and water basins are provided. All trees meet the minimum trunk height and caliper requirement. All trees in paved areas should have deep root barriers.



PLANT PIT (3) TIMES ROOTBALL DIAMETER. BACKFILL: Native soil only, do not tamp or compact.

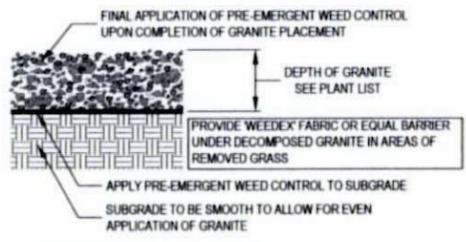
TREES ARE SUBJECT TO INSPECTION AND APPROVAL ON PROJECT SITE. SEE LANDSCAPE SPECS. FOR ADDITIONAL PLANTING INFO.

1 TREE PLANTING



LANDSCAPE CONTRACTOR TO PERFORM SOIL TEST IN ALL PLANTING AREAS. ADD FERTILIZER AS RECOMMENDED BY TESTING LAB. ALL SHRUBS & GROUND COVER MATERIAL TO BE WATERED IN THOROUGHLY PRIOR TO PLACEMENT OF GRANITE. PLANTS ARE SUBJECT TO INSPECTION AND APPROVAL ON PROJECT SITE.

2 SHRUB/GROUND COVER



FINISH GRADE OF GRANITE TO BE 1-1/2" BELOW TOP OF ADJACENT WALKS, DRIVES & HEADERS. LANDSCAPE CONTRACTOR TO ACCEPT GRADES @ +0.1'. DECOMPOSED GRANITE COLOR SHALL BE AS SPECIFIED ON PLANS. COLOR OF DECOMPOSED GRANITE SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT FOR APPROVAL IF REQUIRED. PRE-EMERGENT HERBICIDES SHALL BE SURFLAN, DACTHOL OR EQUIVALENT AS PER MANUFACTURERS RECOMMENDATIONS.

3 DECOMPOSED GRANITE

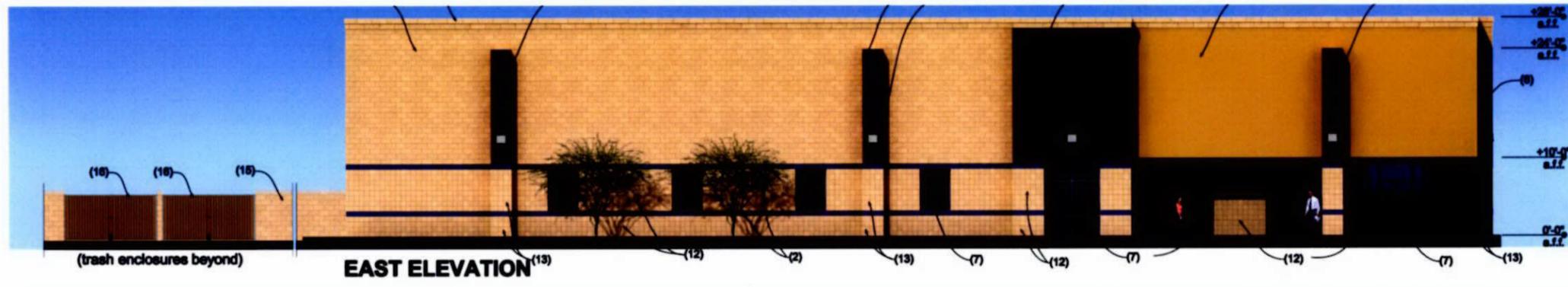
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MLA Associates
LANDSCAPE ARCHITECTS
2101 East Broadway Road #35 Tempe, AZ 85282
OFFICE 480-777-0150 FAX 480-777-0152
MLA Associates Landscape Architects, Incorporated

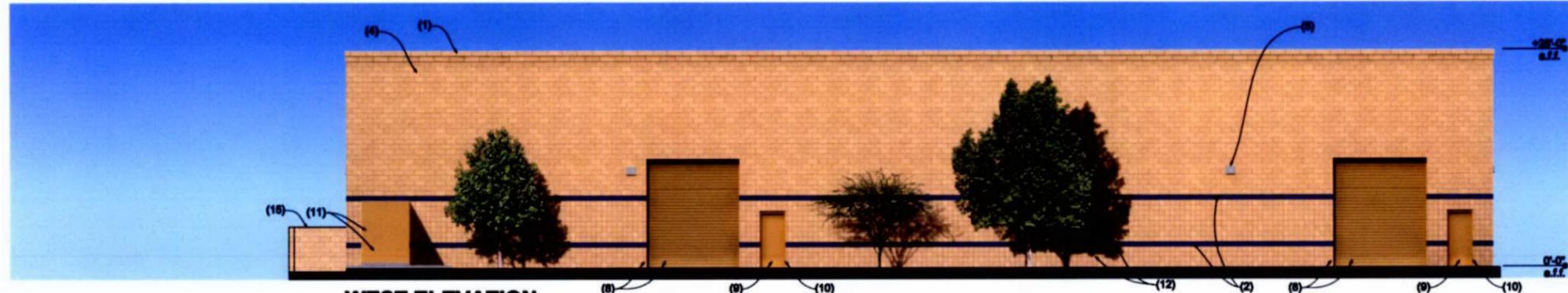
DESIGN BUILD PROJECT FOR
SKYWAY LOT 23, LLC
SKYWAY BUSINESS PARK - LOT 23
SURPRISE, ARIZONA

PROJECT # 2007-44
DATE August 14, 2007
REVISION September 28, 2007

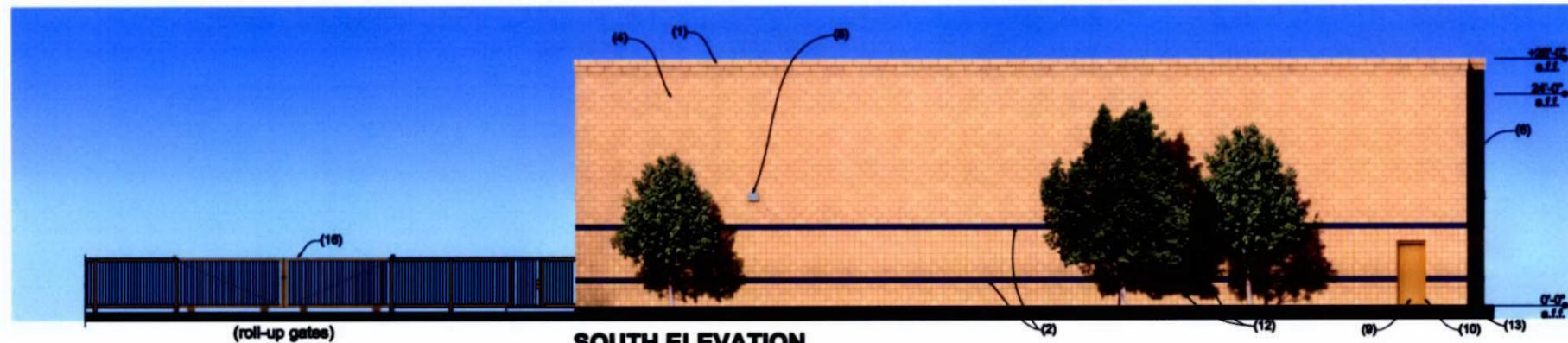




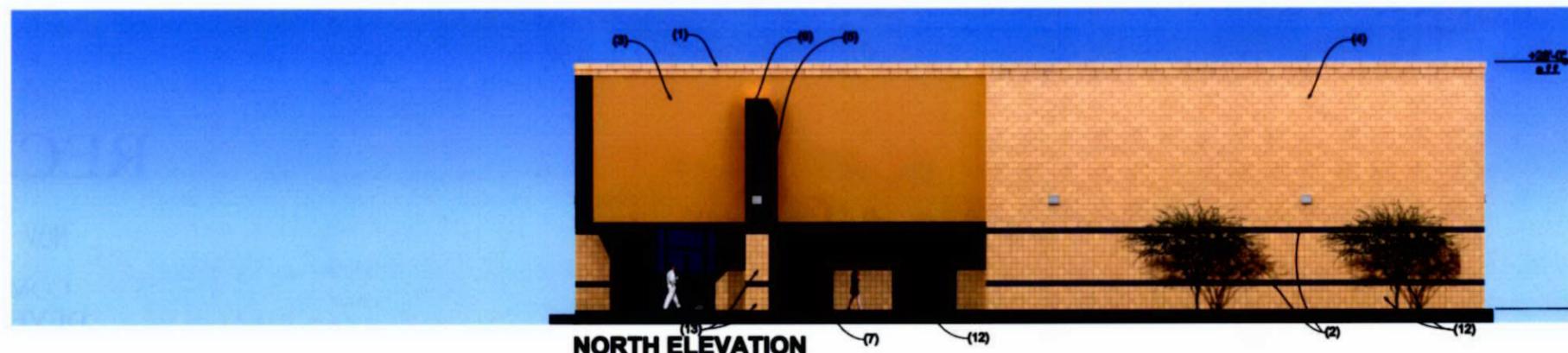
EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION

BUILDING 'A' (bldg. 'B' opp. hand similar)

COLOR SCHEDULE - Lot 23
Design Build Project (Bldg. 'A')
Skyway Lot 23, LLC

NOTE	DESCRIPTION	COLOR all paint colors by Dunn Edwards (b.r.o.)
(1)	8"x8"x16" MASONRY PARAPET BAND - RUNNING BOND	DE6157 - BISQUE TAN
(2)	8"x8"x16" MASONRY WALL BAND - CENTER SCORED	DE 5880 - CLEAN SLATE
(3)	STUCCO ON WD. FRAMING	DE6159 - BREAD PUDDING
(4)	8"x8"x16" MASONRY WALL - RUNNING BOND	DE6157 - BISQUE TAN
(5)	LIGHT FIXTURE WALL PACK LIGHT POLE (not shown on elev. see Site Plan)	SILVER METALLIC (manufacturer) BRONZE (manufacturer)
(6)	8"x8"x16" MASONRY PILASTER - CENTER SCORED	DE6084 - ROXY BROWN
(7)	STOREFRONT & WINDOW ASSEMBLY	CLEAR ALUM. FRAME (manufacturer) GREY TINT GLAZING (manufacturer)
(8)	12' W x 14' H OVERHEAD DOOR STL. CHANNEL CORNER GUARDS	DE6159 - BREAD PUDDING
(9)	3' W x 7' H DOOR	DE6159 - BREAD PUDDING
(10)	DOOR FRAME	DE6159 - BREAD PUDDING
(11)	SERVICE ENTRANCE SECTION	DE6159 - BREAD PUDDING
(12)	8"x8"x16" MASONRY WALL - CENTER SCORED	DE6157 - BISQUE TAN
(13)	8"x8"x16" MASONRY PILASTER - CENTER SCORED	DE6157 - BISQUE TAN
(14)	8"x8"x16" MASONRY WALL - CENTER SCORED	DE6084 - ROXY BROWN
(15)	8"x8"x16" MAS. SCREEN WALL - RUNNING BOND 8"x8"x16" MAS. TRASH ENCL. - RUNNING BOND	DE6157 - BISQUE TAN
(16)	W.I. GATE ASSEMBLY WITH WOOD SLATS W.I. ROLL-UP & SWING GATES & FENCE	DE6159 - BREAD PUDDING



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A DESIGN BUILD PROJECT

SKYWAY LOT 23, LLC

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DESIGN
ASSOCIATES

11/18/07

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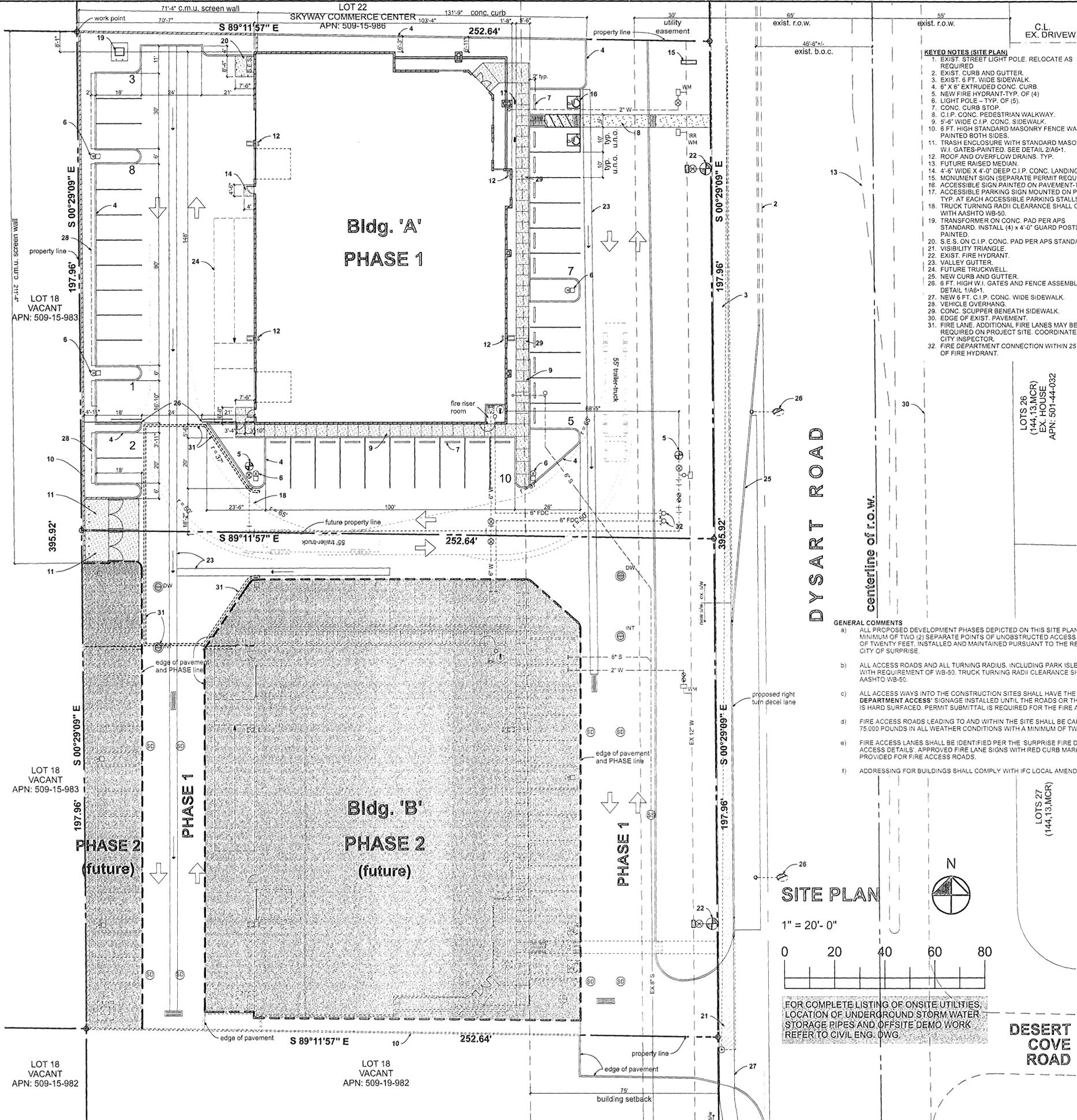
SKYWAY LOT 23, LLC



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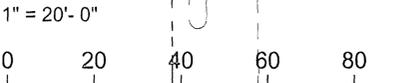
COMMUNITY
DEVELOPMENT



- KEY NOTES (SITE PLAN)**
- EXIST. STREET LIGHT POLE. RELOCATE AS REQUIRED.
 - EXIST. CURB AND GUTTER.
 - EXIST. 6 FT. WIDE SIDEWALK.
 - 5' X 6' EXTRUDED CONC. CURB.
 - NEW FIRE HYDRANT-TYP. OF (4).
 - LIGHT POLE - TYP. OF (6).
 - CONC. CURB STOP.
 - C.I.P. CONC. PEDESTRIAN WALKWAY.
 - 5'-8\"/>

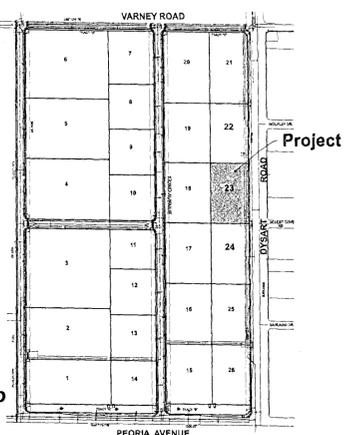
DYSART ROAD
centerline of r.o.w.

SITE PLAN



FOR COMPLETE LISTING OF ONSITE UTILITIES, LOCATION OF UNDERGROUND STORM WATER STORAGE PIPES AND OFFSITE DEMO WORK REFER TO CIVIL ENG. DWG.

DESERT COVE ROAD



PROJECT DATA

CODES: I.B.C. 2006, I.N.C. 2006, AZ P.C. 2006, N.E.C. 2005, I.F.C. 2006

PROJECT ADDRESS: Skyway Business Park-Lot 23

OWNER: Skyway Lot 23, LLC
9735 N. 90th Street, Suite 250
Scottsdale, AZ 85258

APPLICANT: Raman Design Associates
2659 W. Guadalupe Road, Suite D201
Mesa, AZ 85210

ZONING: PAD
LAND USE: BP

LOT AREA: Gross & Net 49,999.56 sq. ft. (1.1478 Ac.)

LEGAL DESCRIPTION: A PORTION OF THE SOUTHEAST QUARTER OF SECTION 23, TOWNSHIP 3 NORTH RANGE 1 WEST OF THE GILA AND SALT RIVER BASIN AND MERRIAM, MARICOPA COUNTY, ARIZONA MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SECTION 23, BEING A MCOO1 CAP IN HANDHOLE (0.4 FEET BELOW PAVEMENT) FROM WHICH THE EAST 1/4 C OF SAID SECTION 23 BEARS S 89 DEGREES 11 MINUTES 57 SECONDS EAST, 252.64 FEET TO A LINE PARALLEL AND 65 FEET WEST OF SAID SECTION LINE AND THE POINT OF BEGINNING. THENCE NORTH 00 DEGREES 11 MINUTES 57 SECONDS WEST ALONG SAID SECTION LINE A DISTANCE OF 113.28 FEET. THENCE NORTH 89 DEGREES 11 MINUTES 57 SECONDS WEST, 68.00 FEET TO A PARALLEL AND 65 FEET WEST OF SAID SECTION LINE AND THE POINT OF BEGINNING. THENCE CONTINUING NORTH 89 DEGREES 11 MINUTES 57 SECONDS WEST, A DISTANCE OF 252.64 FEET. THENCE SOUTH 00 DEGREES 29 MINUTES 09 SECONDS EAST, 197.96 FEET TO SOUTH 89 DEGREES 11 MINUTES 57 SECONDS EAST, 252.64 FEET. TO A LINE PARALLEL AND 65 FEET WEST OF SAID SECTION LINE. THENCE NORTH 00 DEGREES 29 MINUTES 09 SECONDS WEST, 197.96 FEET A SAID PARALLEL LINE TO THE POINT OF BEGINNING.

ALLOWABLE AREA INCREASE FOR FIRE SPRINKLER PROTECTION

F-1 occupancy - (non-separated use)	9,500 x 3	= 28,500 sq. ft.
BLDG. AREA (within ext. walls and under roof)	14,440 sq. ft.	
CANOPIES AND OVERHANGS	498 sq. ft.	
PARAPET HEIGHT	28'-0"	
RIDGELINE HEIGHT	22'-6"	
LOT COVERAGE	28.88 %	
OCCUPANCY	B (25%), F-1 (75%)	
CONSTRUCTION TYPE	V B (w/ Fire Sprinkler Protection)	
ONSITE PARKING REQUIRED	B occupancy 12 spaces F-1 occupancy 18 spaces Total 30 spaces	
ONSITE PARKING PROVIDED	Standard 34 spaces Accessible 2 spaces Total 36 spaces	
SITE LANDSCAPE / OPEN SPACE REQUIRED:	10.00 %	
SITE LANDSCAPE / OPEN SPACE PROVIDED:	11.00 %	
PARKING LANDSCAPE REQUIRED:	5.00 %	
PARKING LANDSCAPE PROVIDED:	8.00 %	

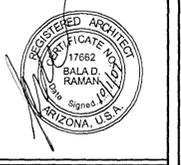
ALLOWABLE AREA INCREASE FOR FIRE SPRINKLER PROTECTION

F-1 occupancy - (non-separated use)	9,500 x 3	= 28,500 sq. ft.
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ONSITE PARKING PROVIDED	Standard 34 spaces Accessible 2 spaces Total 36 spaces	
SITE LANDSCAPE / OPEN SPACE REQUIRED:	10.00 %	
SITE LANDSCAPE / OPEN SPACE PROVIDED:	11.00 %	
PARKING LANDSCAPE REQUIRED:	5.00 %	
PARKING LANDSCAPE PROVIDED:	8.00 %	



2659 W. GUADALUPE RD.
SUITE D-201
MESA, ARIZONA 85202
OFF (480) 897-2578
FAX (480) 752-8511

NO.	DATE	REVISIONS



A DESIGN BUILD PROJECT

SKYWAY LOT 23, LLC

PROJECT NO. 200607
SHEET NO. **A1.2**

REPORT TO THE PLANNING AND ZONING COMMISSION

CASE NUMBER: SPA07-365 Arizona Charter Academy Elementary School
STIPULATIONS: a through f
PREPARED BY: Lance Ferrell, Planner at 623.222.3135

Application Date: October 11, 2007
Planning & Zoning Commission Hearing Date: December 18, 2007

APPLICANT: Dave Franklin
Franklin Architects
5721 W Leiber Place
Glendale, Arizona 85310
Phone: 623.580.0632

PROPERTY OWNER: Melissa Holdaway
Arizona Charter Academy
16011 M Dysart Road
Surprise, Arizona 85374
Phone: 623.478.8793

REQUEST: To amend plat SP03-171 to add property, a gym and additions on to existing buildings.

SITE LOCATION: The subject site is located at 16011 N. Dysart Road.

SITE SIZE: The subject site is approximately 6.45 Gross Acres.

RECOMMENDATION: Staff recommends that this request, a site plan amendment for Arizona Charter Academy (SPA07-365), located at 16011 N. Dysart Road, be **approved** subject to stipulations **a through f**.

ITEM 6

PROJECT ANALYSIS:

The subject request is for the amendment of the approved site plan that was originally approved by the Planning and Zoning Commission on March 02, 2004. This site is proposing a new 12,000s.f. gym as well as 4,058s.f. addition on an existing building. Arizona Charter Academy has also acquired the vacant property to the south of the site which is where the new gym will be located.

EXISTING AND SURROUNDING ZONING:

ON-SITE:	C-2 Community Commercial
NORTH:	C-2 Community Commercial
EAST:	R1-5 Single-Family Residential
SOUTH:	C-2 Community Commercial
WEST:	PAD-West Point Town Center

EXISTING AND SURROUNDING LAND USE:

ON-SITE:	Commercial/School
NORTH:	Commercial
EAST:	Residential
SOUTH:	Commercial/Mini Storage
WEST:	Residential

DEPARTMENTAL REVIEW:

All departments involved in the subject review of the site plan are recommending the project for approval subject to all stipulations.

EXISTING UTILITIES AND SERVICES STATUS:

WATER	City of El Mirage
SEWER	City of Surprise
FIRE PROTECTION	The closest fire station is located at 16750 N. Villager Drive at 1 mile.
POLICE PROTECTION:	The closest police station is located at 14250 W. Statler Plaza at 1.3 miles

EXISTING SITE CONDITIONS

The school is currently in use.

INFRASTRUCTURE

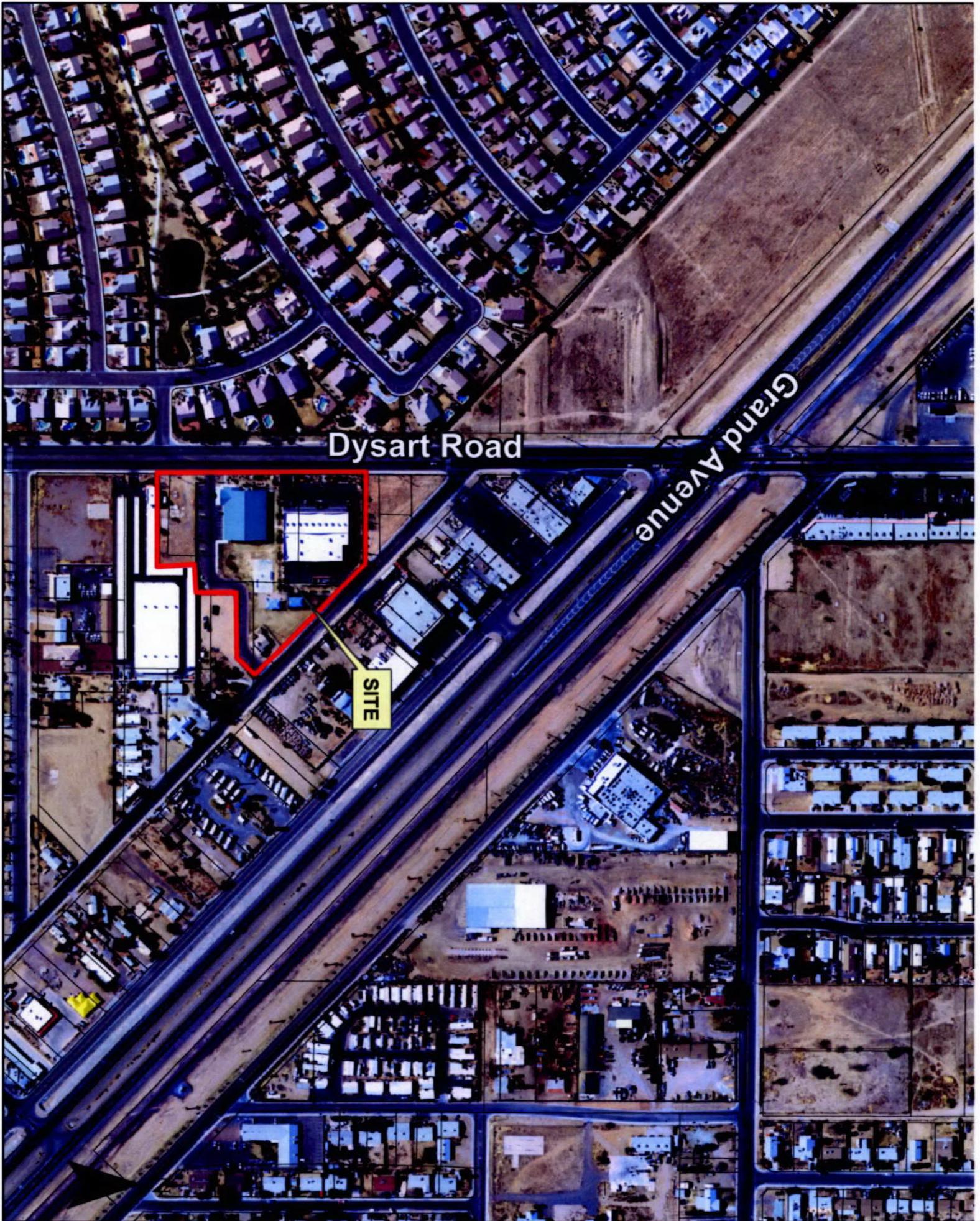
All infrastructure will be developed in accordance with the Surprise Municipal Code.

The parking lot lighting will remain consistent with the original site plan approval. Lighting location will be added to meet changes in the parking lot layout and building site.

ITEM 6

STIPULATIONS:

- a) Prior to delivery of any combustible material to the site, fire department access and fire protection systems shall be completely operational in accordance with the approved plans by the Fire Chief and the City Engineer;
- b) Major changes to this Site Plan with regards to use and intensity must be processed as a revised application with approval by the Planning and Zoning Commission. Minor changes may be administratively approved by the Planning and Community Development Director, Fire Marshal, City Engineer, and Water Services Director;
- c) The applicant shall include all approved stipulations related to the project on the title sheet of construction plans prior to plan check submittal;
- d) Applicant or property owner must provide the City with approved earth moving permit by Maricopa County Environmental Services Department prior to release of any permits;
- e) All roof mounted and ground mounted mechanical equipment shall be screened from public view and will be subject to the approval of the Planning and Community Development Director.
- f) All access roads and all turning radius, including parking aisle islands, shall comply with requirement of WB-50.



Dysart Road

Grand Avenue

SITE

6 November 2007

Mr. James R. Mitchell
Director, Community Initiatives Team
56th Fighter Wing
14185 West Falcon Street
Luke AFB AZ 85309-1629

Ms. Carol Dager
City of Surprise Planning Department
12425 West Bell Road
Surprise AZ 85374

Re: Case #SPA07-365 Arizona Charter Academy

Dear Ms. Dager

Thank you for the opportunity to provide additional comments on the Site Plan Amendment Application for the Arizona Charter Academy. The Academy will be located on 6.45 gross acres at 16011 Dysart Road on the south side of Grand Avenue. Amended plans call for the construction of buildings totaling 40,321 square feet in two phases. This will be used as a K through 12th grade charter school. The site is approximately 1 1/2 miles outside the 1988 JLUS 65 Ldn, "high noise or accident potential zone" as defined by A.R.S. § 28-8461 and is within the "territory in the vicinity of a military airport" also defined by A.R.S. § 28-8461.

As described, this amendment to the Academy plans will not negatively impact the flying operations at Luke AFB. Since this site is located within the "territory in the vicinity of a military airport," it will be subjected to noise from approximately 165 over flights a day, with some as low as 1,500 feet above ground level. We recommend you review the sound attenuation requirements found in A.R.S. § 28-8482. In addition, a strong notification program on the part of the applicant is essential to inform the tenant about Luke AFB operations. We also recommend a review of the Luke AFB web site at <http://www.luke.af.mil>, Community Interests and Community Initiatives links, for further information.

If there are any questions, please contact my Community Planner, Mr. Bob Dubsky, at (623) 856-6195.

Sincerely

//signed//

JAMES R. MITCHELL

cc:

Colonel Henry M. Reed III, Vice Commander, 56th Fighter Wing



Arizona Department of Transportation
Intermodal Transportation Division

206 South Seventeenth Avenue Phoenix, Arizona 85007-3213

Janet Napolitano
Governor

Victor M. Mendez
Director

Debra Brisk
Deputy Director

November 7, 2007

RECEIVED

NOV 18 2007

COMMUNITY DEVELOPMENT

Ms. Carol Dager
City of Surprise Planning Department
12425 West Bell Road
Surprise, Arizona 85374

RE: Arizona Charter Academy/ SPA07-365/ 16011 N. Dysart Rd.

Dear Ms. Dager:

Thank you for your notification regarding the Site Plan on the above referenced subject. After reviewing this information we have concurred that at this time the proposed Plan will not have an impact on our highway facilities in this area.

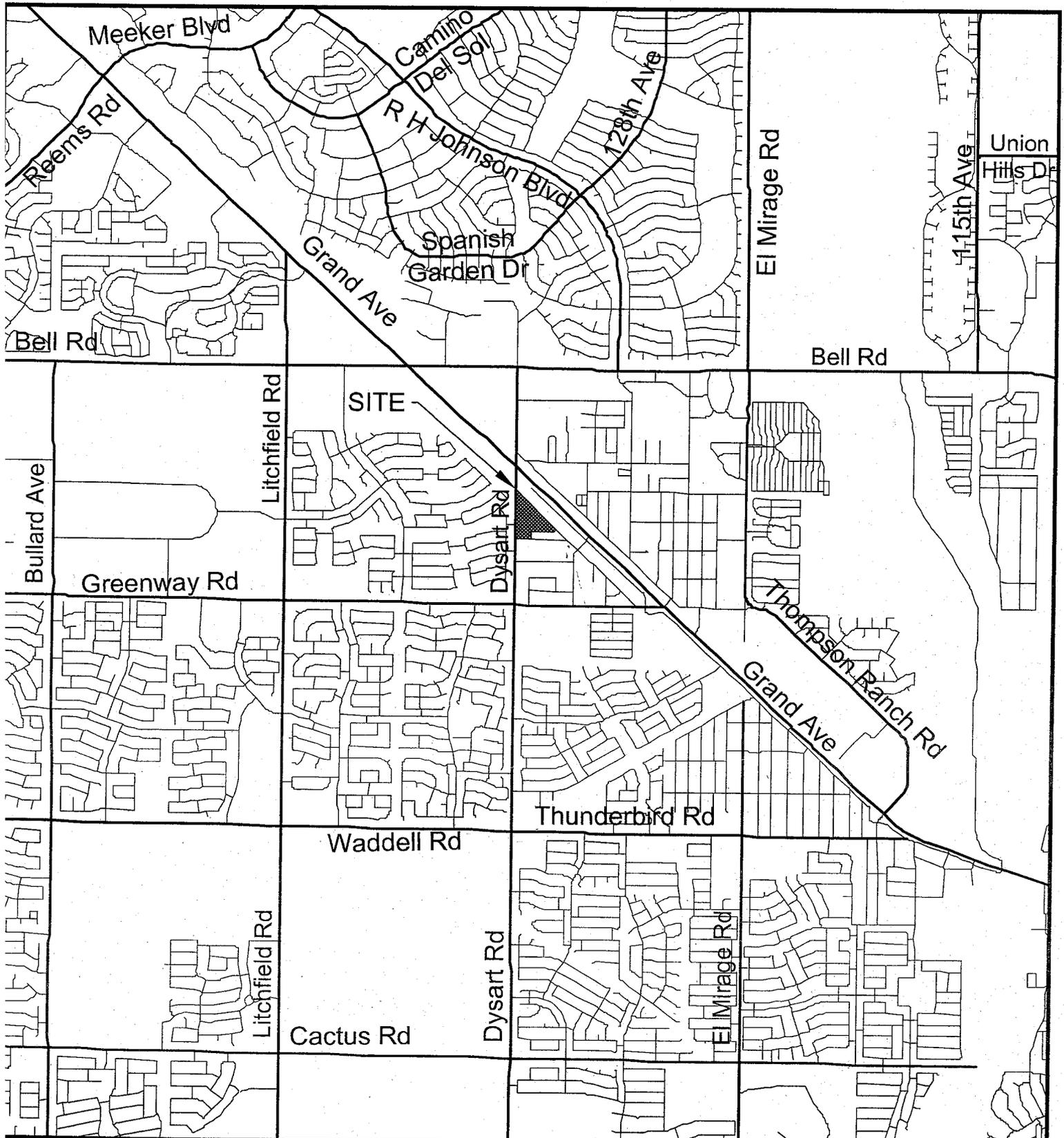
ADOT does reserve the right to review and comment on all development plans for this site as to any impact they may have on the State Highway System.

Should you have any questions please feel free to contact me at 602-712-8876, or in writing at 205 S. 17th Avenue, Right of Way Project Management Section MD 612E, Phoenix, Arizona 85007. Thanking you in advance for your cooperation.

Sincerely,

Annette Close
Administrative Assistant III
Right of Way Project Management
aclose@azdot.gov





RECEIVED VICINITY MAP

NOT TO SCALE 

NOV 30 2007

COMMUNITY DEVELOPMENT

NOV 30 2007

WRITTEN NARRATIVECOMMUNITY
DEVELOPMENT**A. Application Request.**

The Arizona Charter Academy requests a revised master site plan, which will show their new entire campus together with some new building projects. The number of students will increase with the phase 1 tenant improvement in the North Building which will include additional classrooms.

B. Location, description, and relationship to surrounding properties.

The Arizona Charter Academy is located within a portion of Section 2, Township 3 North, Range 1 West, of Gila and Salt River Base and Meridian, Maricopa County, Arizona. The property is located on the east side of Dysart Rd, and the southwest side of Market Street. The size of the total property is 5.25 acres.

Surrounding properties include:

- South of the property is an existing Mini-storage facility with painted CMU block building wall on property line.
- North and West of the property is Market Street with commercial businesses across the street.
- East of the property is Dysart Road,

C. Historical Data.

The Arizona Charter Academy is a K through 12th grade charter school that has been located on the property since 2001. They started out in leased space in the front of the north building, which then continued to grow to include the entire front of the building at 16025 N. Dysart Rd. In 2005 they built a new classroom building south of this building of 11,956 SF. The north building was purchased by the school in 2006, and the school will present plans with this submittal to expand the school into the back half of this building. The school has also just recently acquired two separate lots adjacent to their south property line, where the school would like to build a new gymnasium building and additional paved parking.

D. Operational Aspect of Use.

The Arizona Charter Academy is a K through 12th grade charter school , has been operating on the property since 2001.

During the week the school will operate from 7:00 AM to 5:30 PM with the classes being conducted from 8:00 AM to 2:30 PM. Before and after school activities will include athletic and educational extracurricular programs. No outdoor sports facilities are proposed, so all activities will be indoors. Other evening or weekend events may include parent-teacher conferences, theatrical productions, band and chorus musical performances and other student related activities. The Community, including a church may use the School buildings on weekends and selected evenings for religious, or educational programs and youth programs when the school is not in session.

The parking calculations show the separate non-simultaneous uses. The majority of these activities will remain indoors in the gymnasium.

A future school office building will provide additional office space for the growing school staff needs.

E. Infrastructure, Circulation System, and Accessibility.

The property is located a block south of Grand Ave. on Dysart Road, which provides excellent accessibility from any part of the city. The current north and south properties both have an access driveway on Dysart Road and Market Street. The school would like to maintain these access points and only add one for the new Gymnasium building, which aligns with the street on the west side of Dysart Road. Approximately 165 parking spaces are provided to accommodate all the phase 1 and phase 2 improvements to the property. Phase 1 will be a classroom Tenant Improvement in the back half of the existing North building, plus small additions to the north and south of building, and adjacent parking areas. Phase 1 will allow for an increase in the enrollment of the school, by providing additional classrooms. Phase 2 will be a new gymnasium building with the new parking areas shown on the South half of the site Both phases should complete construction in the summer of 2008. Electrical service is supplied to the area by APS. Water, telephone and sanitary sewer are at the property.

F. Design and Features.

The Arizona Charter Academy currently has 2 existing buildings. These buildings have stucco walls with some stone accents at the entry columns. The new gymnasium building will include these design elements along with the triangular stucco popout design currently on the North Building. All buildings will be repainted to have the same colors to show the new total campus is one. The building will be designed to provide absolute safety and security for the students without compromising esthetics.

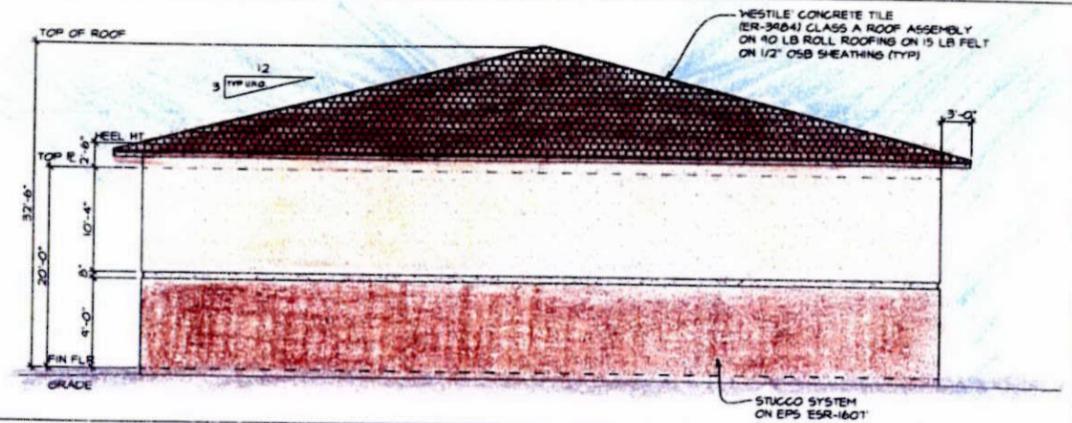
G. Phasing and Development Schedule.

Phase 1 will be a Tenant Improvement in the back half of the existing North building for additional classrooms and small additions to the north and south of building. We will also improve the North parking areas during this phase.

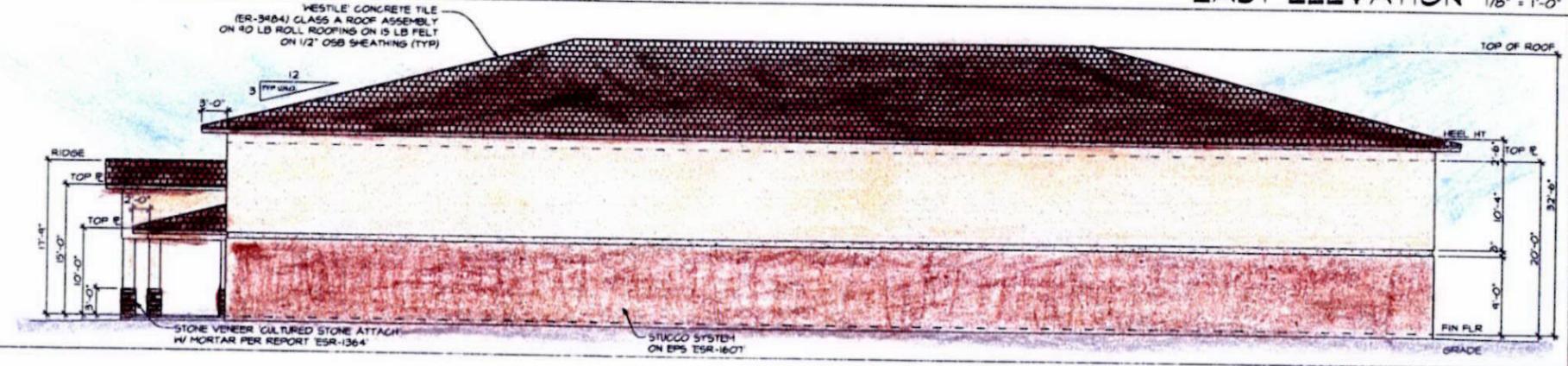
Phase 2 will be a new gymnasium building of 11,200 SF with the new parking areas shown on the South half of the site. Both phases 1 and 2 should complete construction in the summer of 2008.

Phase 3 will be an Office Building for school use located in the north corner of property. A construction schedule with a 2009 completion is desired.

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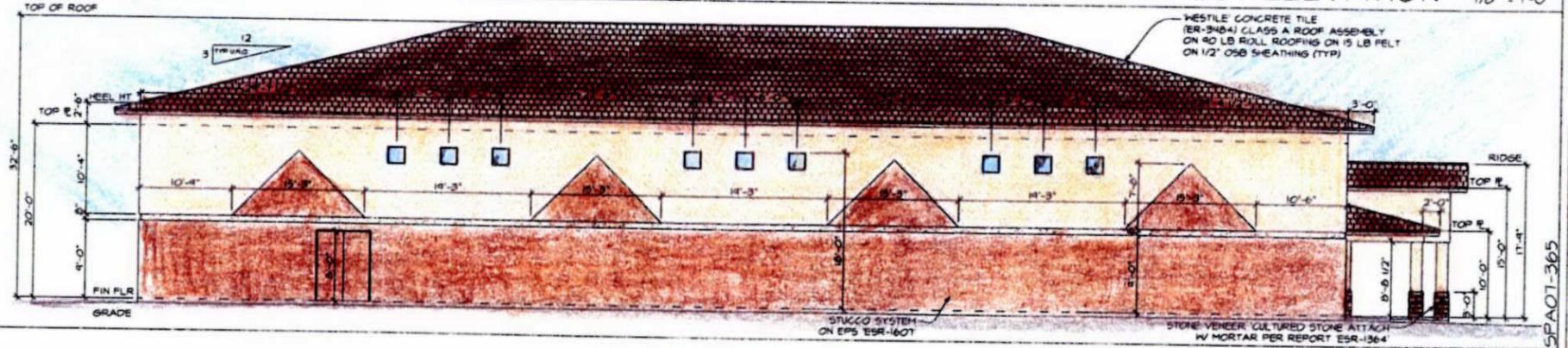
EAST ELEVATION 1/8" = 1'-0"



SOUTH ELEVATION 1/8" = 1'-0"



WEST ELEVATION 1/8" = 1'-0"



NORTH ELEVATION 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE (ALL PAINT BY SHERWIN WILLIAMS)

STUCCO (BODY COLOR)	SUMMIT FLAT TAU (81-31-0003844)
TRIM	MOCHA (AN 6067)
ROOF TILE	WESTILE STYLE: OLD WORLD SLATE BEVELED PREMIUM PRODUCT # 433450 NAME: ESTANCIA BLEND
STONE	OVENS CORNINGS - CLASSIC SERIES BUCKS COUNTY LIMESTONE (CSV-2074)

ALL COLORS AND TEXTURES SHALL MATCH EXISTING BUILDINGS ON SITE.

DATE:
11/16/07



FRANKLIN ARCHITECTS
5721 W. LEIBER PLACE
GLENDALE, ARIZONA 85310
PHONE & FAX: (623) 580-0632

**ARIZONA CHARTER ACADEMY
GYMNASIUM**
16011 NORTH DYSART ROAD SURPRISE, ARIZONA 85374

PROV 6-3
DRAWN:
JOB NO:
SHEET
A2
OF SHEETS

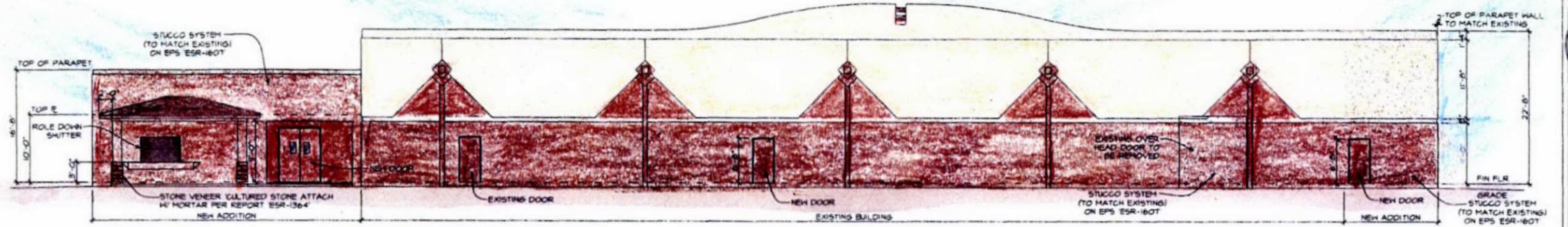
SPA07-365

RECEIVED

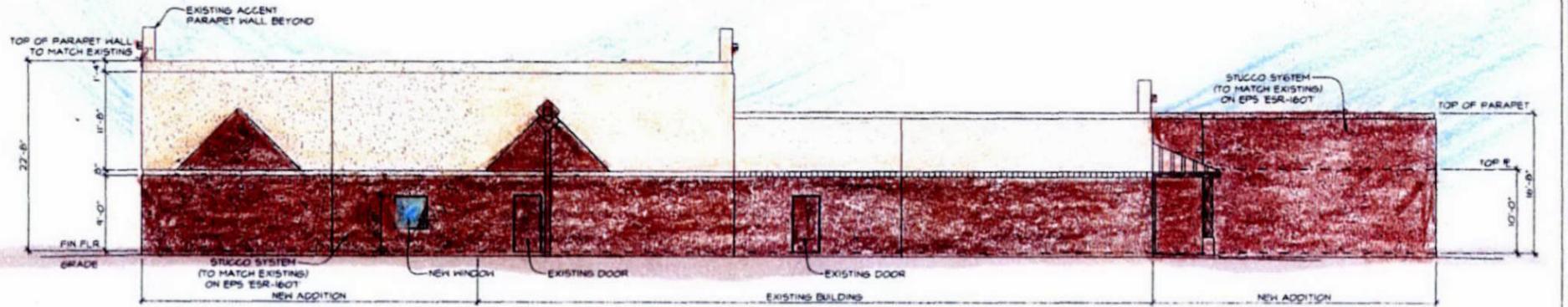
NOV 30 2007

COMMUNITY
DEVELOPMENT

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EAST ELEVATION 1/8" = 1'-0"

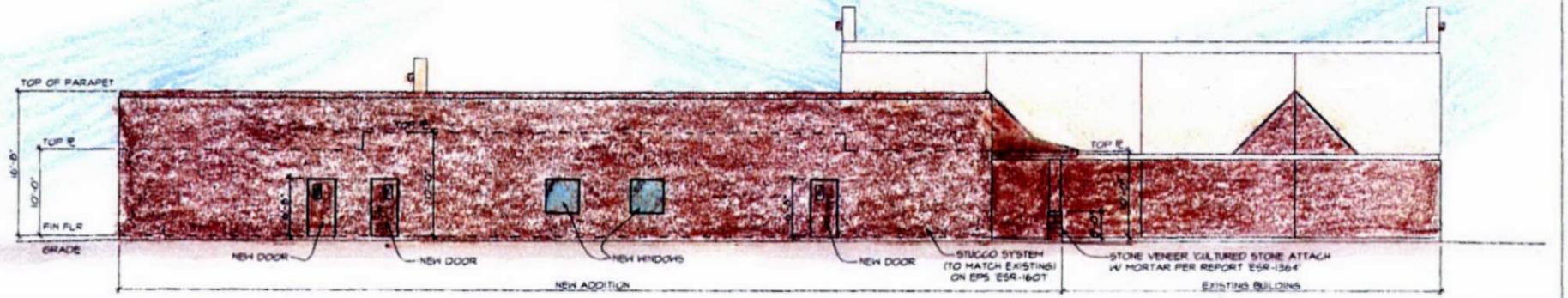


NORTH ELEVATION 1/8" = 1'-0"

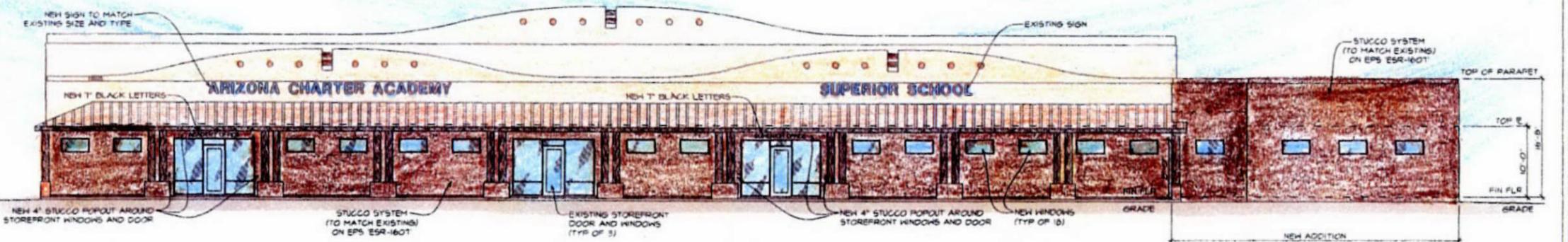
EXTERIOR FINISH SCHEDULE (ALL PAINT BY SHERWIN WILLIAMS)

STUCCO (BODY COLOR)	SUMMIT FLAT TFM (81-31-0003844)
TRIM	MOCHA (AN 6061)

ALL COLORS AND TEXTURES SHALL MATCH EXISTING BUILDINGS ON SITE



SOUTH ELEVATION 1/8" = 1'-0"



WEST ELEVATION 1/8" = 1'-0"

DATE
10/10/07

REGISTERED ARCHITECT
1988
STATE OF ARIZONA
FRANKLIN ARCHITECTS

FRANKLIN ARCHITECTS
5721 W. LEIBER PLACE
GLENDALE, ARIZONA 85310
PHONE & FAX: (623) 580-0632

OUR GOD IS THE MASTER ARCHITECT

ARIZONA CHARTER ACADEMY
16025 NORTH DYSART ROAD
SURPRISE, ARIZONA 85374

NOV 16 3

DRAWN

JOB NO

SHEET

A2

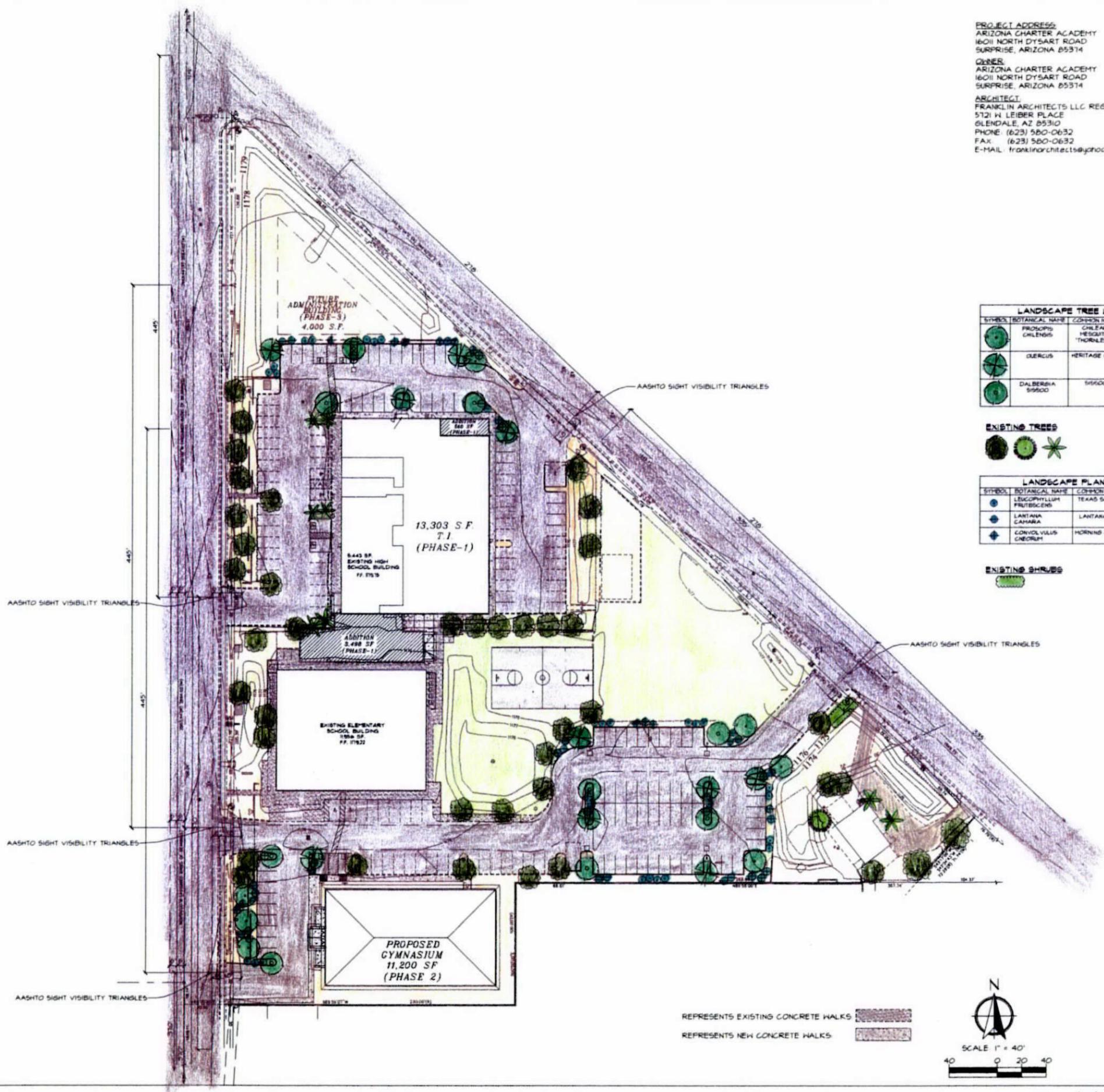
OF SHEETS

RECEIVED

NOV 30 2007

COMMUNITY
DEVELOPMENT

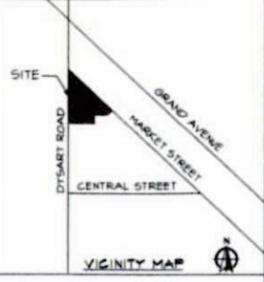
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PROJECT ADDRESS:
 ARIZONA CHARTER ACADEMY
 16011 NORTH DYSART ROAD
 SURPRISE, ARIZONA 85374

OWNER:
 ARIZONA CHARTER ACADEMY
 16011 NORTH DYSART ROAD
 SURPRISE, ARIZONA 85374

ARCHITECT:
 FRANKLIN ARCHITECTS LLC REG #10408
 5721 W. LEIBER PLACE
 GLENDALE, AZ 85310
 PHONE: (623) 580-0632
 FAX: (623) 580-0632
 E-MAIL: franklinarchitects@jg100.com



DATE
11/28/07

REGISTERED ARCHITECT
 LICENSE # 18908
 DAVID PAUL FRANKLIN
 ARIZONA, U.S.A.

LANDSCAPE TREE LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	PROSOPIA GILBERTII	CHILEAN HESQUITE 'THORNLESS'	24" DIA	1
	QUERCUS	HERITAGE OAK	36" DIA	8
	DALBERGIA SISBOOD	SISBOOD	48" DIA	4
			48" DIA	4
TOTAL				26



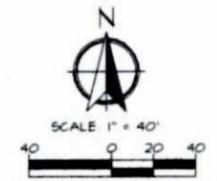
LANDSCAPE PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	LEUCOPHYLLUM FRUTICOSUM	TEXAS SAGE	5 GAL	20
	LANTANA CANARIA	LANTANA	1 GAL	20
	CONVOLVULUS GNEORUM	HORNING BLOOM	5 GAL	25
TOTAL				75



REPRESENTS EXISTING CONCRETE WALKS

REPRESENTS NEW CONCRETE WALKS



FRANKLIN ARCHITECTS
 5721 W. LEIBER PLACE
 GLENDALE, AZ 85310 (623)580-0632

THE LORD CUR GOOD THE MASTER ARCHITECT

LANDSCAPE PLAN
 ARIZONA CHARTER ACADEMY
 16011 NORTH DYSART ROAD SURPRISE, ARIZONA 85374

PROV 16-3

DRAWN

JOB NO

SHEET

OF SHEETS

SPA07-365

LANDSCAPE PLAN

RECEIVED

NOV 30 2007

COMMUNITY
DEVELOPMENT

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LEGAL DESCRIPTIONS

APN 501-19-022: The North 143 feet of Lot 72, (as measured along the West line of said Lot 72), of SURPRIZE AMENDED, according to the plat of record in the office of the County Recorder of Maricopa County, Arizona, recorded in Book 28 of Maps, page 10; EXCEPT the West 7 feet thereof.

APN 501-19-026: The West 130 feet of the South 74 feet of Lot 72, (as measured along the West line of said Lot 72), of SURPRIZE AMENDED, according to the plat of record in the office of the County Recorder of Maricopa County, Arizona, recorded in Book 28 of Maps, page 10; EXCEPT the West 7 feet thereof.

APN 501-19-024: The South 74 feet of Lot 72, (as measured along the West line of said Lot 72), of SURPRIZE AMENDED, according to the plat of record in the office of the County Recorder of Maricopa County, Arizona, recorded in Book 28 of Maps, page 10; EXCEPT the West 130 feet thereof.

APN 501-19-023A: The West 303.81 feet of Lot 71, (as measured along the South line thereof) of SURPRIZE AMENDED, according to the plat of record in the office of the County Recorder of Maricopa County, Arizona, recorded in Book 28 of Maps, page 10; EXCEPT the West 7 feet thereof; and EXCEPT that portion of said Lot 71 described as follows: BEGINNING at the Northeast corner of said Lot 71; thence South 50 feet; thence West 75 feet; thence North 50 feet; thence East to the POINT OF BEGINNING.

APN 501-19-023B: That part of Lot 71, of SURPRIZE AMENDED, according to the plat of record in the office of the County Recorder of Maricopa County, Arizona, recorded in Book 28 of Maps, page 10, described as follows: BEGINNING at the Northeast corner of said Lot 71; thence South 50 feet; thence West 75 feet; thence North 50 feet; thence East to the POINT OF BEGINNING.

APN 501-19-022A: Lot 70, SURPRIZE AMENDED, according to Book 28 of Maps, page 10, records of Maricopa County, Arizona; EXCEPT that portion lying East of a line that is parallel to and 303.81 feet Easterly from the West boundary line of Lot 70 and lying North of a line parallel to and distant 100 feet Northerly from the South boundary line of said Lot 70; and EXCEPT the West 7 feet thereof.

APN 501-19-023A: That portion of Lot 70, SURPRIZE AMENDED, according to the plat of record in the office of the County Recorder of Maricopa County, Arizona, recorded in Book 28 of Maps, page 10, lying East of a line parallel to and distant 303.81 feet Easterly from the West boundary line of Lot 70 and lying North of a line parallel to and distant 100 feet Northerly from the South boundary line of said Lot 70; and EXCEPT that part of Lot 70, described as follows: BEGINNING at the Northwest corner of said Lot 70; thence East along the North line of said Lot 70 a distance of 453.81 feet to the Northeast corner of said Lot 70; thence South 46° 42' 54" East, along the East line of said Lot 70 a distance of 71.20 feet to the TRUE POINT OF BEGINNING; thence continuing South 46° 42' 54" East, along said East line a distance of 76.76 feet; thence West a distance of 105.44 feet; thence North 43° 17' 06" East, a distance of 72.24 feet to the TRUE POINT OF BEGINNING.

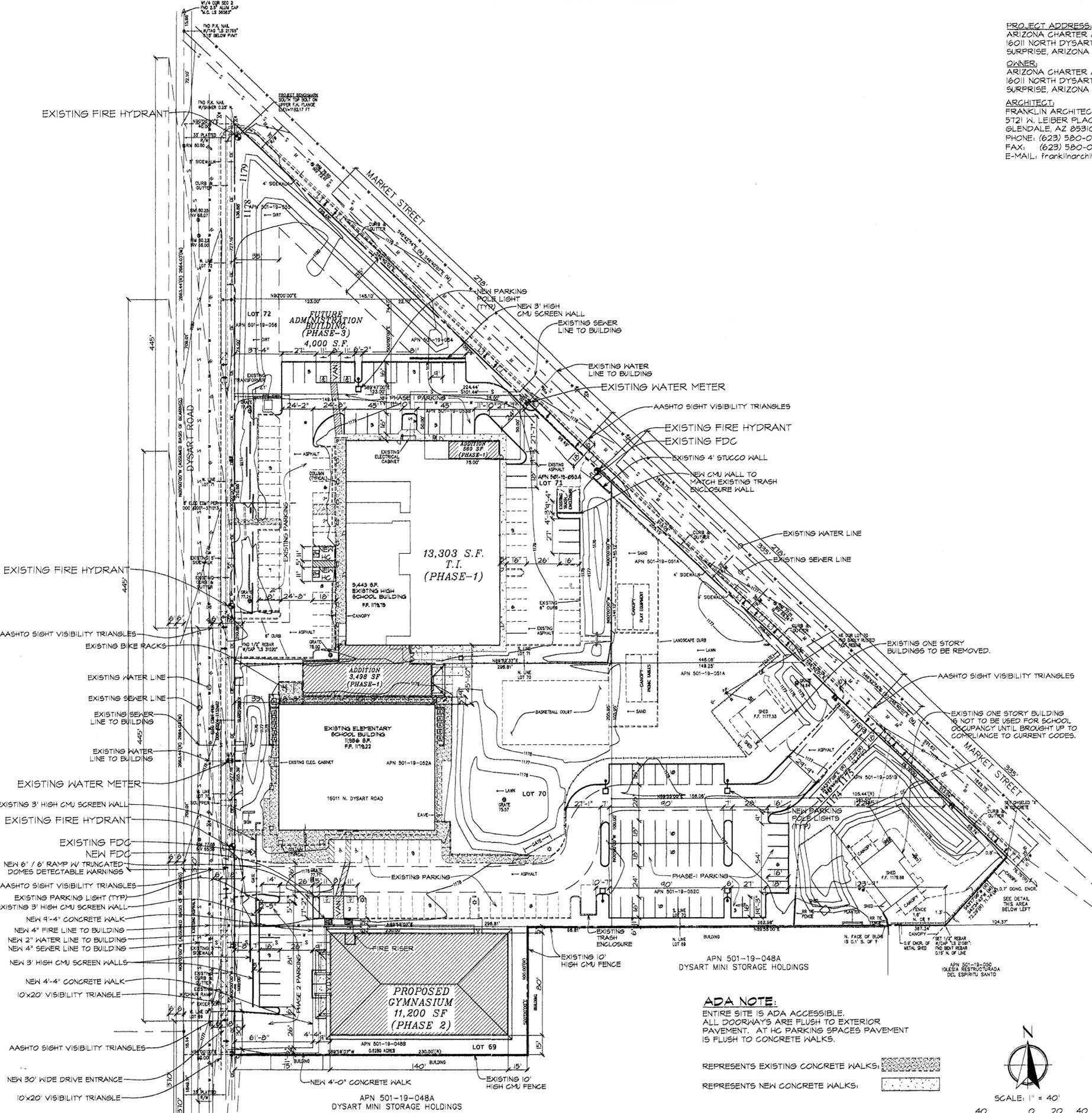
APN 501-19-023B: A tract of land in Lot 70, of SURPRIZE AMENDED, a subdivision of Section 2, Township 3 North, Range 1 West, of the Gila and Salt River and Base and Meridian as of record in Book 28, page 10 of the Maricopa county records Book of Maps, Arizona, more particularly, described as follows: BEGINNING at the Northwest corner of said Lot 70; thence East along the North line of said Lot 70 a distance of 453.81 feet to the Northeast corner of said Lot 70; thence South 46° 42' 54" East, along the East line of said Lot 70 a distance of 71.20 feet to the TRUE POINT OF BEGINNING; thence continuing South 46° 42' 54" East, along said East line a distance of 76.76 feet; thence West a distance of 105.44 feet; thence North 43° 17' 06" East, a distance of 72.24 feet to the TRUE POINT OF BEGINNING.

APN 501-19-022C: All that portion of Lot 70, of subdivision described as, SURPRIZE AMENDED, in Section 2, Township 3 North, Range 1 West lying East of a line that is parallel to and a distance of 303.81 feet Easterly from the West line of said Lot 70, except therefrom that portion lying East of a line that is parallel to and a distance of 303.81 feet Easterly from the West line and lying North of a line parallel to and a distance of 100 feet Northerly from the South line of said Lot 70 and further, excepting rights of way, canal, laterals and ditches; also EXCEPTING therefrom the following described property: BEGINNING at the Southwest corner of said Lot 70; thence East along the South line of said Lot 70 a distance of 566.81 feet to the TRUE POINT OF BEGINNING; thence continuing East along said South line a distance of 109.44 feet to a point on the East line of said Lot 70; thence North 46° 42' 54" West, along said East line a distance of 76.76 feet; thence South 43° 17' 06" West, a distance of 72.24 feet to the TRUE POINT OF BEGINNING.

APN 501-19-048B: The West 237 feet of the North 100 feet of Lot 69, SURPRIZE AMENDED, according to Book 28 of Maps, page 10, records of Maricopa County, Arizona; EXCEPT the West 7 feet thereof for roadway.

AREAS

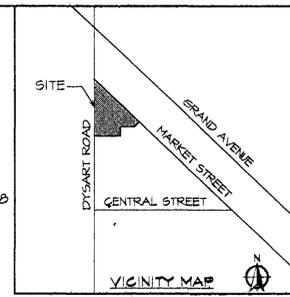
501-19-048B	0.5280 ACRES
501-19-051A	0.6719 ACRES
501-19-051B	0.0638 ACRES
501-19-052A	1.4014 ACRES
501-19-052C	0.6586 ACRES
501-19-053A	1.2883 ACRES
501-19-053B	0.0261 ACRES
501-19-054	0.1081 ACRES
501-19-055	0.2280 ACRES
501-19-056	0.2018 ACRES
TOTAL AREA	5.2473 ACRES



PROJECT ADDRESS:
ARIZONA CHARTER ACADEMY
16011 NORTH DYSART ROAD
SURPRISE, ARIZONA 85314

OWNER:
ARIZONA CHARTER ACADEMY
16011 NORTH DYSART ROAD
SURPRISE, ARIZONA 85314

ARCHITECT:
FRANKLIN ARCHITECTS LLC REG. #18908
5721 W. LEIBER PLACE
GLENDALE, AZ 85310
PHONE: (623) 580-0632
FAX: (623) 580-0632
E-MAIL: franklinarchitects@yahoo.com



DATE:
11/28/07

ELEMENTARY SCHOOL BUILDING
CONSTRUCTION TYPE: III-B (EXISTING)

OCCUPANCY TYPE:
CLASSROOMS: E (9,844 S.F.)
OFFICE & MISC.: B (2,112 S.F.)

BUILDING AREA: 11,956 S.F.

ALLOWABLE AREA CALCULATION:
300% INCREASE FOR FIRE SPRINKLERS.
14,500 SF ALLOWED PER TABLE 503 FOR E OCC
TYPE III-B AREA = 14,500 + (14,500 x 3.00) = 58,000 SF
OF FIRST FLOOR AREA ALLOWED

BUILDING IS FIRE SPRINKLERED.

OCCUPANT LOAD CALCULATION:
CLASSROOMS: E 7,100 SF / 20 = 355
OFFICE & MISC.: B 1,400 SF / 100 = 14
TOTAL: 369

BUILDING HEIGHT: 20'-6"

JR. HIGH & HIGH SCHOOL BUILDING
CONSTRUCTION TYPE: III-B (1/2 EXISTING + NEW TI)

OCCUPANCY TYPE:
CLASSROOMS: E (19,484 S.F.)
OFFICE & MISC.: B (3,320 S.F.)

BUILDING AREA: 22,804 S.F.

ALLOWABLE AREA CALCULATION:
300% INCREASE FOR FIRE SPRINKLERS.
14,500 SF ALLOWED PER TABLE 503 FOR E OCC
TYPE III-B AREA = 14,500 + (14,500 x 3.00) = 58,000 SF
OF FIRST FLOOR AREA ALLOWED

BUILDING SHALL BE FIRE SPRINKLERED.

OCCUPANT LOAD CALCULATION:
CLASSROOMS: E 12,580 SF / 20 = 629
OFFICE & MISC.: B 2,741 SF / 100 = 28
TOTAL: 657

BUILDING HEIGHT: 26'-8"

GYMNASIUM BUILDING (NEW BUILDING)
CONSTRUCTION TYPE: III-B

OCCUPANCY TYPE:
ASSEMBLY FOR VIEWING INDOOR SPORTING
EVENTS WITH SPECTATOR SEATING: A-4

BUILDING AREA: 11,200 S.F.

ALLOWABLE AREA CALCULATION:
300% INCREASE FOR FIRE SPRINKLERS.
6,000 SF ALLOWED PER TABLE 503 FOR A-4 OCC
TYPE V-B AREA = 6,000 + (6,000 x 3.00) = 24,000 SF
OF FIRST FLOOR AREA ALLOWED

BUILDING SHALL BE FIRE SPRINKLERED.

OCCUPANT LOAD CALCULATION:
ASSEMBLY: A-4 202 FIXED SEATS

BUILDING HEIGHT: 32'-0"

PROJECT DESCRIPTION:
THIS IS THE NEW MASTER PLAN FOR THE SCHOOL, WHICH NOW OWNS ALL PARCELS, AS SHOWN.

PHASE 1: WILL BE A CLASSROOM T.I. IN EXISTING WAREHOUSE BUILDING. AND ADJACENT PARKING AREAS.

PHASE 2: WILL BE A NEW GYMNASIUM BUILDING W/ THE NEW PARKING AREAS ON THE SOUTH HALF OF SITE.

ALL CONSTRUCTION FOR BOTH PHASES SHALL BE COMPLETED IN THE SUMMER OF 2008.

PHASE 3: WILL BE AN OFFICE BUILDING FOR SCHOOL USE LOCATED IN THE NORTH CORNER OF THE PROPERTY. NO CONSTRUCTION SCHEDULE WITH A 2004 COMPLETION IS DESIRED.

BUILDING CODES:
2006 IBC, 2006 IMC
2006 IEC, 2006 IPC
2006 IFG

NOV 30 2007
COMMUNITY DEVELOPMENT

SITE AREA:
GROSS LOT AREA: 280,794 SF (6.45 ACRES)
NET LOT AREA: 228,717 SF (5.25 ACRES)

LOT COVERAGE:
46,462 SF / 232,215 SF = 20%

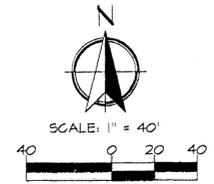
ZONING: C-2 (COMMERCIAL)

SCHOOL PARKING CALCULATION:
ELEMENTARY / JR. HIGH (15 / ROOM) = 18 x 15 = 27
HIGH SCHOOL (15 / ROOM) 7 x 15: 11
+ (1/3 STUDENT) 300 / 5: 60
+ (1/3 NON TEACHING EMPLOYEE): 6
TOTAL REQUIRED PARKING: 115

PARKING PROVIDED:
166 SPACES (INCLUDING 10 ACCESSIBLE SPACE)

GYM ASSEMBLY (1/4 FIXED SEATS) = 202 / 4: 51 (FOR CHURCH OR COMMUNITY EVENTS)

ADA NOTE:
ENTIRE SITE IS ADA ACCESSIBLE.
ALL DOORWAYS ARE FLUSH TO EXTERIOR PAVEMENT. AT HC PARKING SPACES PAVEMENT IS FLUSH TO CONCRETE WALKS.



FRANKLIN ARCHITECTS
5721 W. LEIBER PLACE
GLENDALE, AZ 85310 (623)580-0632

THE LORD
OUR GOD IS
THE MASTER
ARCHITECT

MASTER SITE PLAN
ARIZONA CHARTER ACADEMY
16011 NORTH DYSART ROAD SURPRISE, ARIZONA 85314

PROV. 1613

DRAWN:

JOB NO. 1

SHEET

OF SHEETS

MASTER SITE PLAN

REPORT TO THE PLANNING AND ZONING COMMISSION

CASE NUMBER: CUP07-051 **McDonalds**
STIPULATIONS: a through f
PREPARED BY: Lance Ferrell, Planner @ 623.222.3135
Application Date: **February 02, 2007**
Planning & Zoning Hearing Date: **December 18, 2007**

APPLICANT: Dan Filuk
JMS & Associates, L.L.C.
110 E Missouri #785
Phoenix, AZ 85014
Phone: 602.234.1868

PROPERTY OWNER: McDonalds Corporation
2375 E Camelback Road
Phoenix, AZ 853016
602.387.5306

REQUEST: Approval of a Conditional Use Permit Application for McDonalds.

SITE LOCATION: The subject site is located on Bell Road between Sarival Avenue and Loop 303..

SITE SIZE: The subject site is 1.19 gross acres.

<u>RECOMMENDATION:</u>	Staff recommends that this request, a Conditional Use Permit Application for McDonalds (CUP07-051) located on Bell Road between Sarival Avenue and Loop 303, be approved subject to stipulations a through f .
-------------------------------	--

PROJECT ANALYSIS:

This is an application for a Conditional Use Permit located on Bell Road between Sarival Avenue and Loop 303. The proposed McDonalds will be 5,000s.f. restaurant with a play area for children. All convenience food restaurants have to go through a Conditional Use Permit according to the City of Surprise's Municipal Code section 125-188. McDonalds is a part of Surprise Village Marketplace site plan that was approved on April 18, 2006.

Staff has concluded based on the findings that there is no adverse effect to the health, safety and general welfare of occupants of surrounding land, existing and anticipated traffic conditions including parking facilities on adjacent streets and land, and the effect of the proposed use on the comprehensive development guide, subject to the stipulations.

EXISTING AND SURROUNDING ZONING:

ON-SITE:	PAD-Surprise Village Marketplace
NORTH:	PAD-Sun City Grand
EAST:	PAD-Surprise Village Marketplace
SOUTH:	PAD-Northwest Ranch
WEST:	PAD-Surprise Farms

EXISTING AND SURROUNDING LAND USE:

ON-SITE:	Commercial
NORTH:	Residential
EAST:	Commercial
SOUTH:	Residential
WEST:	Commercial

DEPARTMENTAL REVIEW:

All departments involved in the subject review of the site plan are recommending the project for approval subject to all stipulations.

EXISTING UTILITIES AND SERVICES STATUS:

WATER	Arizona American Water Co.
SEWER	City of Surprise
FIRE PROTECTION	The closest fire station is located at 15440 N Cotton Lane at 1.3 miles
POLICE PROTECTION:	The closest police station is located at 14250 W. Statler Plaza at 2.8 miles

EXISTING SITE CONDITIONS

Grading is currently underway for other projects that have been approved on the site.

INFRASTRUCTURE

All infrastructure will be developed in accordance with the Surprise Municipal Code.

Standard Stipulations:

- a) Development shall be in accordance with the Site Plans date-stamped November 07, 2007, unless otherwise stated herein;
- b) Prior to delivery of any combustible material to the site, fire department access and fire protection systems shall be completely operational in accordance with the approved plans by the Fire Chief and the City Engineer;
- c) Major changes to this Conditional Use Permit with regards to use and intensity must be processed as a revised application with approval by the Planning and Zoning Commission. Minor changes may be administratively approved by the City Manager and the Planning and Community Development Director;
- d) The applicant shall include all approved stipulations related to the project on the title sheet of construction plans prior to plan check submittal;
- e) Applicant or property owner must provide the City with approved earth moving permit by Maricopa County Environmental Services Department prior to release of any permits;
- f) All roof mounted and ground mounted mechanical equipment shall be screened from public view and will be subject to the approval of the Planning and Community Development Director;



Arizona Department of Transportation
Intermodal Transportation Division

206 South Seventeenth Avenue Phoenix, Arizona 85007-3213

Janet Napolitano
Governor

Victor M. Mendez
Director

Sam Eilers
State Engineer

March 1, 2007

City of Surprise Planning Department
12425 West Bell Road Suite D100
Surprise, Arizona 85374
C/o Mr. David Neal

RE: McDonald's on Bell Road/ CUP07-0051/ 303 Loop. & Bell Road

Dear Mr. Neal:

Thank you for your notification regarding the Conditional Use Permit for the subject referenced above. After a complete review, we have concurred that the proposed Permit at this time will have no impact on our highway facilities in this area.

ADOT does reserve the right to review and comment any further development plans, changes and or additions for this site, as to any impact they may have on the State Highway System.

Should you have any questions, you may contact me at 602-712-8755 or by fax at 602-712-3051, or in writing at 205 S. 17th Avenue, Right of Way Project Management Section, Suite 349 MD 612E, Phoenix, Arizona 85007. Thank you in advance for your cooperation.

Sincerely,

LOUIS J. MALLOQUE,
Right of Way Agent III
lmalloque@azdot.gov





DEPARTMENT OF THE AIR FORCE
AIR EDUCATION AND TRAINING COMMAND

13 March 2007

Mr. James R. Mitchell
Director, Community Initiatives Team
56th Fighter Wing
14185 West Falcon Street
Luke AFB AZ 85309-1629

Ms. Cindy Coen
City of Surprise Planning Department
12425 West Bell Road
Surprise AZ 85374

Re: Case #CUP07-051 McDonalds

Dear Ms. Coen

Thank you for the opportunity to comment on the Conditional Use Permit Application for the McDonalds restaurant at the Surprise Village Marketplace. The site is located on 1.19 of the 30.55 acre commercial center at the southeast corner of Loop 303 and Bell Road. The project will consist of a 5,000 square foot restaurant. The site is approximately 3 1/2 miles outside the 1988 JLUS 65 Ldn, "high noise or accident potential zone" as defined by A.R.S. § 28-8461 and is within the "territory in the vicinity of a military airport" also defined by A.R.S. § 28-8461.

This development, as described, will not negatively impact the flying operations at Luke AFB. Since it will be located within the "territory in the vicinity of a military airport," it will be subjected to approximately 165 over flights a day, with some as low as 1,500 feet above ground level. We recommend you review the sound attenuation requirements found in A.R.S. § 28-8482. In addition, a strong notification program on the part of the applicant is essential to inform the tenant about Luke AFB operations. We also recommend a review of the Luke AFB web site at <http://www.luke.af.mil>, Community Interests and Community Initiatives links, for further information.

If there are any questions, please contact my Community Planner, Mr. Bob Dubsky, at (623) 856-6195.

Sincerely

A handwritten signature in black ink, appearing to read "JRM", written over a horizontal line.

JAMES R. MITCHELL

cc:

Colonel David L. Orr, Vice Commander, 56th Fighter Wing



Bell Road

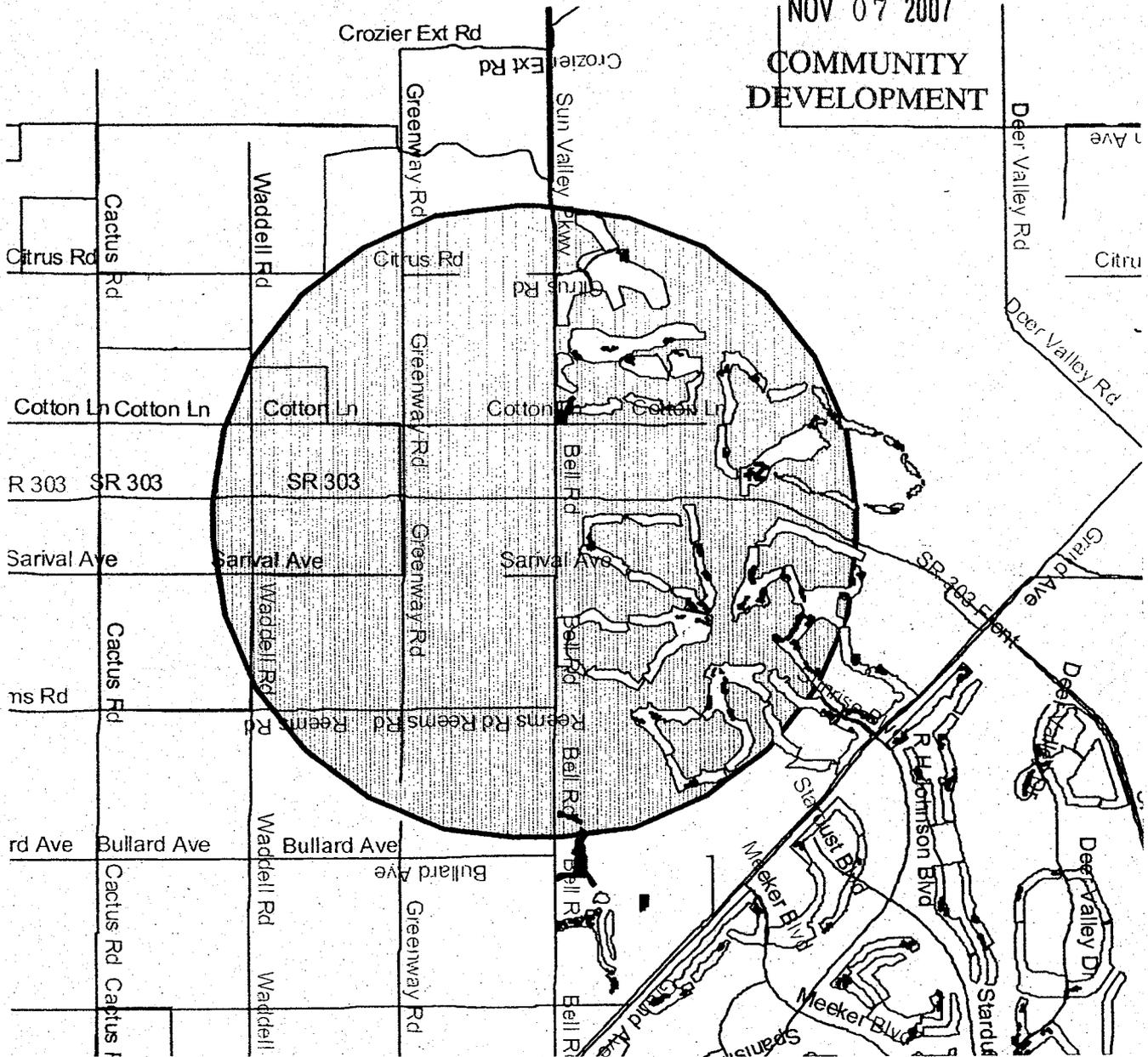
Loop 303

SITE

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COMMUNITY DEVELOPMENT



3 MILE RADIUS MAP

McDonald's
SURPRISE MARKETPLACE, LOOP 303 & BELL
SURPRISE, ARIZONA



1110 E. Missouri Ave., Ste. 785
Phoenix, AZ 85014

o 602-234-1868
f 602-234-1413

KDF/JMS Architects, LLC

John Smates Architects, LLC

N.T.S.

DRAWN DDF
CHECKED DDF
DATE 11/06/07
JOB No. 06051
MAP



KDF/JMS Architects, L.L.C.

■ John M. Smales Architects, L.L.C.

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COMMUNITY
DEVELOPMENT

New McDonald's at Surprise Village Marketplace
Bell Road & Loop 303 Freeway
NARRATIVE

McDonald's has leased a 1.19-acre site pad for a new restaurant facility from Surprise Village Marketplace, a new development owned by W. M. Grace Development and currently in design. The 5000 square foot restaurant has a full kitchen with cold storage, indoor dining facilities. Parking is provided on-site at a rate of 5.3/1000 and a double drive-thru is being used to better address queuing of vehicles. The building architecture is based upon development center design guidelines as well as the City of Surprise's. Preliminary building elevations indicating form, materials and colors have already been informally submitted to Ms. Nicole Catin-Greene for review and comment. We have incorporated a number of her suggestions in this submittal.

Phasing of the construction for this project is not anticipated. The architecture, colors and materials and the site plan are being submitted concurrently for review and approval by the development center.

Commercial permits required for Jurisdictions having Authority:

- Maricopa County Health Department
- City of Surprise Site Engineering
- City of Surprise Off-site Engineering
- City of Surprise Building Department
- City of Surprise Landscape
- City of Surprise Signage



COLOR / MATERIALS FINISH:

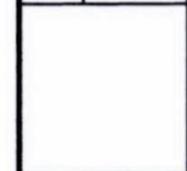
- 1 STEGGO MAIN BODY SHIPPLY BEIGE - SH 6085
- 2 STEGGO ACCENT BODY SHEND BROWN - SH 6046
- 3 BRICK ACCENT BODY SHEND BROWN - SH 6046
- 4 STEGGO ACCENT BODY/FRIM WENACK ROSE - SH 2804
- 5 STEGGO ACCENT BODY REDDENED EARTH - SH 6059
- 6 STEGGO ACCENT BODY TRUSTY TAN - SH 6081
- 7 BRICK BASE BODY TRUSTY TAN - SH 6081
- 8 METAL CANOPY/METAL TRIM LIGHT FIXTURE

REVISIONS		NO	DATE	ITEMS	BY

MCDONALD'S PLAZA, MCDONALD'S CORPORATION, OAK BROOK, ILLINOIS 60521

1110 E. Mineral Ave., Ste. 715
Phoenix, AZ 85014

© 1994 MCDONALD'S CORPORATION



SURPRISE MARKET PLACE- 303 & BELL ROAD

McDonald's

THE ENTIRE BUILDING DESIGN AND THE MCDONALD'S ROOF DESIGN SHOWN IN THESE DRAWINGS ARE SERVICE MARKS OF MCDONALD'S CORPORATION, REGISTERED IN THE U.S. PATENT AND TRADEMARK OFFICE.

4587 W/PLAY PLACE

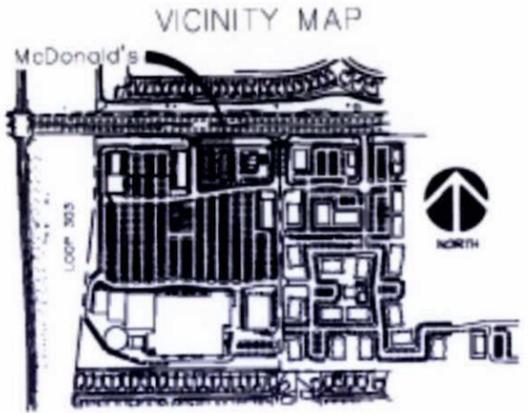
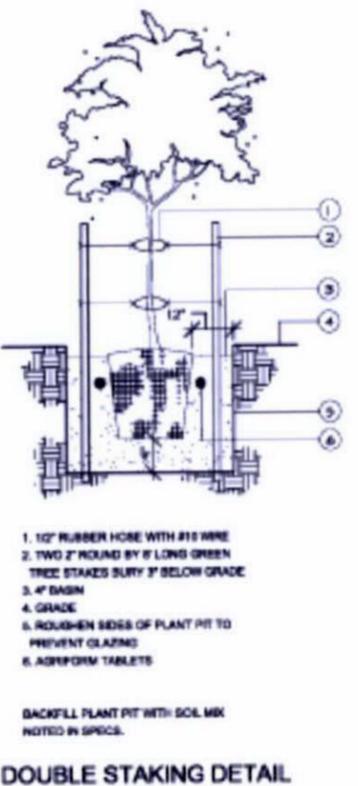
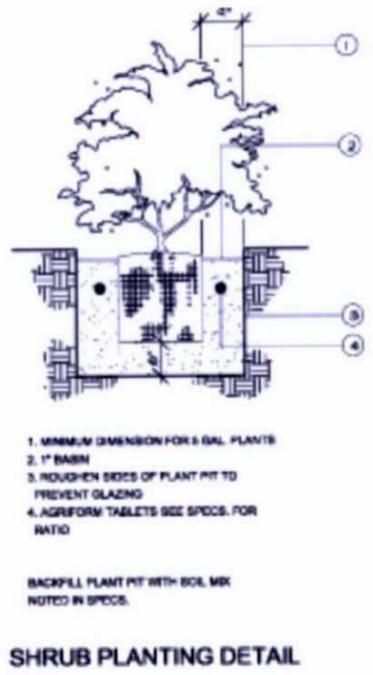
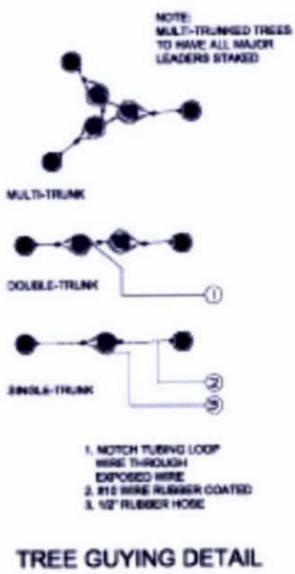
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COMMUNITY
DEVELOPMENT



LANDSCAPE LEGEND

Symbol	Plant Name	Quantity
	CERCIDIA HYBRID DRINKY MURRAY PALM VARIETY 40" BOX (NOTED ON PLAN)	5
	PROSCYPIA CHLORIS CHILIAN MESQUITE (THORNLESS) 24" BOX	6
	NERIUM OLEANDER PETITE PINK PETITE OLEANDER 5 GALLON	3
	LEUCOPHYLLUM FRUTESCENS GREEN CLOUD 5 GALLON	24
	LEUCOPHYLLUM SPY TWO BRANCH SAHM 5 GALLON	24
	CALLISTROPHIS CALIFORNICA RED SAJA FARTY DUSTER 5 GALLON	30
	GESALPINA MEXICANA MEXICAN BIRD OF PARADISE 5 GALLON	2
	LANTANA MONTEVIDEOSIS GOLD MOUND 5 GALLON	61
	RUELLIA BRITANNICA VARIETY TRAILING RUELLIA 5 GALLON	24
	3/4" SCREENED MASON GOLD DECOMPOSED GRANITE 2" DEPTH IN ALL LANDSCAPE AREAS	



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 NOV 07 2007
 COMMUNITY DEVELOPMENT

T.J. McQUEEN & ASSOCIATES, INC.
 LANDSCAPE ARCHITECTURE
 URBAN DESIGN
 SITE PLANNING
 1121 East Missouri Ave., Suite 218
 Phoenix, Arizona 85014
 (602) 265-0320

TJM & ASSOCIATES EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT & OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN PERMISSION & CONSENT OF TJM & ASSOCIATES.

NO.	DATE	REVISIONS	BY

MCDONALD'S CORPORATION
 MCDONALD'S PLAZA
 OAK BROOK, ILLINOIS 60521

JOHN M. McQUEEN & ASSOCIATES, L.L.C.
 1121 E. MISSOURI AVENUE, SUITE 218
 PHOENIX, ARIZONA 85014
 (602) 234-1989
 FAX: (602) 234-1413

JMS

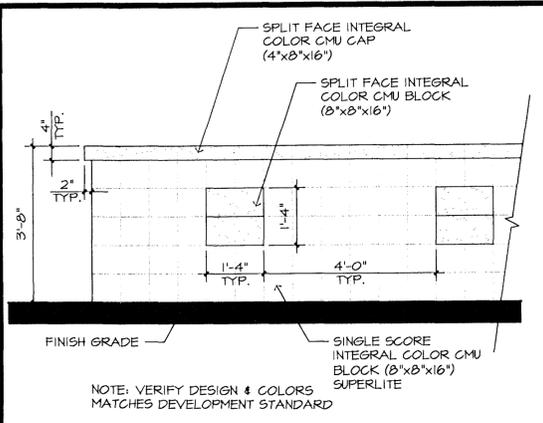
2788 TIMOTHY L. McQUEEN

MCDONALD'S

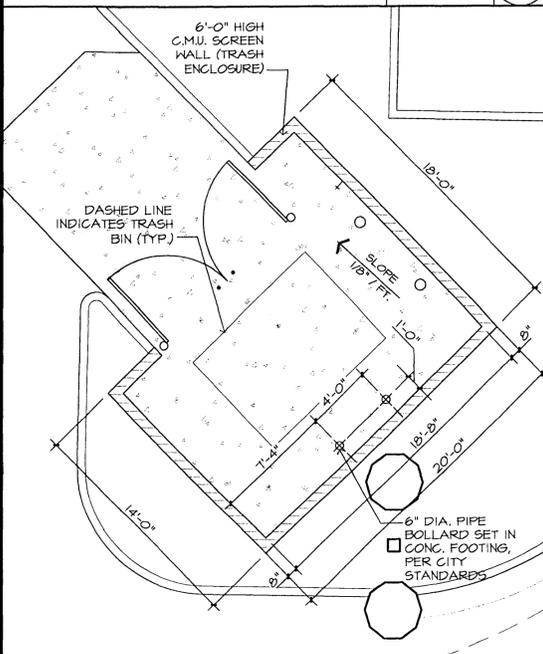
SUPRISE MARKET PLACE- 303 & BELL ROAD

LANDSCAPE PLAN

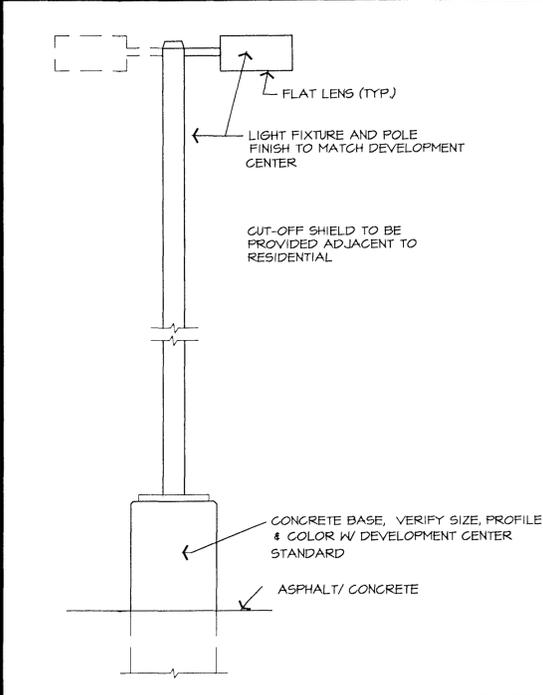
L-1



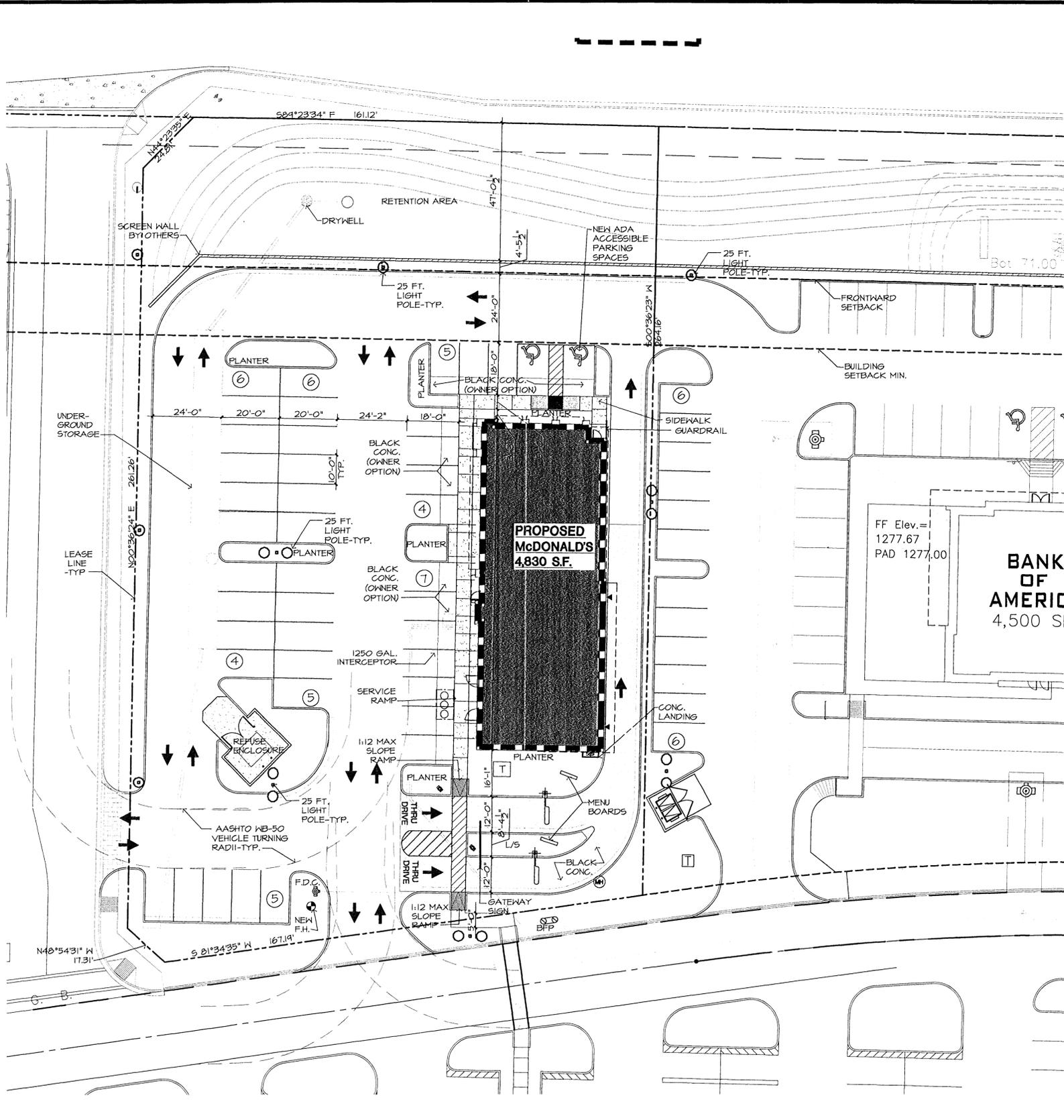
TYP. SCREEN WALL SCALE 1/2" = 1'-0" 1



REFUSE PLAN SCALE 3/16" = 1'-0" 2



LIGHT POLE SCALE 1/2" = 1'-0" 3



SITE PLAN 1" = 20' NORTH

1. ALL PROPOSED DEVELOPMENT PHASES DEPICTED ON THIS SITE PLAN SHALL BE PROVIDED A MINIMUM OF TWO (2) SEPARATE POINTS OF UNOBSTRUCTED ACCESS WITH A MINIMUM WIDTH OF TWENTY FEET, INSTALLED AND MAINTAINED PURSUANT TO THE REQUIREMENTS OF THE CITY OF SURPRISE
2. ALL ACCESS ROADS AND TURNING RADIUS' SHALL COMPLY WITH AASHTO WB-50.
3. LIGHT POLE AND DESIGN SPECIFICATIONS SHALL MATCH DEVELOPMENT CENTER
4. FIRE LANES SHALL BE IDENTIFIED PER THE SURPRISE FIRE DEPARTMENT ACCESS DETAILS.

SHEET INDEX	
SP1	SITE PLAN/ PROJECT DATA
1 OF 1	PRELIMINARY GRADING AND DRAINAGE PLAN
SP2	FLOOR PLAN
SP3	ELEVATIONS
LI	LANDSCAPE PLAN/DETAILS

PROJECT DATA	
ADDRESS:	MCDONALD'S RESTAURANT SURPRISE VILLAGE MARKETPLACE LOT 6 S.E. CORNER OF LOOP 303 & BELL ROAD SURPRISE, ARIZONA 85314
OWNER:	M.M. GRACE DEVELOPMENT MANAGEMENT CO. 1515 NORTH 16TH STREET SUITE # PHOENIX, ARIZONA 85020
LEASEE:	MCDONALD'S CORPORATION 2315 E GAMBELBACK ROAD 5TH FLOOR PHOENIX, AZ 85016 ATIN-BILL BETZOLT (602)334-4830 FAX: (480) 941-5138
ARCHITECT:	KDF/JMS ARCHITECTS, LLC 1110 E MISSOURI AVENUE, SUITE 105 PHOENIX, ARIZONA 85014
GROSS SITE AREA: (CENTER)	30.55± ACRES
LOT 1 AREA: (RETAIL/RESTAURANT)	16.54± ACRES
P.A.D.	
PARKING:	S.F. REQ. PARKING PROVIDED
RETAIL	113,000 1/250 S.F. = 452
RESTAURANT	15,000 1/60 S.F. = 250 665 SPACES
*EXCLUDING KITCHEN AREA(± 25% OF RESTAURANT S.F.)	
MCDONALD'S (LOT6)	
GROSS SITE AREA:	44,100 S.F. (1.19 ACRES)
BUILDING AREA:	5,000 S.F.
SITE COVERAGE:	5000 / 44,101 = 10%
OCCUPANCY:	A-2 RESTAURANT W/ DRIVE THRU
CONSTRUCTION TYPE:	V-B SPRINKLERED
PARKING REQUIRED:	158X 5000 S.F. @ 1 P.S./60 S.F. = 625 = 63 P.S.
PARKING PROVIDED:	34 ON SITE 144 SHARED 83 TOTAL INCLUDES 2 P.S. PROVIDED (1 P.S. VAN ACCESSIBLE)
BUILDING CODES:	2003 INTERNATIONAL BUILDING CODE 1994 UNIFORM PLUMBING CODE 2003 INTERNATIONAL MECHANICAL CODE 2003 INTERNATIONAL FIRE CODE 2003 INTERNATIONAL ELECTRICAL CODE AMERICANS WITH DISABILITIES ACT (1990) ANSI A117.1 HANDICAP ACCESS CODE

LEGAL DESCRIPTION

A PORTION OF LAND SITUATED IN THE NORTHWEST QUARTER (NW1/4) OF THE NORTHEAST QUARTER (NE) OF SAID SECTION 1, TOWNSHIP 3 NORTH, RANGE 2 WEST, OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

COMMENCING AT A 3" CITY OF SURPRISE BRASS CAP IN HANDHOLE AT THE NORTHEAST CORNER (NE) OF SAID SECTION 1, FROM WHICH A 3" ARIZONA DEPARTMENT OF TRANSPORTATION HIGHWAY DIVISION BRASS CAP FLUSH AT THE NORTH QUARTER CORNER (N1/4) OF SAID SECTION BEARS NORTH 84°23'36" WEST, A DISTANCE OF 2632.53 FEET;

THENCE NORTH 84°23'36" WEST, ALONG THE NORTH LINE OF THE NORTHEAST QUARTER (NE) OF SAID SECTION 1, A DISTANCE OF 1504.47 FEET;

THENCE DEPARTING SAID NORTH LINE, SOUTH 00°36'24" WEST, A DISTANCE 66.00 FEET, SAID POINT ALSO BEING THE POINT OF BEGINNING;

THENCE SOUTH 00°36'24" WEST, A DISTANCE OF 263.32 FEET;

THENCE SOUTH 81°34'35" WEST, A DISTANCE OF 169.43 FEET;

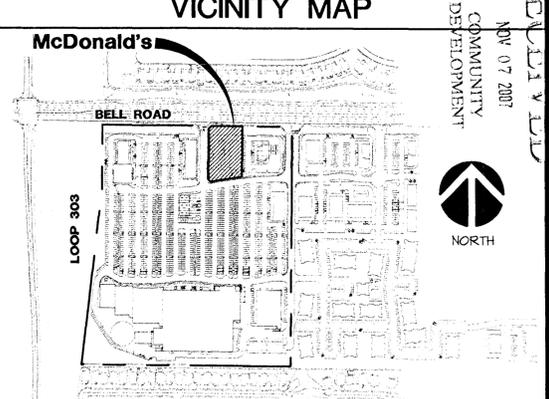
THENCE NORTH 48°35'43" WEST, A DISTANCE OF 16.33 FEET;

THENCE NORTH 00°36'24" EAST, A DISTANCE OF 263.42 FEET;

THENCE NORTH 44°23'35" EAST, A DISTANCE OF 22.02 FEET;

THENCE NORTH 84°23'36" EAST, 164.52 FEET TO THE POINT OF BEGINNING;

CONTAINS 1.19 ACRES, MORE OR LESS



REVISIONS

NO.	DATE	ITEMS	BY

NO. DATE

ISSUE DATE: 05/11/2007

DRAWN: RAK

CHECKED: RAK

BUILDING: RAK

MCDONALD'S PLAZA, MCDONALD'S CORPORATION OAK BROOK, ILLINOIS 60521

1110 E. Missouri Ave., Ste. 785 Phoenix, AZ 85014

602.234.1883

942.234.1883

info@kdf-jms.com

KDF/JMS ARCHITECTS, L.L.C.

25637 DANIEL D. FILUK

REGISTERED ARCHITECT

ARIZONA, U.S.A.

McDonald's

SURPRISE MARKET PLACE- 303 & BELL ROAD

4587 W/PLAY PLACE

SP1

ITEM 8

REPORT TO THE PLANNING AND ZONING COMMISSION

CASE NUMBER: PAD07-208 (Cactus Commerce Center)
STIPULATIONS: a through h
PREPARED BY: Dennis Dorch, Senior Planner
623-222-3134

Application Date: May 24, 2007
Planning & Zoning Commission Hearing Date: December 18, 2007
City Council Hearing Date: January 10, 2008

APPLICANT: Jeff Blilie
Beus Gilbert, PLLC
4800 N. Scottsdale Rd. Suite 6000
Scottsdale, AZ 85251
Phone: 480-429-3000
Fax: 480-429-3100

PROPERTY OWNER: Surprise/Dysart Properties, LLC
David Valentine
635 Chapman Ave.
Orange, CA 92866
Phone: 714-532-6813
FAX: 714-532-2370

REQUEST: Approval of a Planned Area Development for a 160 acre commerce/industrial park.

SITE LOCATION: The subject site is located at the northeast corner of Cactus and Litchfield Roads.

SITE SIZE: The subject site is 160 gross acres.

RECOMMENDATION: Staff recommends that this request, a Planned Area Development (PAD07-208) be **approved** subject to stipulations **a through h**.

PROJECT ANALYSIS:

This is a proposal for a Planned Area Development for a 160 acre parcel on the northeast corner of Cactus Road and Litchfield Road. The property has a general plan designation of Employment, and is currently in the unincorporated county. The applicant is processing an annexation request simultaneously with this PAD application. It is anticipated that the site can accommodate up to 2,000,000 square feet in new industrial buildings.

The property is generally flat with a gentle northwest to southeast slope. The property is presently being used for farming. There is a BNS&F railroad spur that is located on the eastern side of the property.

ITEM 8

CIRCULATION:

Access to the site will be from Litchfield Road to the west, Cactus Road to the south and Sweetwater Road to the north. At the present time there are no plans to continue Sweetwater to the east over the BNS&F spur. Two new internal collector streets are proposed – one running from Sweetwater Road to Cactus Road, and the other from Litchfield to the new north/south internal street. A traffic impact analysis has been prepared for this PAD and has been approved by the traffic engineering department.

LANDSCAPE:

At the time of the Landscape Plan Design review, all proposed landscape will comply with the Planning and Zoning Design Guidelines and the Surprise Municipal Code. The applicant originally requested permission to comply with those development standards that were in place in 1991, as specified in an original Development Agreement adopted in that year. However, applicant has agreed to conform with the current standards in the Design Guidelines.

DEVELOPMENT PLAN:

At this point, the applicant has no definitive plans for which industrial and/or commercial users will be locating at this site. However, the applicant has proposed through this PAD a plan to allow flexibility in accommodating potential industrial and/or commercial users. The applicant has prepared a list of permitted and conditional uses (page 10 of PAD document) that combines both commercial and industrial uses. Individual projects will be submitted for site plan review through the City of Surprise, depending on their consistency with the permitted and conditional uses list.

MIXED USE LAND USE AND PROJECT IN CONTEXT:

A Mixed Use Land Use Classification (light industrial and commercial) is appropriate for the site because of the transition between commercial land uses to the north and west, and heavier industrial uses to the east. The property to the east is the Summit Business and Industrial Park, to the north is Surprise Pointe, to the west is Marley Park and to the south is the City of Surprise Waste Water Plant and water campus.

EXISTING AND SURROUNDING ZONING:

ON-SITE:	County
NORTH:	Surprise Pointe PAD
EAST:	I-1 and I-2
SOUTH:	R1-43 Single Family Residential
WEST:	Vera Monte PAD

EXISTING AND SURROUNDING LAND USE:

ON-SITE:	Vacant Open Space
NORTH:	Vacant
EAST:	Vacant
SOUTH:	Waste Water Treatment Plant
WEST:	Vacant and Residential

EXISTING UTILITIES AND SERVICES STATUS:

WATER	City of Surprise
SEWER	City of Surprise

ITEM 8

FIRE PROTECTION

The closest Surprise Fire Department station FIRE STATION 301, located at 16750 North Village Drive East. This station is approximately 5 miles from the project site.

POLICE

PROTECTION:

Surprise Police Department currently has stations located:
14312 West Tierra Buena Lane
18600 North Reems Road

EXISTING SITE CONDITIONS

The site currently is undeveloped.

STANDARD STIPULATIONS

- a) Development shall be in accordance with the documents related to these cases date-stamped August 17, 2006, unless otherwise stated herein;
- b) Major changes to this P.A.D. or Minor General Plan Amendment with regard to use and intensity, must be processed as a revised application with approval by the City Council upon recommendation of the Planning and Zoning Commission. Minor changes to this P.A.D. and Minor General Plan Amendment may be administratively approved by the City Manager and the Community Development Director;
- c) The applicant shall submit a Written Response to Stipulations. The Response to Stipulations shall consist of a written response to the approved stipulations and four (4) copies of the final P.A.D. document and Minor General Plan Document revised as necessary to comply with these approved stipulations. Said submission must be under one (1) transmittal package and shall be submitted within fifteen (15) days of City Council approval;
- d) All infrastructure shall be constructed pursuant to the provisions of the Surprise Municipal Code or an approved development agreement, whichever applies; and
- e) The applicant shall include these stipulations (STANDARD and SPECIAL) and all necessary revisions to text and exhibits in the final P.A.D. document;

SPECIAL STIPULATIONS

- f) Applicant will be required to construct and landscape a median strip on Cactus Road and participate in either constructing or landscaping a median strip on Litchfield Road.
- g) Turn lanes shall be provided per the TIA.
- h) Two 3" conduits will be provided along Litchfield Road as part of the projects half street improvements, per the City of Surprise Traffic Detail T-112 with pull boxes at approximately 850'.

13 June 2007

Mr. James R. Mitchell
Director, Community Initiatives Team
56th Fighter Wing
14185 West Falcon Street
Luke AFB AZ 85309-1629

Ms. Carol Dager
City of Surprise Planning Department
12425 West Bell Road
Surprise AZ 85374

Re: Case #PAD07-208 NEC Litchfield and Cactus Roads

Dear Ms. Dager

Thank you for the opportunity to comment on the Planned Area Development Application for the NEC Litchfield and Cactus Roads development. This parcel, on 153.69 gross acres, is located at the northeast corner of Litchfield and Cactus Roads. The request is to develop the parcel in four Phases for employment district use. The site is located inside the 1988 JLUS 65 Ldn, "high noise or accident potential zone" as defined by A.R.S. § 28-8461 and is within the "territory in the vicinity of a military airport" also defined by A.R.S. § 28-8461.

As described, the PAD development for employment use of this parcel, will not negatively impact the flying operations at Luke AFB. However, Luke AFB requests the opportunity to provide additional comments to the construction plans, when determined. Since this site is located within the "territory in the vicinity of a military airport," and inside the 65 Ldn, it will be subjected to approximately 165 over flights a day, with some as low as 1,000 feet above ground level. We recommend you review the sound attenuation requirements found in A.R.S. § 28-8482. In addition, a strong notification program on the part of the applicant is essential to inform potential tenants about Luke AFB operations. We also recommend a review of the Luke AFB web site at <http://www.luke.af.mil>, Community Interests and Community Initiatives links, for further information.

If there are any questions, please contact my Community Planner, Mr. Bob Dubsky, at (623) 856-6195.

Sincerely

//signed//

JAMES R. MITCHELL

cc:
Colonel David L. Orr, Vice Commander, 56th Fighter Wing



Arizona Department of Transportation
Intermodal Transportation Division

206 South Seventeenth Avenue Phoenix, Arizona 85007-3213

Janet Napolitano
Governor

Sam Elters
State Engineer

Victor M. Mendez
Director

June 12, 2007

Ms. Carol Dager
City of Surprise Planning Department
12425 West Bell Road Suite D100
Surprise, Arizona 85374

RE: **Cactus Commerce Center PAD**/ PAD 07-208/ NEC Cactus Rd. & Litchfield Rd.

Dear Ms. Carol Dager:

Thank you for your notification regarding the General Plan for the subject referenced above. After a complete review, we have no comment at this time. ADOT would like to review and comment on all development plans

ADOT does reserve the right to review and comment any further development plans, changes and or additions for this site, as to any impact they may have on the State Highway System.

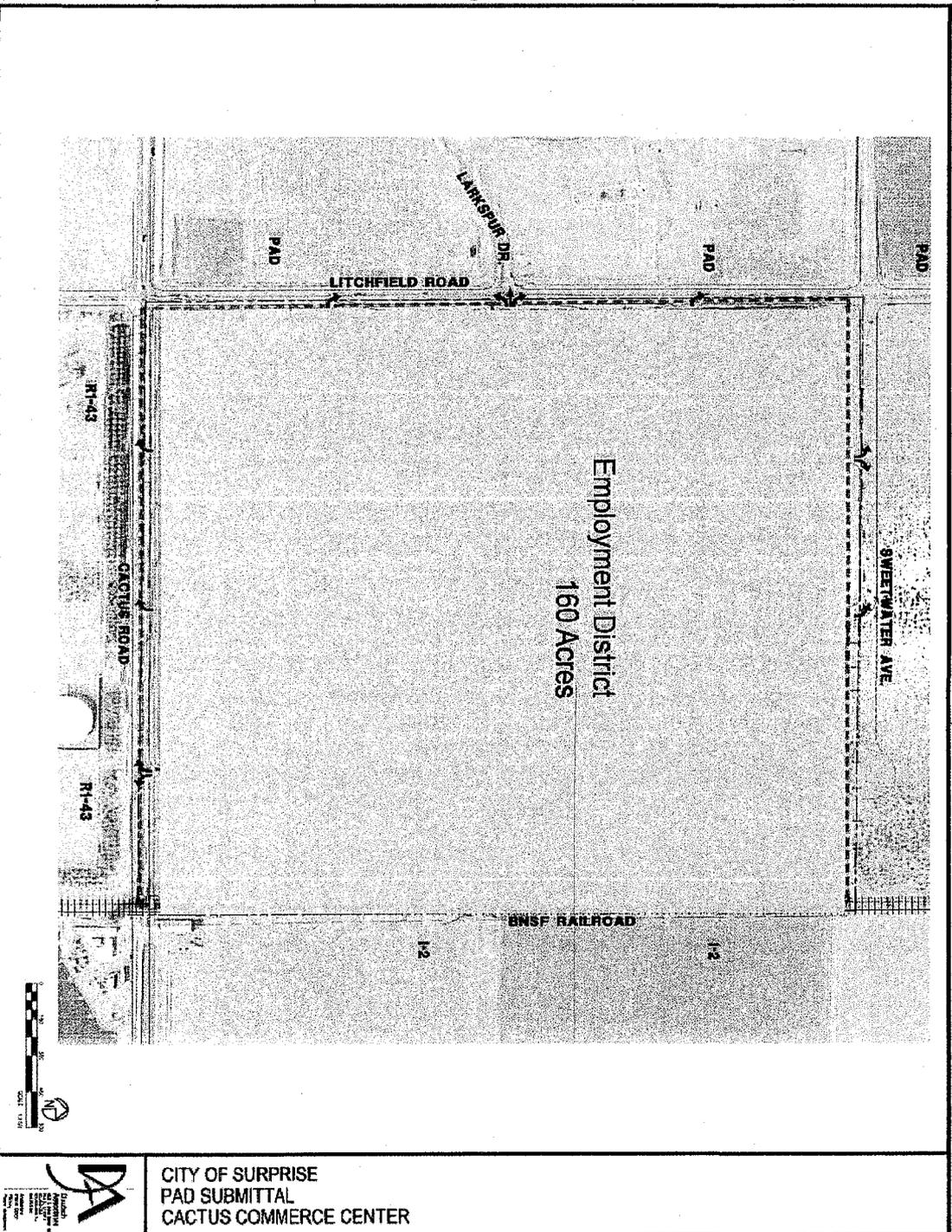
Should you have any questions, you may contact me at 602-712-8755 or by fax at 602-712-3051, or in writing at 205 S. 17th Avenue, Right of Way Project Management Section, Suite 349 MD 612E, Phoenix, Arizona 85007. Thank you in advance for your cooperation.

Sincerely,

LOUIS J. MALLOQUE,
Right of Way Agent III
lmalloque@azdot.gov



Commerce Center
 Figure 6.1: Preliminary Conceptual Plan (Zoning Map)



CITY OF SURPRISE
 PAD SUBMITTAL
 CACTUS COMMERCE CENTER

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 COMMUNITY DEVELOPMENT
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 CITY OF SURPRISE

Vicinity Map

Cactus Commerce Center



1. Marley Park
2. Veramonte
3. Kenly Farms
4. SPA 1 Water Treatment Facility
5. Skyway Industrial Park
6. City of El Mirage
7. Surprise Point



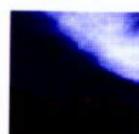
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COMMUNITY DEVELOPMENT

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CITY OF SURPRISE



Cactus
COMMERCE CENTER



Planned Area Development Application Report
Surprise, Arizona



1. Title Page

Applicant: Valentine Realty Company, Inc.
Property Owner: Nitta Family
Proposed Project Name: Cactus Commerce Center
Report Prepared by: Deutsch Architecture Group
4600 East Indian School Road
Phoenix, Arizona 85018
David Calcaterra 602-840-2929

Contact Name/Developer: Valentine Realty Company, Inc.
David Valentine
635 E Chapman
Orange, California 92866
714-532-6813 office
714-323-7010 cell; david@valentinebrand.com

Land Planning: Deutsch Architecture Group

David Calcaterra
4600 E Indian School Road
Phoenix, Arizona 85018
602-840-2929 office; dcalcaterra@2929.com

Civil Engineering: Site Consultants, Inc.

Michael Caylor, PE
113 S Rockford Drive
Tempe, Arizona 85251
480-894-2820 office; mcaylor@siteconsultants.net

Traffic Engineering: Lee Engineering, LLC

Brennan Kidd, PE
3033 N. 44th Street, Suite 375
Phoenix, Arizona 85018
602-955-7206 office; bkidd@lee-eng.com

Landscape Architecture: Gilmore Parsons Land Design Group

Steve Parsons, RLA
2211 N 7th Street
Phoenix, Arizona 85006
602-266-5622 office; sparsons@getgilmore.com

Legal Counsel: Beus Gilbert

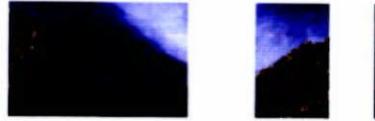
Jeff Blilie, Esq.
4800 North Scottsdale Road, Suite 6000
Scottsdale, Arizona
480-429-3000 office; jblilie@beusgilbert.com

Date Prepared: May 16, 2007

Revision Dates: August 6, 2007

October 28, 2007





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3. Executive Summary

A. Overview of Cactus Commerce Center Plan

Within the Southwest, indeed nationally, it is no secret that communities which float above the rest have some common denominators. One of the most important of these is the leadership strategy of a three-tiered approach to resident satisfaction:

- Affordable housing opportunities
- Quality amenities (including schools)
- Thriving employment opportunities

Like many cities, the City of Surprise is experiencing tremendous growth at a rapid pace. In addition to that sheer growth however, the City of Surprise is also experiencing important demographic changes. One of the demographic changes impacting the City's future is the lowering of the average resident age. Surprise's average resident age has dropped significantly, from senior-level, semi-retired to the vast majority now being young families. Managing this demographic change means the City must put more emphasis on employment opportunities than ever before.

During this growth and change, the City is to be commended on leadership's effectiveness in providing residents with top-notch amenities. The City has provided excellent entertainment venues such as the stadium, aquatics Park, satellite Heard Museum, progressive educational facilities, and plenty of public parks and pedestrian paths. These all contribute to resident satisfaction and retention. The City has also made great strides in bringing in quality retail providers to all of the emerging neighborhoods within their young communities.

Valentine Realty Company, Inc. proposes to contribute to the third tier of the City of Surprise community success story with the Cactus Commerce Center, a 160-acre, innovative employment district development. The flexibility of this district provides an environment that fosters a truly dynamic commerce park to support the City of Surprise in their efforts of providing meaningful employment for their citizens.

To create this development, Valentine Realty Company, Inc., proposes to annex the 160 acre sited located on the northeast corner of Cactus and Litchfield Roads. With necessarily creative and flexible design standards, united by a common theme, we believe this development will further the City's goals by increasing job opportunities and the tax base.

We believe the highest and best use of this property includes maximizing the eastern boundary, the BNSF Railroad. Accordingly, the Cactus Commerce Center Plan calls for heavy industrial employment in this area with a "fading out" from the railroad toward Litchfield Road with a lighter retail and office employment district use in these areas. Please see Boundary Map, Figure 4.1.

The success of this project will lie in maintaining an allegiance to clearly stated objectives, linking all elements into a comprehensive vision to establish a sense of place. We propose using a design theme to reinforce, through details, the unique setting and place this development holds within the larger community. We understand that the most effective standards are those based on a clear understanding for what is both possible and desirable at full development. The development strategies which will be employed during the course of this project will always be aimed at furthering this unique sense of place. At full development the city will benefit from:



- International business recognition.
- Opportunity for an enterprise partnership of developers and Valentine Realty Company, Inc. to develop a large, greatly under used and fallow area of land in an established part of the City.
- Vitality for the community through synergy created by various business activities.

Valentine Realty Company, Inc. has established a team with proven experience, placing Cactus Commerce Center on a foundation of past achievements. While no two developments are ever quite the same, success in this project is foretold by the collective experience of this team.

B. Evaluation of Opportunities/Constraints

The site location offers several significant opportunities:

1. Location within the City of Surprise Planning Area.
2. Adjacency to the BNSF Railroad, providing a unique opportunity to attract larger, national industrial users.
3. Proximity to existing utilities.
4. Proximity to inter-related developments.

Constraints which have been considered during planning include:

1. Proper design of surface drainage, in light of an area of flood zone "A" created by the Railroad along the eastern edge of the site.
2. Design and construction of needed right-of-way improvements.

C. Environmental & Socioeconomic Impact

The environmental impact of the Cactus Commerce Center will transform existing farm land into a thriving employment district. There will be environmental improvement in the general area through well-planned surface drainage. Proper design for surface drainage both on-site and from adjacent off-site development will prevent flooding conditions from future storms. Creation of an employment base, and providing needed retail/service amenities near existing residential development will reduce traffic and travel times for citizens.

Over the past ten years, the West Valley has shed its reputation as culturally lagging behind the rest of the Valley. The socioeconomic impact of the Cactus Commerce Center furthers Surprise's cultural shift from a retirement town to a thriving city. Additionally, we expect the jobs created within the Park to cover the gamut of salary ranges, supporting and attracting a diverse and solid resident base.

D. Determination of Need

Responding to population and demographic changes is at the heart of our vision for this parcel of land. As the average resident age in the City decreases, the need for jobs increases. This development will contribute significantly to employment opportunities, an important aspect of resident satisfaction and retention. Secondly, the office and retail aspects of the plan will provide needed daily services to nearby residents, providing a more complete residential experience in this area. In addition, the City will greatly benefit from the tax base this successful project will provide.



E. Proposed Development Standards in Light of the City of Surprise Planning & Design Manual and General Plan

At the time of this submittal, we believe the Design Standards in this plan meet or exceed the standards set forth in the City of Surprise Planning and Design Manual, General Plan and applicable City rules, regulations and policies.

The Cactus Commerce Center is consistent with the General Plan and economic development planning goals of the City of Surprise and is based upon sound planning principles, financial feasibility, design responsibility and community enhancement.

This 160 acre parcel on the northeast corner of Litchfield and Cactus Roads has been owned by the Nitta family for decades, utilized for agricultural purposes. It is now proposed to serve the City of Surprise for future decades as the location of the Cactus Commerce Center.



4. Location

A. Legal Description of Property

Maricopa County currently has the property recorded as four parcels. A legal description of the entire property follows:

PART OF THE SOUTHWEST QUARTER (1/4) OF SECTION 15, TOWNSHIP 3 NORTH, RANGE 1 WEST OF THE GILA and SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER (1/4) OF SECTION 15, TOWNSHIP 3 NORTH, RANGE 1 WEST OF THE GILA and SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, SAID POINT MARKED BY A MARICOPA COUNTY BRASS CAP IN A HAND HOLE;

THENCE NORTH 00 DEGREES 10 MINUTES 52 SECONDS WEST, ALONG THE WEST LINE OF THE SAID SOUTHWEST QUARTER (1/4), A DISTANCE OF 2,634.69 FEET, TO THE WEST QUARTER CORNER OF SAID SECTION 15, SAID POINT MARKED BY A MARICOPA COUNTY BRASS CAP FLUSH WITH THE PAVEMENT;

THENCE SOUTH 89 DEGREES 26 MINUTES 53 SECONDS EAST, ALONG THE NORTH LINE OF THE SAID SOUTHWEST QUARTER (1/4), A DISTANCE OF 2,539.68 FEET TO THE WEST RIGHT-OF-WAY BURLINGTON NORTHERN – SANTA FE RAILROAD;

THENCE SOUTH 00 DEGREES 12 MINUTES 04 SECONDS EAST, ALONG THE SAID WEST RIGHT-OF-WAY LINE, A DISTANCE OF 2,636.79 FEET, TO THE SOUTH LINE OF THE SOUTHWEST QUARTER (1/4);

THENCE NORTH 89 DEGREES 24 MINUTES 03 SECONDS WEST, ALONG THE SOUTH LINE OF THE SAID SOUTHWEST QUARTER (1/4), A DISTANCE OF 2,540.63 FEET TO THE POINT OF BEGINNING.

CONTAINING 153.6862 ACRES OR 6,694,572 SQUARE FEET MORE OR LESS.

The site is a Maricopa County island, completely surrounded by the City of Surprise.

According to the Maricopa County Assessor's Office, the site consists of four parcels:

501-38-005 (39.0 ± acres)

501-38-001 (37.6 ± acres)

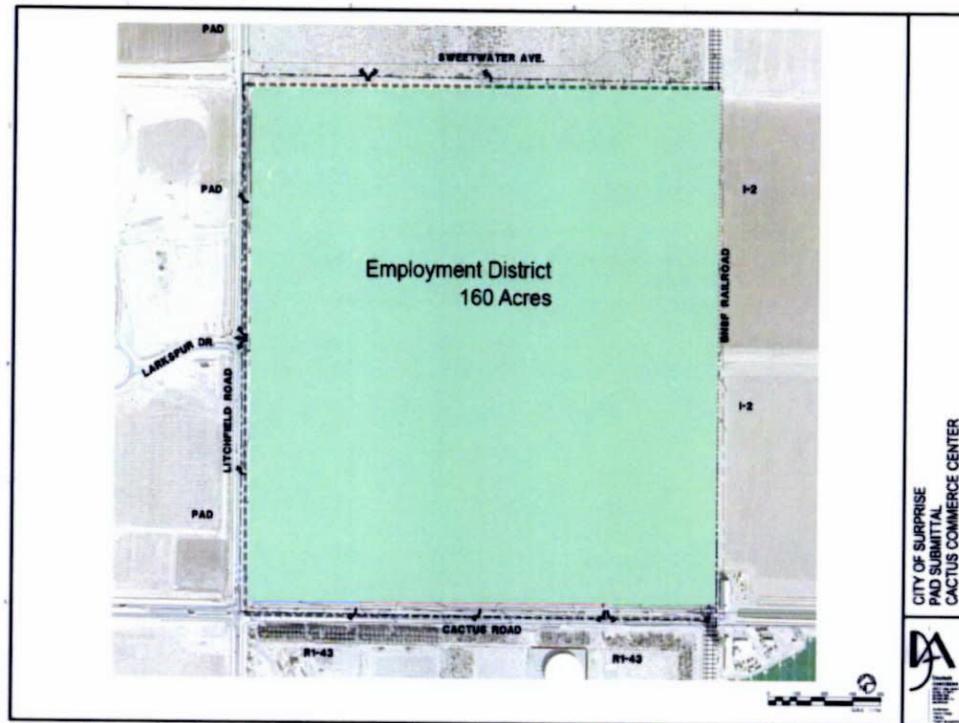
501-38-006 (38.0 ± acres)

501-38-004 (36.6 ± acres)

Current Address: NEC. Litchfield & Cactus Roads, Maricopa County, AZ 85335.



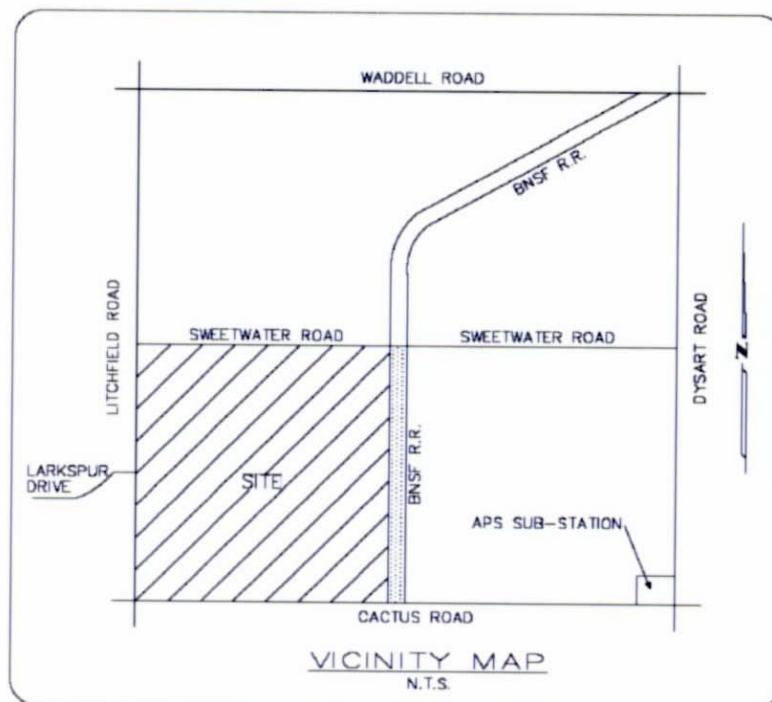
Figure 4.1: Boundary Map



CITY OF SURPRISE
PAD SUBMITTAL
CACTUS COMMERCE CENTER



Figure 4.2: Regional Vicinity Map





5. Existing Site Analysis

A. Existing Physical Features

There are several concrete lined and earthen irrigation ditches on-site. A dirt service road bisects the property into northern and southern halves. The topography of the site is flat, with slopes running almost exactly from northwest to southeast. A portion of the site is in Flood Zone A and is further described in Section 9.

B. 2' Contour Intervals

One foot contour intervals of the existing topography are shown on the ALTA survey, Figure 5.2 at the end of this section.

C. Existing Land Use

The southern half of the site is being farmed, utilizing retained water. The northern half of the site was previously farmed. More specifics on existing land use are shown on the ALTA Survey, Figure 5.2 at the end of this section.

D. Existing Zoning

Current Zoning: Maricopa County currently has all four parcels zoned as Rural-43 (R-43). This Rural Zoning District is a low-density designation with an allowed density of one acre per dwelling unit.

The Future Land Use map in the White Tank/Grand Avenue Area Plan, a part of Maricopa County's Comprehensive Plan, indicates the area is designated for "Industrial" usage in the future.

The City of Surprise has the parcels indicated as the "Employment" land use classification on its General Land Use Plan.

Litchfield Road has one lane in either direction past the site. No curb or gutter exists on either side of the roadway. The edge of pavement is approximately 13' east of the centerline along the site's frontage. The roadway currently occupies a 40' roadway easement on the east side of Litchfield Road.

Cactus Road has one lane in either direction past the site. No curb or gutter exists on either side of the roadway. The edge of pavement is approximately 10-12' north of the centerline along the site's frontage. An existing 33' of right-of-way has previously been dedicated on the north side of Cactus Road.

The intersection of Cactus and Litchfield Roads consists of a four way stop with no traffic signal. Curb and gutter wrap around the southwest corner only. Cactus Road has previously been widened to the west of Litchfield Road.

F. Location and Sizes of Major Utility Lines

Power: On Cactus Road, APS facilities consist of overhead transmission lines that lie along the south side of the street and should have no impact on the development of the subject property. APS also has overhead primary lines running past the site parallel to Litchfield Road on the road's western side. These lines should also have no impact on site development. See Appendix 'B' for the APS utility map.

Sewer: An existing 30" sewer line in Cactus Road flows west to east past the site approximately 20' north of the centerline. This main turns south at the 136th Avenue alignment, which is about a 1/8 mile west of the eastern boundary, and flows to the South WWTP. According to the Wastewater Master Plan, this sewer main is less than 80% full.

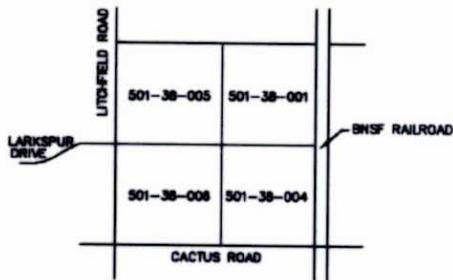


Figure 5.1: Existing Parcels



A 30" sewer line follows Litchfield Road, flowing north to south, past the site 43' west of the centerline. This line then crosses from the NWC of the Cactus and Litchfield intersection to the SEC of the intersection before continuing to the South WWTP.

Water: There is a 24" distribution main running along the south side of Cactus Road, 38.3' south of the centerline, that approaches the property from the west and continues past the site. There are also two 24" transmission mains in Cactus Road, one being 43.9 feet south of the centerline and the other being 25' north of the centerline. Both transmission mains turn south about 350' west of the 136th Avenue Alignment where they connect to a City of Surprise Reservoir and Booster Pump Station.

Telephone/Digital Communication: Qwest has established communication lines in Litchfield Road running past the site. The two lines are 22' and 25' east of the Litchfield Rd. centerline.

Gas: An existing 6" high pressure gas line is in Litchfield Road 18.48' west of the centerline. Neither Southwest Gas nor the El Paso Gas company lay claim this line. However, ownership details have been requested by the City of Surprise and this information will be forwarded when received.

G. Airport and Noise Boundaries

The subject property is within the 1988 Joint Land Use Noise Contours, and a letter from Luke Air Force Base is included as Appendix D.

H. School and other Public Facilities

None indicated within 1/4 mile.

I. Major Easements

All easements are defined on the ALTA survey, Figure 5.2 at the end of this section. Of key significance is the 80'-0" BNSF easement at the east side of the property.

J. List of Existing Plant Species and Habitats

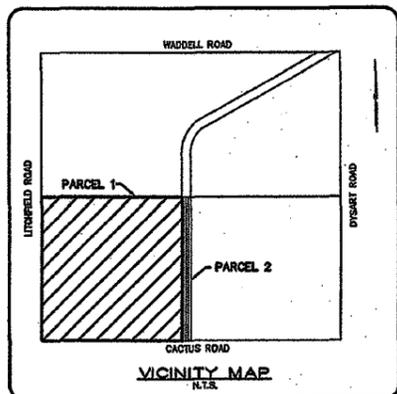
No native plant species have been identified during the preparation of this document.

K. Any other Major Improvements

There is an irrigation pump and associated improvements in the NW corner of the site.

ALTA/ACSM LAND TITLE SURVEY

BEING A PORTION OF THE SOUTHWEST QUARTER OF SECTION 15,
TOWNSHIP 3 NORTH, RANGE 1 WEST OF THE GILA AND SALT RIVER
MERIDIAN, MARICOPA COUNTY, ARIZONA



LEGAL DESCRIPTION:

PARCEL NO. 1:
THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 3 NORTH, RANGE 1 WEST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA;
EXCEPT THE EAST 80 FEET THEREOF.

PARCEL NO. 2:
THE EAST 80 FEET OF THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 3 NORTH, RANGE 1 WEST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA.

SCHEDULE B ITEMS:

1. TAXES FOR THE FULL YEAR OF 2006. (THE FIRST HALF IS DUE OCTOBER, 1 2006 AND IS DELINQUENT NOVEMBER 1, 2006. THE SECOND HALF IS DUE MARCH 1, 2007 AND IS DELINQUENT MAY 1, 2007.) (NOT PLOTTABLE. DOES AFFECT AND APPLY.)
2. ANY CHARGE UPON SAID LAND BY REASON OF ITS INCLUSION IN MEMICKEN IRRIGATION DISTRICT. (NOT PLOTTABLE.)
3. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "DEVELOPMENT AGREEMENT" RECORDED DECEMBER 19, 1991 AS 91-0596045 OF OFFICIAL RECORDS AND RE-RECORDED APRIL 21, 2000 AS 00-0303679 OF OFFICIAL RECORDS. (NOT PLOTTABLE. DOES AFFECT AND APPLY.)
4. ROADWAYS AS SET FORTH IN INSTRUMENTS RECORDED AS BOOK 305 OF DEEDS, PAGE 252 AND BOOK 331 OF DEEDS PAGE 434, M.C.R. (AFFECTS PARCELS 1 & 2. AS SHOWN HEREON. DOES AFFECT AND APPLY.)
5. AN EASEMENT FOR IRRIGATION PIPELINE AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED AS BOOK 321 OF DEEDS, PAGE 515 OF OFFICIAL RECORDS. (AFFECTS PARCELS 1 & 2. NOT SHOWN. DOES AFFECT AND APPLY.)
6. AN EASEMENT FOR ELECTRIC TRANSMISSION LINES AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED AS BOOK 54 OF MISCELLANEOUS, PAGE 137 OF OFFICIAL RECORDS. (AFFECTS PARCEL 1. AS SHOWN HEREON. DOES AFFECT AND APPLY.)
7. A PLAT RECORDED IN BOOK 5, PAGE 24 OF ROAD MAPS, PURPORTING TO SHOW A COUNTY ROADWAY. (AFFECTS PARCEL 1. AS SHOWN HEREON. DOES AFFECT AND APPLY.)
8. A PLAT RECORDED IN BOOK 10, PAGE 38 OF ROAD MAPS, PURPORTING TO SHOW A COUNTY ROADWAY. (AFFECTS PARCEL 1. AS SHOWN HEREON. DOES AFFECT AND APPLY.)
9. AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED AS 2002-1095510 OF OFFICIAL RECORDS. (AFFECTS PARCEL 1. AS SHOWN HEREON. DOES AFFECT AND APPLY.)
10. ANY RIGHT, TITLE OR INTEREST OF KENLY FARMS, INC., AS DISCLOSED BY THE FINANCING STATEMENT RECORDED OCTOBER 21, 2002 AS 2002-1090229 OF OFFICIAL RECORDS. (AFFECTS PARCEL 1. NOT PLOTTABLE. DOES AFFECT AND APPLY.)
11. ANY RIGHT, TITLE OR INTEREST OF SD FARMS, AS DISCLOSED BY THE FINANCING STATEMENT RECORDED OCTOBER 21, 2002 AS 2002-1090230 OF OFFICIAL RECORDS. (AFFECTS PARCEL 1. NOT PLOTTABLE. DOES AFFECT AND APPLY.)

ITEMS 16, 17 & 18 OF TABLE "A":

16. AS OF THE DATE OF THE SURVEY THERE IS EVIDENCE OF EARTH MOVING WORK AND CONSTRUCTION WITHIN RECENT MONTHS.
17. AS OF THE DATE OF THIS SURVEY THERE ARE NO CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION NOR OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
18. AS OF THE DATE OF THIS SURVEY THERE WAS NO OBSERVABLE EVIDENCE OF SITE USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

LEGEND:

- PROPERTY LINE
- - - - - CENTER LINE
- - - - - EASEMENT LINE
- - - - - FLOOD AREA LINE
- W— WATER LINE
- S— SEWER LINE
- G— GAS LINE
- O/E— WATER LINE
- / — / — EDGE OF PAVEMENT
- FND. FOUND
- R.O.W. RIGHT OF WAY
- N.T.S. NOT TO SCALE
- M.C.R. MARICOPA COUNTY RECORDER
- ☐ BRASS CAP IN HAND HOLE
- ⊙ BRASS CAP FLUSH
- 1/2" REBAR FOUND
- W.V. WATER VALVE
- F.H. FIRE HYDRANT
- W.M. WATER METER
- ⊙ SEWER MANHOLE
- ⊙ TELEPHONE MANHOLE
- P.C. POWER POLE
- | — SIGN
- | — STREET LIGHT W/ MAST ARM
- ⊙ DOWN GUY
- ⊙ DRYWELL
- ⊙ GAS METER
- ⊙ GAS MARKER
- ⊙ GAS SERVICE
- ⊙ GAS VALVE
- ⊙ ELECTRIC MANHOLE
- ⊙ RAILROAD CROSSING SIGN

SITE AREA:

PARCEL NO. 1:
149.3727 ACRES OR 6,506,676 SQUARE FEET

PARCEL NO. 2:
4.7817 ACRES OR 208,284 SQUARE FEET

LINE	LENGTH	BEARING
L1	40.00	N89°28'53"W
L2	40.00	S89°24'03"E
L3	33.00	N00°10'52"W
L4	33.00	N00°12'04"W
L5	80.00	S89°24'03"E
L6	33.00	N00°12'04"W
L7	80.01	N89°28'53"W

SITE INFORMATION:

TITLE NOTE: THE RECORD DOCUMENTS NOTED ON THIS PLAT OF SURVEY ARE THOSE DOCUMENTS, AND ONLY THOSE DOCUMENTS, DETERMINED BY FIRST AMERICAN TITLE INSURANCE COMPANY, AS SET FORTH IN FILE NO. MCS-242823-4335 DATED JUNE 27, 2006. THE UNDERSIGNED SURVEYOR MAKES NO REPRESENTATION AS TO THE EXISTENCE OF ANY OTHER RECORD DOCUMENTS THAT MAY AFFECT THE SURVEYED PROPERTY.

SITE ADDRESS: (NO ADDRESS AVAILABLE)

ASSESSOR'S PARCEL NUMBER:
PARCEL 1: 501-38-008
501-38-004
501-38-004
501-38-001
PARCEL 2: 501-38-013

DATE OF SURVEY: AUGUST 02, 2006

FLOODZONE: THE SUBJECT PROPERTY LIES PARTIALLY IN THE FLOODWAY AREAS IN ZONE AE WHICH IS A "SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD AREA" DESCRIBED AS THE 1% ANNUAL CHANCE FLOOD (100 YEAR FLOOD), ALSO KNOWN AS THE BASE FLOOD, IS THE FLOOD THAT HAS A 1% CHANCE OF BEING EQUALLED OR EXCEEDED IN ANY GIVEN YEAR. THE SPECIAL FLOOD HAZARD AREA IS THE AREA SUBJECT TO FLOODING BY THE 1% ANNUAL CHANCE FLOOD. AREAS OF SPECIAL FLOOD HAZARD INCLUDE ZONES A, AE, AH, AO, AB, AS9, V AND AE. THE BASE FLOOD ELEVATION IS THE WATER-SURFACE ELEVATION OF THE 1% ANNUAL CHANCE FLOOD.

ZONE AE IS NOTED AS "THE FLOODWAY IS THE CHANNEL OF A STREAM PLUS ANY ADJACENT FLOODPLAIN AREAS THAT MUST BE KEPT FREE OF ENCROACHMENT SO THAT THE 1% ANNUAL CHANCE FLOOD CAN BE CARRIED WITHOUT SUBSTANTIAL INCREASES OF FLOOD HEIGHTS."

THE PROPERTY ALSO LIES ON "ZONE X" DESCRIBED AS "AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECT BY LEVEES FROM 1% ANNUAL CHANCE FLOOD" AS SHOWN ON FLOOD INSURANCE RATE MAP NO. 04013C16054, EFFECTIVE DATE SEPTEMBER 30, 2005.

ZONING: MARICOPA COUNTY ZONING ZONED RURAL-43 OR R-43 (AS OF JUNE 01, 2006) RURAL ZONING DISTRICT - ONE ACRE PER DWELLING UNIT

FRONT YARD SETBACK: MIN. 40 FEET
SIDE YARD SETBACK: MIN. 30 FEET
REAR YARD SETBACK: MIN. 40 FEET
LOT AREA: MIN. 1 ACRE
HEIGHT RESTRICTION: 30 FEET OR 2 STORIES

SURVEYOR'S CERTIFICATION:

TO: VALENTINE REALTY, SURPRISE/DYSRAT PROPERTIES, LLC, AN ARIZONA LIMITED LIABILITY COMPANY, AS TO PARCEL NO. 1, BNSF RAILWAY COMPANY, A DELAWARE CORPORATION, FORMERLY KNOWN AS THE BURLINGTON NORTHERN AND SANTA FE RAILWAY COMPANY, SUCCESSOR BY MERGER TO THE ATCHINSON, TOPEKA AND SANTA FE RAILWAY COMPANY, SUCCESSOR IN INTEREST TO THE CALIFORNIA, ARIZONA AND SANTA FE RAILWAY COMPANY, A CALIFORNIA CORPORATION AS TO PARCEL NO. 2 AND FIRST AMERICAN TITLE INSURANCE COMPANY;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE ON THE DATE SHOWN BELOW IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2005, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 13, 16, 17 & 18 OF TABLE A THEREOF. PURSUANTS TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, THE UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR IN THE STATE OF ARIZONA, THE RELATIVE POSITIONAL ACCURACY (AS DEFINED IN THE ACCURACY STANDARDS) OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

THE ACCOMPANYING SURVEY WAS MADE ON THE GROUND AND CORRECTLY SHOWS THE LOCATION OF ALL BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS SITUATED ON THE ABOVE PREMISES; THERE ARE NO VISIBLE ENCROACHMENTS ON THE SUBJECT PROPERTY OR UPON ADJACENT LAND ABUTTING SAID PROPERTY EXCEPT AS SHOWN HEREON AND WAS MADE IN ACCORDANCE WITH THE LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF ARIZONA.

THE PROPERTY SURVEYED AND DESCRIBED HEREIN IS THE SAME AS THE PROPERTY DESCRIBED IN FIRST AMERICAN TITLE INSURANCE COMPANY'S COMMITMENT NO. MCS-225847-PHX DATED AS OF MAY 8, 2006 AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE SITE OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE SUBJECT PROPERTY.

SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION "X" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 04013C16054, WITH A DATE OF IDENTIFICATION OF JULY 19, 2001, FOR COMMUNITY NO. 04013C, IN MARICOPA COUNTY, STATE OF ARIZONA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES ARE SITUATED.

THE SUBJECT PROPERTY HAS DIRECT ACCESS TO CACTUS ROAD AND LITCHFIELD ROAD, EACH A PAVED AND DEDICATED PUBLIC STREET OR HIGHWAY.

R. GREGG DODSON
RLS 13056

REV.	08-15-06
REV.	UPDATE
REV.	
REV.	

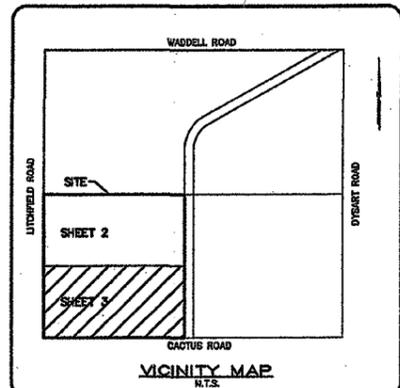
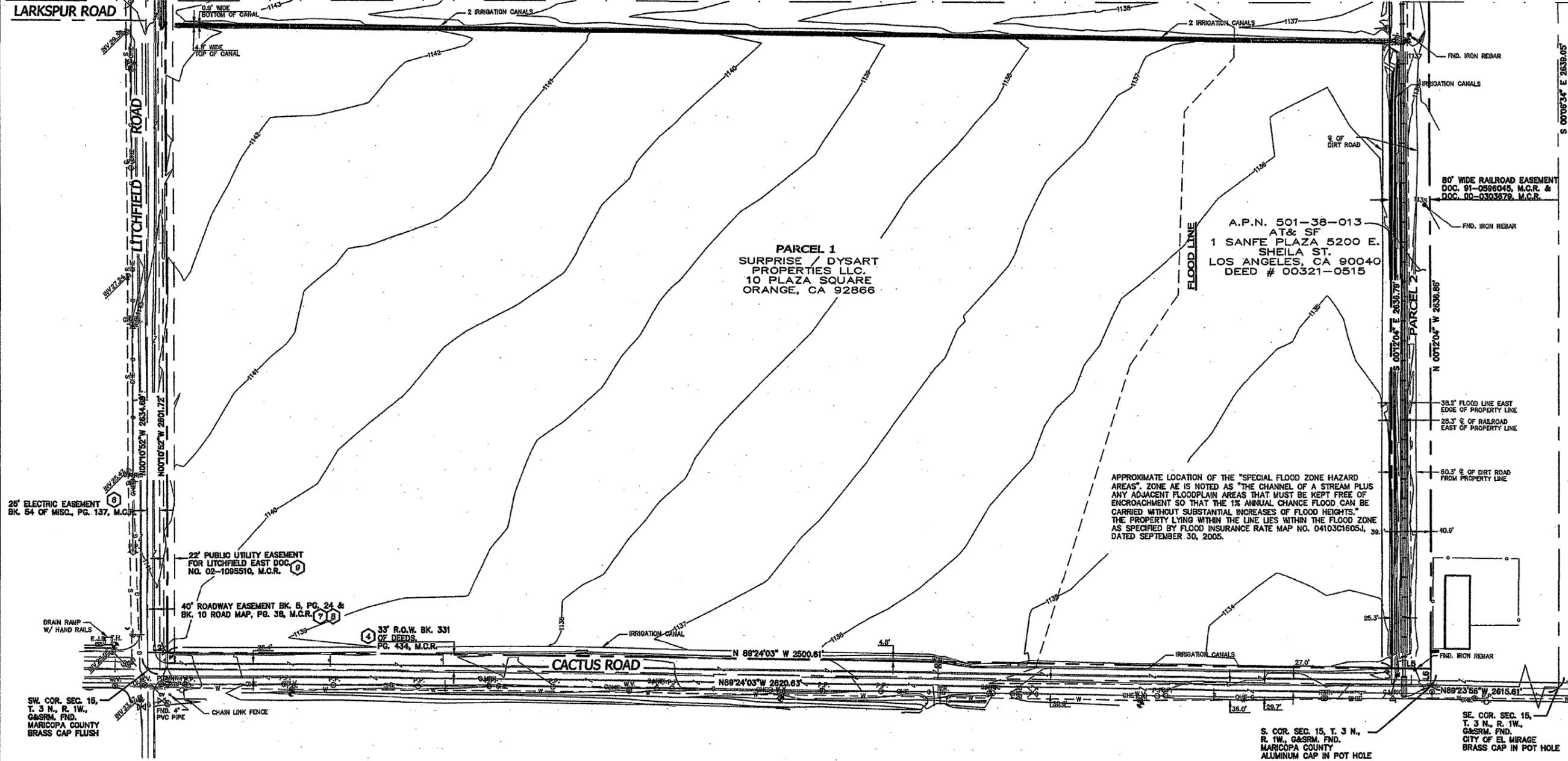


Site Consultants, Inc.
ENGINEERS • SURVEYORS • CONSULTANTS
113 SOUTH ROCKFORD DRIVE, TEMPE, ARIZONA 85291

ALTA/ACSM LAND TITLE SURVEY
CACTUS ROAD & LITCHFIELD ROAD
SURPRISE, ARIZONA

PROJECT NO.:	1680
SCALE:	1" = 100'
DRAWN BY:	GRG
CHECKED BY:	RGD

MATCH SHEET 2



REV.	08-15-08
REV.	UPDATE
REV.	
REV.	
REV.	



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TEL: (480) 894-2820, FAX: (480) 894-2847

ALTA/ACSM LAND TITLE SURVEY
CACTUS ROAD & LITCHFIELD ROAD
SURPRISE, ARIZONA

PROJECT NO.:	1680
SCALE:	1" = 100'
DRAWN BY:	GRG
CHECKED BY:	RED
DATE:	08-14-08
DWG:	1680-ALTA.dwg



6. Proposed Site Development Plan

The Cactus Commerce Center to be a flexible mixed-use Industrial, Light Industrial, Office and Retail development with the goal of creating an employment park for the City of Surprise.

The concept we believe will best meet this goal and highly utilize this particular parcel of land is to “layer” or graduate buildings from east to west, moving from large anchor industrial development on the east (near the railway) to lighter industrial and office and retail as the development reaches out toward Litchfield Road to the west.

The key to the success of this development is to allow flexibility in the different uses (industrial, light industrial, office, retail) throughout the 160 acre site. This flexibility is important because the goal for the project is to create major employment impact with flexibility for market change.

A. Location of All Proposed Parcels

See Figure 6.1

B. Proposed Acreage of All Proposed Parcels

See Figure 6.1

C. Land Use of All Proposed Parcels

See Figure 6.1

D. Approximate Square Feet of Nonresidential Use per Parcel

This information has not yet been determined. In the final build-out it is anticipated that this park will be composed of approximately two million square feet of employment district space.

E. Zoning of all Proposed Parcels

As discussed in the Executive Summary Section of this report, we believe creative and flexible design standards, united by a common theme, will best further the City’s goals of increasing employment opportunities and the tax base by offering the most diverse, market-driven employment development solutions for this parcel. Accordingly, the following list, while not exhaustive, represents potential uses within our current vision:



E. Uses of all Proposed Parcels

PRINCIPALLY PERMITTED USES:

Antique shop and store
 Ambulatory Services
 Animal hospital or clinic with associated kennel (fully enclosed)
 Apparel and accessory store
 Appliance sales, repair and services
 Art and craft stores
 Athletic clubs and commercial recreation
 Automobile, boat or recreational vehicle sales, service, repair and rental
 Automobile, auto body repair
 Automobile parking lot or garage (public or private)
 Auto supply store
 Bakery for on-site sales
 Banks and other savings and lending institutions
 Barber shop and beauty parlor
 Bicycle sales, service and repair shop
 Book and stationery store
 Bottling, processing and packaging
 Bowling alley
 Building materials sales yard, including sand and gravel
 Bus terminals
 Business and office machine sales, service and repair shop
 Candy and ice cream store
 Church and parish house
 Cigar and tobacco store
 Clothing and costume rental shop
 Community center or meeting hall
 Contractors storage yard
 Convenience food store
 Custom dressmaking, furrier, millinery or tailor shop employing five persons or less
 Dancing or theatrical studio
 Day Spa
 Delicatessen and catering establishment
 Department store
 Dry goods and notion store
 Dry cleaning and laundry establishment
 Electronic instruments and devices, assembling and manufacturing
 Equipment rental or storage yard
 Essential public service or utility installation
 Exterior storage of goods and materials provided that all goods and materials are screened from view from adjacent properties and rights-of way
 Exterminator shop
 Farming, landscaping and agricultural supplies and equipment, wholesaling and storage
 Feed store, including yard
 Florist
 Foundry casting lightweight, nonfer-

rous metal, not causing noxious odors or fumes
 Frozen food locker
 Furniture store/showroom
 Game rooms, pool halls
 Garden supply store
 Gasoline and petroleum bulk storage tanks
 Gift shop
 Golf driving range and miniature golf course
 Grainary, elevator storage
 Grocery store (including retail markets and produce store)
 Greenhouse
 Hardware store, no exterior storage
 Hobby, stamp and coin shop
 Hospital
 Hotel or motel
 Hunting and fishing supply store
 Industrial, scientific or business research, development and testing laboratories and offices
 Interior decorator's shop
 Jewelry and metal craft store
 Kennel (fully enclosed)
 Laundromat, self service
 Leather goods and luggage store
 Liquor store
 Lock and key shop
 Lumber yard, provided that all goods and materials are screened from adjacent properties
 Mail order catalog store
 Manufacturing, compounding, fabrication and assembling facilities
 Medical, dental or health office buildings and clinics
 Medical and orthopedic appliance store
 Messenger or telegraph service station
 Millwork (woodworking, manufacturing)
 Mini-warehouse, for storage purposes without retailing unless associated with storage operation
 Mobile and manufactured home sales and service
 Monument sales and engraving shop
 Mortuary
 Museum
 Music and instrument sales, service and repair shop
 Music or dance studio
 Motion picture studios
 Newspaper office
 Newsstand
 Offices
 Office supply and office equipment store
 Optician
 Package liquor store, including drive-through
 Packing houses, fruit or vegetable not including processing
 Paint and wallpaper store

Park and Ride Lot
 Pawn shop
 Pet shop including grooming
 Photographic equipment and supply store
 Photographic studio
 Picture frame shop
 Planing mills
 Plant nursery
 Plant nursery, wholesale
 Plating works, bulk (galvanizing)
 Plumbing shop
 Printing and publishing house (including newspapers)
 Private club, fraternity, sorority or lodge
 Public buildings
 Public utility plants
 Public utility service yard
 Radio or television sales, service and repair
 Radio and television broadcasting stations and studios, but not including transmitter towers and transmitter stations
 Railroad yards, shops or roundhouse
 Recreational vehicle repair
 Recycling Yard
 Restaurant (forty percent of total revenue derived from sale of food)
 Rock crushing
 Sandblasting yard
 Seed treatment, processing, extraction of oil
 Sewage disposal or treatment plant
 Sewing machine store
 Shoe store and repair
 Sporting and athletic goods store
 Storage yards bulk material
 Swap meet, flea market
 Tanks, fabrication
 Tattoo and/or body piercing establishments
 Taxidermist
 Theater, excluding drive-in theater
 Theater, drive-in
 Tire sales, repair and mounting (with or without outside storage)
 Towed or motor vehicle assembling, repairing including body and fender shops
 Toy store
 Travel agency
 Truck, bus and heavy equipment garages, dispatching and weighing stations
 Truck terminals
 Upholstery shop
 Variety store
 Warehousing and distribution centers
 Watch repair shop

ADMINISTRATIVELY PERMITTED USES:

Personal wireless service facilities
 Sewer or water lift station; well site

CONDITIONALLY PERMITTED USES:

Asphalt mixing plant
 Automobile parts, supplies, salvage or wrecking
 Automobile rental/leasing
 Automobile service stations
 Automobile service center, major
 Automobile service center, minor
 Automobile washing establishments
 Caretaker Residence
 Cement mixing plant
 Coffee roasting
 Convenience food stores
 Convenience food restaurants
 Community correctional facility
 Feed (grains) manufacturing and processing
 House movers, equipment, storage or wrecking yards
 Kennels with limited outdoor use
 Ice manufacturing and storage
 Laboratories or facilities
 Landfill, sanitary
 Massage establishments
 Meat packing and smoking
 Mining, mineral extraction
 Outdoor recreational facility
 Paint and varnish manufacturing
 Shelter care facility
 Stadiums
 Tavern, bar or lounges
 Temporary facilities for sale of automobiles, recreational vehicles, boats, mobile or manufactured homes
 Towed Vehicle/Impound Storage Yard
 Video arcades



Figure 6.1: Preliminary Conceptual Plan (Zoning Map)





F. Number and Type of Residential Units Proposed

No residential units are to be allowed within this development.

G. Location of Buildings/Proposed Uses/Square Footages

Exact size and location of buildings has not yet been determined but there is two million square feet of employment uses planned for this site with the first development currently planned on the eastern edge of the site utilizing the railroad.

H. Community Amenities

None provided.

I. Table Summarizing Parcels

AREA	ACRES	ZONING USE	PHASE
A	25.77	Employment	Phase 4
B	52.93	Employment	Phase 1
C/D	37.83	Employment	Phase 2
E	15.62	Employment	Phase 3

J. Table Summarizing Absorption Rates

Not known at this time.

K. Service Providers

Power	Arizona Public Service
Sewer	City of Surprise
Water	City of Surprise
Telephone	Qwest / Cox
Natural Gas	Southwest Gas
Irrigation	City of Surprise

"Will Serve" letters can be provided upon request.



7. Phasing Plan

A. Proposed Approach

Phasing for this project is generally planned to be a four-phased approach with Phase 1 being the most eastern portion of the site. Figure 7.1 represents this graphically. The timeline for development of the phases is as indicated below.

Phase 1 2008

Phase 2 2009

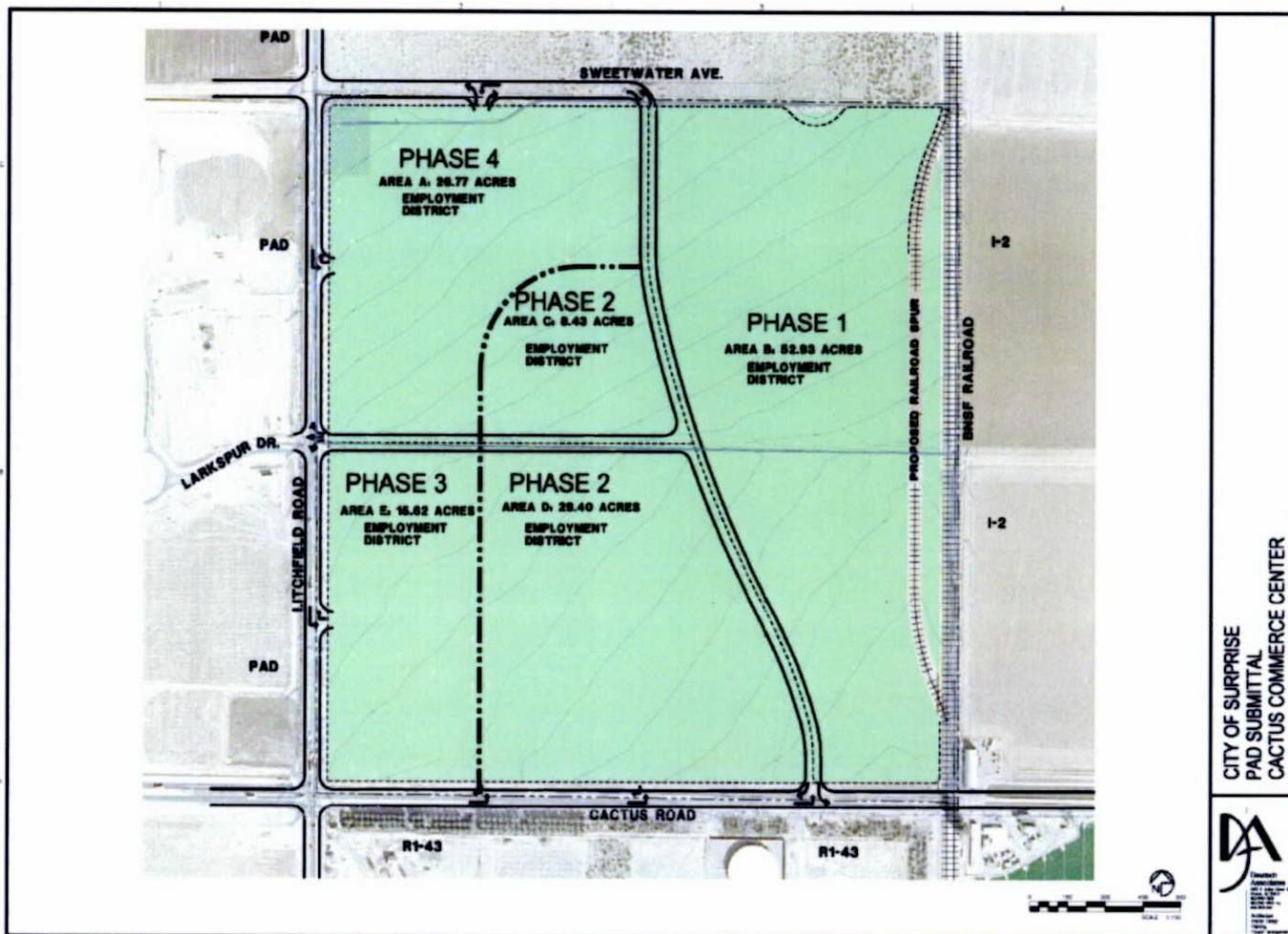
Phase 3 2010

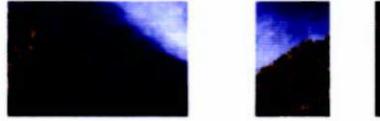
Phase 4 2011, or extended as dictated by market conditions

B. Location and Size of Proposed Land Uses in Each Phase

See Figure 7.1 Below

Figure 7.1: Preliminary Phasing Site Plan





C. Estimate of Capacity Needs for Infrastructure per Phase

Specific infrastructure improvements, by phase, have not been established at this time. Pending city review and dialogue on the overall required infrastructure improvements our team will develop a phase-specific plan for completing these improvements.

D. Provisions to Accommodate Traffic Connections Throughout Phasing Process

See Certified Engineering Traffic Analysis Report by Lee Engineering, Appendix A.



8. Circulation Plan

A. Certified Engineering Traffic Analysis

The Traffic Engineering Analysis firm, Lee Engineering, conducted an exhaustive traffic impact analysis of the proposed development area. The Executive Summary for this report is included here. Please see Appendix A for the full report, which contains information required by the City of Surprise Planned Area Development Application, including:

- B. Proposed External Street Improvements and On-site Circulation
- C. Proposed Roadway Improvements
- D. Analysis of Proposed and Existing Street Network
- E. Phasing plans for Interim Improvements

Traffic Analysis Executive Summary

The purpose of this study is to provide a traffic impact analysis of the proposed commercial development to be located at the northeast corner of Cactus and Litchfield Roads in a portion of Maricopa County to be annexed by the City of Surprise. Existing traffic volumes and roadway conditions and future traffic conditions with and without the site-generated contributions will be detailed within this report. Potential intersection and roadway deficiencies will be identified and attributed to projected traffic conditions in the analysis years and whether they are specifically caused by the proposed site.

The estimated trip generation associated with the site indicates that, because of its phased development plan, multiple analysis years will need to be studied. The first phase was assumed to be at its full potential for the assumed opening year of 2008. Subsequent phases, a total of three additional, were then assumed to be at their full potentials in one year intervals. Actual development of the site may progress slower than the assumed schedule; therefore the analysis contained within this report may be conservative in that site-generated traffic volumes may be estimated to occur earlier than expected.

The proposed site will be composed primarily of light industrial land uses (totaling approximately 2,000,000 square feet) located on approximately 160 acres at the northeast corner of Cactus and Litchfield Roads in an area to be annexed by the City of Surprise. The site is expected to be developed in four phases, with an assumed opening year of 2008 for Phase 1 and an opening year of 2011 for Phase 4 (although the development of the 32-acre office park as Phase 4 may be delayed depending on market conditions in the future). Trip generation estimates for the phases shown daily trip generations ranging from about 1,700 vehicles to about 5,600 vehicles per day per phase. The total daily trip generation of the site at full buildout in 2011, or some time after, is 15,145 vehicles (inbound + outbound). About 1,900 of these trips are expected to occur in the AM peak hour and approximately another 2,075 trips expected to occur in the PM peak hour. The study area analyzed in this study focused on the site-adjacent intersections along the half-mile frontages of the site.

The employment district development will be constructed at the northeast corner/quadrant of the Cactus Road/Litchfield Road intersection. This land is currently controlled by Maricopa County, but is proposed to be annexed by the City of Surprise in conjunction with approval of this PAD. Phase 1 is assumed to be open (and, for the purposes of this study and per City guidelines, immediately operating at its full potential) in 2008. The opening and full potential operations of the subsequent phases were assumed to occur at one-year intervals such that the full buildout of the site was assessed for the 2011 horizon year.



9. Open Space Plan

A. Open Space Areas Locations, Calculations, Typical Dimensions and Anticipated Use

Open Space areas within Cactus Commerce Center will be primarily focused on creating a feeling of spaciousness, using uniform details and plant materials, providing a variety of screening techniques and setbacks for visual interest, and creating linear connections to unify the property. Typical dimensions for open space features are provided in the landscape section of this report.

B. Identification of Existing Open Space

Existing conditions on the site do not include areas appropriate for open space. All open space within the commerce park will be created as part of the development.

C. Relationship of Proposed Open Space to Proposed Parcels

Open space within the commerce park will be designated as follows:

- a.) Entry - the main park entry on Larkspur Drive off of Litchfield Road will include monument signage for the park, enhanced landscape features which will coordinate with roadway and on-site plantings, and extended setbacks to create a feeling of spaciousness. The two additional main park entrances will also feature these enhancements.
- b.) Internal Collector Streets - Internal collector street frontage will be used to create a corridor of varying width, which will include berms, screen walls, plantings, and pedestrian pathways where appropriate. This frontage will serve as a linear link throughout the property.
- c.) Peripheral Frontage - Planting material palettes shall be established for Litchfield and Cactus Road frontages to coordinate with on-site materials as well as already completed adjacent development. Final parcel owners will work with City of Surprise to establish final design.



10. Infrastructure Plan

A. Location and Size of Proposed Utilities

Please see Figure 10.1 located at the end of this section for a conceptual utility plan.

B. Technical Analysis of Infrastructure Plan

WATER CONCEPT/PLAN

The existing conditions show that there is a 24" distribution main running along the south side of Cactus Road, 38.3' south of the centerline, that approaches the property from the west and continues past the site. There are also two 24" transmission mains in Cactus Road, one being 43.9' south of the centerline and the other being 25' north of the centerline. Both transmission mains turn south about 350' west of the 136th Avenue Alignment where they connect to the City's Rancho Gabriela Water Supply Facility.

The Rancho Gabriela Water Supply Facility, which is made up of a 3.5 million gallon tank and booster pump, is located at the southwest corner of Cactus Road and the 136th Avenue alignment. This facility is intended to meet the demands for the residential developments of Rancho Gabriela, Veramonte, and Marley Park. Depending on schedule, it is possible that the subject site could utilize some of this capacity on an interim basis, while new facilities are constructed. According to the City of Surprise, from a water need standpoint, each new square mile of developed land requires 2 water supply wells with a minimum output of 1,500gpm per well and water storage facilities with a minimum volume of 1.2 million gallons.

The proposed water system will be connected to an existing 24" distribution water main located on Cactus Rd. and to a 12" distribution main on Sweetwater Road. Each of the system extensions and on-site water lines will be designed in accordance with the City of Surprise Requirements and Arizona Department of Environmental Quality (ADEQ), potable water system requirements.

During preliminary plat process water system will be designed to and modeled to analyze the proposed water distribution system and verify the waterlines for appropriate daily and fire flow demands. All proposed water distribution mains will be 12-inch diameter (See Conceptual Utilities Exhibit, Appendix A). Fire Hydrants shall be spaced at approximately 600 feet to limit the maximum fire hose length. The City of Surprise indicated that it expects to have no problems meeting the water demands for the proposed development once the required improvements have been constructed. See Conceptual Utilities Exhibit, Appendix C.

SEWER CONCEPT/PLAN

There is currently existing a 30" sewer interceptor in Cactus Road along the southern boundary of the Property. There is also a 30' sewer interceptor in Litchfield Road along the western boundary of the Property. Both sewer interceptors transport wastewater to the SPA 1 Water Reclamation Facility, and there is existing



capacity within both sewer interceptors for the build-out of the property. Development of the property shall not require the construction or installation of any additional off-site sewer interceptors.

The City of Surprise is currently undertaking an 8.0 million gallon per day (MGD) expansion of the SPA 1 Water Reclamation Facility. Upon the completion of the 8.0 MGD expansion, the SPA 1 Water Reclamation Facility will be able to process approximately 16.0 MGD of wastewater. There is adequate wastewater capacity in the SPA 1 Water Reclamation Facility to accommodate the build out of the property. Development of the property shall not require any additional expansions of the SPA 1 Water Reclamation Facility.

The on-site wastewater collection system shall be designed and modeled in accordance with the City of Surprise and ADEQ standards for wastewater collection systems. The on-site collection system shall consist of 8" and 10" PVC lines with manholes installed as necessary. The on-site collection system shall be designed with sufficient depth to provide service to each lot and with sufficient slope to adequately convey wastewater to the respective tie-in to the off-site interceptor in either Cactus Road or Litchfield Road.

ROADWAY/INFRASTRUCTURE CONCEPT/PLAN

Litchfield Road has one lane in either direction along the site. No curb or gutter exists on either side of the roadway. The edge of pavement is approximately 13' east of the centerline along the site's frontage. The roadway currently occupies a 40' roadway easement on the east side of Litchfield Road.

Cactus Road has one lane in either direction along the site. No curb or gutter exists on either side of the roadway. The edge of pavement is approximately 10-12' north of the centerline along the site's frontage. An existing 33' of right-of-way has previously been dedicated on the north side of Cactus Road.

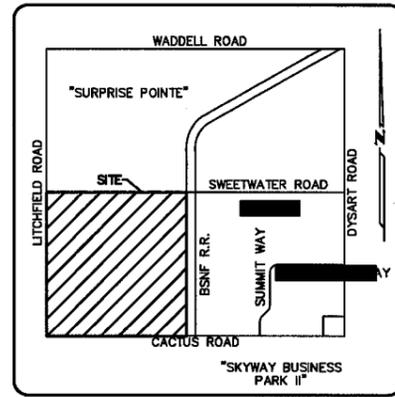
The intersection of Cactus and Litchfield Roads consists of a four way stop with no traffic signal. Curb and gutter wrap around the southwest corner only. Cactus Road has previously been widened to the west of Litchfield Road.

Based on the City of Surprise Roadway Plan, Litchfield Road will become a minor arterial roadway while Cactus Road will become a major arterial roadway. The ultimate Litchfield Road section consists of a 55' half-street right-of-way (55' each side of centerline), while the Cactus Road section is a 68' half-street right-of-way.

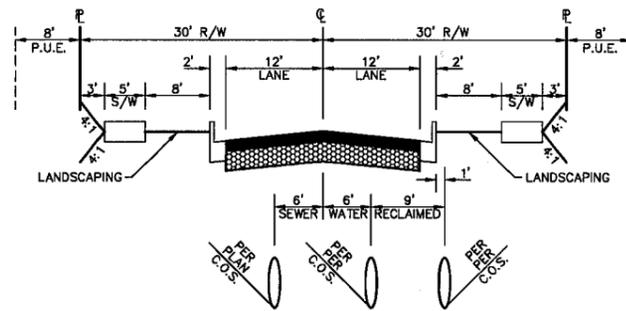
Sweetwater Road will consist of a 40' right of way with 20' lanes each way and a 5' bike lane. For onsite improvement roadway the Internal loop will consist of 60' right of way and 12' lanes each way.

Most likely curb, gutter, and sidewalk will be required on the east side of Litchfield Road and the north side of Cactus Road. A series of scuppers will be necessary to take off-site water from the right-of-way into the proposed on-site retention sys-

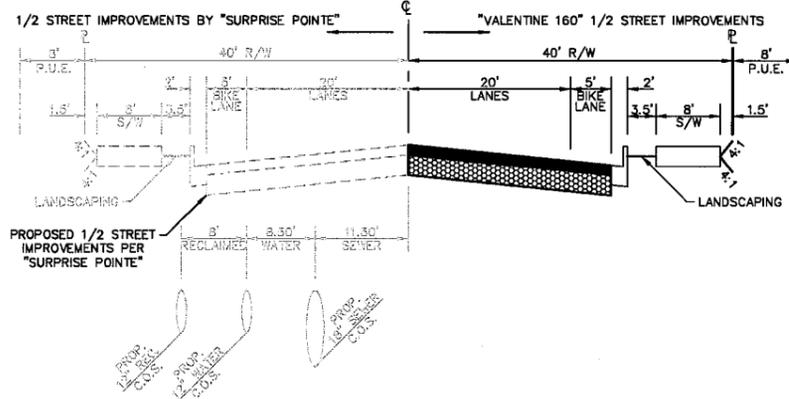
CONCEPTUAL ROADWAY INFRASTRUCTURE
OF
"VALENTINE 160"
BEING A PORTION OF THE S.W. 1/4 OF SECTION 15,
T. 3 N., R. 1 W. OF THE GILA & SALT RIVER MERIDIAN,
CITY OF SURPRISE, MARICOPA COUNTY, ARIZONA



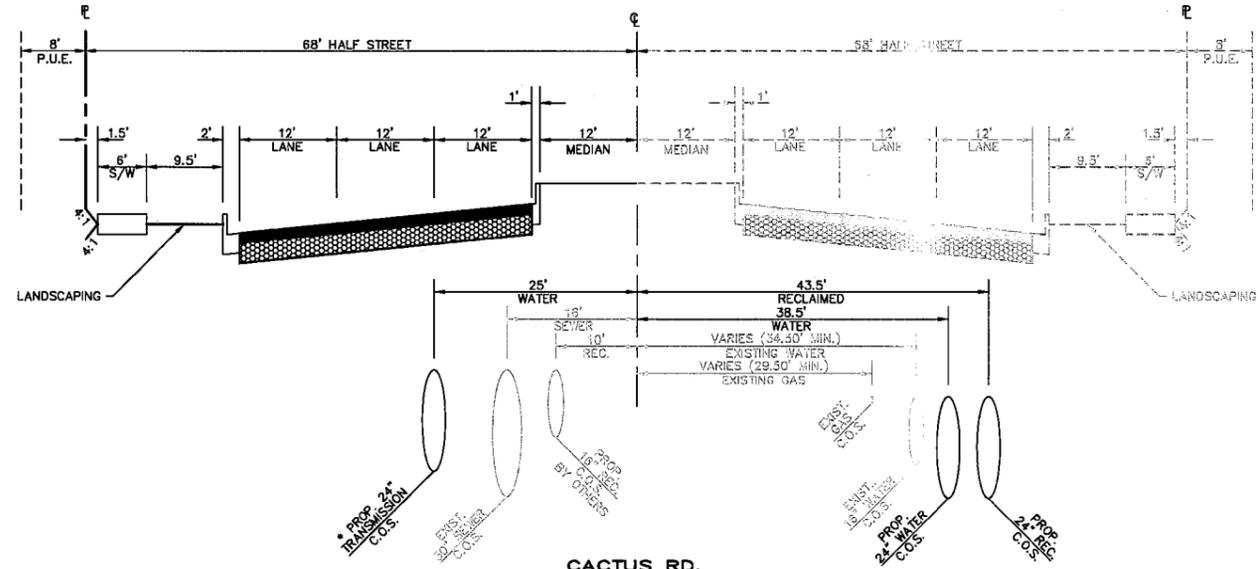
VICINITY MAP
N.T.S.



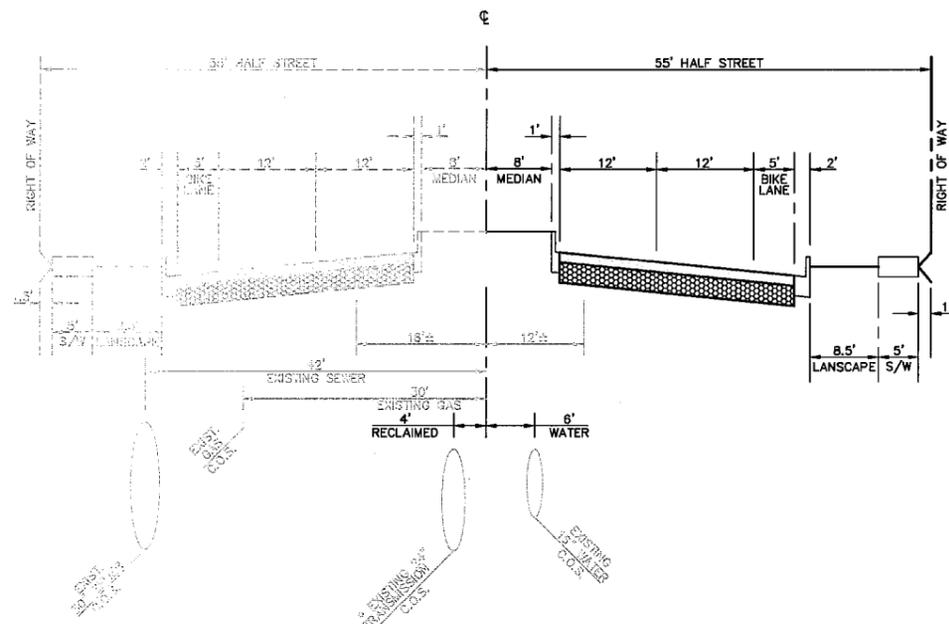
INTERNAL ROADWAYS
SECTION A-A
SCALE: 1" = 10' HORIZ.
1" = 2' VERT.



SWEETWATER RD.
SECTION B-B
SCALE: 1" = 10' HORIZ.
1" = 2' VERT.



CACTUS RD.
SECTION C-C
SCALE: 1" = 10' HORIZ.
1" = 2' VERT.
* NOTE: TENTATIVE LOCATION FOR PROPOSED 24" TRANSMISSION
DEPENDS OF LOCATION OF WELL ON-SITE.



LITCHFIELD RD.
SECTION D-D
SCALE: 1" = 10' HORIZ.
1" = 2' VERT.
* NOTE: TENTATIVE LOCATION FOR EXISTING 24" TRANSMISSION
DEPENDS OF LOCATION OF WELL ON-SITE.

REV.

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113 SOUTH ROCKFORD DRIVE, TEMPE, ARIZONA 85281
TEL: (480) 894-2820, FAX: (480) 894-2847

CONCEPTUAL ROADWAY INFRASTRUCTURE EXHIBIT
"VALENTINE 160"
VALENTINE REALTY COMPANY, INC.
SURPRISE, ARIZONA

PROJECT NO.: 1680
SCALE: AS SHOWN
DRAWN BY: T.J.P.
CHECKED BY: M.J.C.
DATE: 03-20-07
DWG: 1680-SECTION-EXB

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11. Grading & Drainage Plan

A. Drainage Patterns

Drainage patterns in the area slope in general north to south. The site is located within the limits of the ongoing Loop 303 Corridor/ White Tanks Area Drainage Master Plan (ADMP) being performed by the Flood Control District of Maricopa County (FCDMC). The BNSF Railroad veers to the northeast after passing the northern boundary and intersects Waddell Road just west of Dysart Road. The railroad tracks have effectively created a barrier for storm water that has in turn created a Flood Zone, 'A', that follows the tracks along the eastern boundary of the site. The remainder of the site is within a Flood Zone, 'X'.

Flood Zone 'A' is defined as "A SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD. The 1% annual chance flood (100-year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood.

According to the Flood Insurance Rate Map, the major portion of the site lies in flood zone 'X'. Flood zone 'X' is defined as "AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD".

B. Retention, Detention or Other Drainage Facilities and Character

A preliminary master drainage report dated August 2006, for the development to the north, "Surprise Point", has been prepared by Hunter Engineering. Based on the Loop 303 report, Hunter Engineering's drainage report states that the offsite flow coming from the north is 384 cfs. The Surprise Point development will contain this flow in an earthen channel. The offsite flow will be routed south and east through the development to a spreader basin located at the northwest corner of the intersection of Sweetwater Avenue and the BNSF railroad. A temporary condition may occur in which 384 cfs flow overtops Sweetwater Ave.

Ultimately the said offsite flow will be conveyed under Sweetwater Road by the proposed site developer. The 384 cfs flow will continue to be contained in an earthen channel and conveyed to the southeast corner of the site. The flow will weir over Cactus Road west of the BSNF railroad following its historical path. (See Conceptual Drainage and Grading Exhibit).

On-site retention will be required for flows generated both on-site as well as the half-street areas adjacent to the site. The City of Surprise requires new developments to provide stormwater retention for the 100-year, 2-hour storm event. Typically, surface retention basins are incorporated into the site plan for the purpose of stormwater storage. Surface basins may be up to 3' in depth, though deeper basins are sometimes permitted provided they are fenced. Usually, retention basin



side slopes are permitted to be no greater than 4:1, horizontal to vertical. Most often, drywells are used for draining the accumulated stormwater within the 36-hours allowed by Maricopa County. Temporary retention basins will be provided for each lot until the lot is developed. Temporary retention basins will be 1 foot depth with side slope of 4:1. (See Conceptual Drainage and Grading Exhibit, Figure 11.1).

C. Compliance with City of Surprise Standards

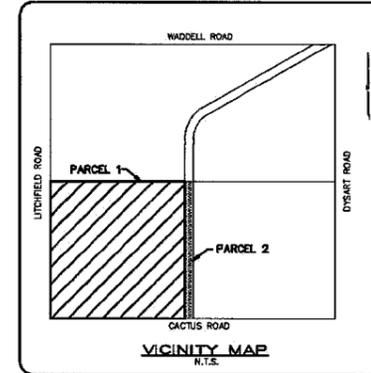
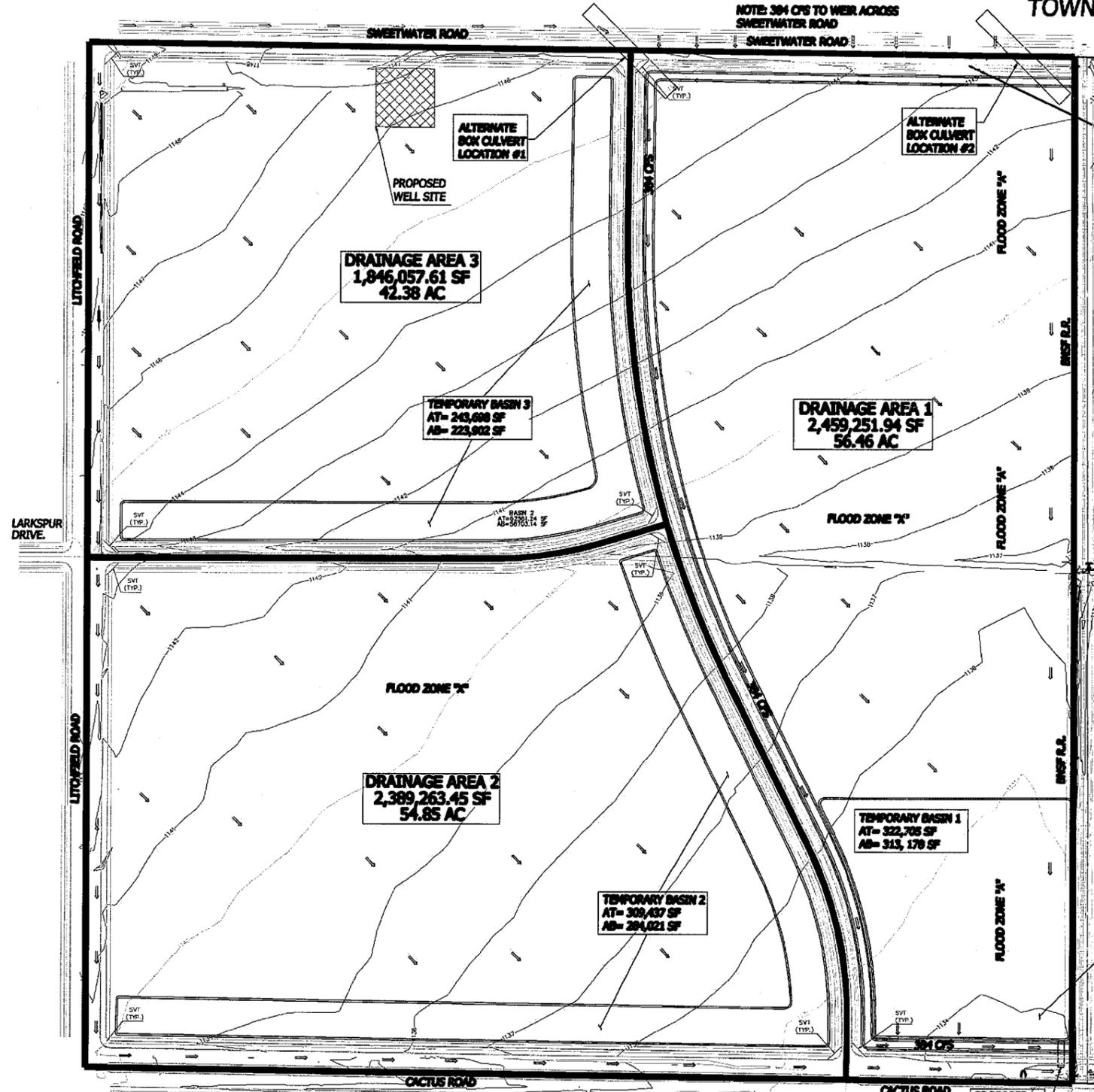
This grading and drainage plan, provided by Site Consultants, Inc., complies with the principles of responsible engineering and all standards set forth in the City of Surprise Standards.

CONCEPTUAL GRADING AND DRAINAGE EXHIBIT

BEING A PORTION OF THE SOUTHWEST QUARTER OF SECTION 15,
TOWNSHIP 3 NORTH, RANGE 1 WEST OF THE GILA AND SALT RIVER
MERIDIAN, MARICOPA COUNTY, ARIZONA

NOTE: 304 CFS PER WHITE TANKS ACOMP
LOOP 303 MASTER DRAINAGE STUDY
REPORT PREPARED BY HUNTER ENGINEERING
FOR "SURPRISE POINT"

NOTE: 304 CFS TO WEIR ACROSS
SWEETWATER ROAD



LEGEND

- DRAINAGE AREA
- FLOW ARROW
- TEMPORARY RETENTION BASIN

REC OF CACTUS AND LITCHFIELD ROADS
RETENTION SUMMARY

BASIN	DRAINAGE AREA	GROSS AREA (ACRES)	R _s (CF)	D (FT)	A _s (SF)	A _b (SF)	R _s (CF)	R _s > R _t ?
TEMPORARY BASIN 1	1	56.46	299,407	1.0	322,705	313,178	317,841	OK
TEMPORARY BASIN 2	2	54.85	289,969	1.0	309,437	294,021	290,729	OK
TEMPORARY BASIN 3	3	42.38	223,990	1.0	243,999	223,902	233,800	OK
TOTAL		153.7	812,355				845,470	OK

Retention Required (R_t) = C x (P/12) x A

Where:

- C = Weighted runoff coefficient = 0.52
- P = 100-year 24-hr rain depth = 2.80 inches
- A = Contributing Area (Ac)

Retention Provided (R_s) = (A_s / A_b) x D

Where:

- A_s = Basin Top Area (SF)
- A_b = Basin Bottom Area (SF)
- D = Basin Depth (FT)

CACTUS RD & LITCHFIELD RD
RUN OFF COEFFICIENT CALCULATIONS

100-Year 2 Hr

*C values part of ground cover taken from Table 3.2, Page 3-5; Drainage Design Manual for Maricopa County, Arizona, Vol. 1, Hydrology

Area: Entire Site (10 & 100-Year Event)

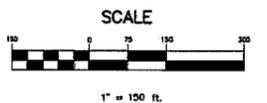
Ground Cover	C Coef.	A (acres)	Cx A
Pavement	0.85	20.85	10.81
Desert	0.46	132.83	66.77
Total		153.68	79.58

Weighted Runoff Coefficient = (C x A) / Total Area = 0.52

Weighted Runoff Coefficient (C_w) = (A₁ x C₁ + A₂ x C₂) / (A₁ + A₂)

Where:

- C = Runoff coefficient
- A = Contributing Area (Ac)



REV.

Site Consultants, Inc.
ENGINEERS • SURVEYORS • CONSULTANTS
113 SOUTH ROCKFORD DRIVE, TEMPE, ARIZONA 85281
TEL: (480) 894-2820, FAX: (480) 894-2847

CONCEPTUAL GRADING AND DRAINAGE EXHIBIT
CACTUS ROAD & LITCHFIELD ROAD
SURPRISE, ARIZONA

PROJECT NO.: 1680
SCALE: 1" = 150'
DRAWN BY: JC
CHECKED BY: MJC
DATE: 05-08-07
DWG: 1680-DM-04g

1
OF
1



12. Parking Plan

A. Site Ingress/Egress Locations

Ingress and egress locations for the overall site are as indicated on the preliminary conceptual site plan, Figure 6.1. Access to individual parking lots will be from one of the major internal roads. Driveway placement should be compatible with adjacent parcels.

B. Internal Traffic Circulation

Internal traffic circulation patterns are evaluated in Section 8, Circulation Plan. Specific layout of parking clusters on each lot will be per the City of Surprise Zoning Ordinance. If Areas A through E are subdivided into lots, shared access driveways into those smaller lots, as well as cross-circulation across these lots, would be appropriate and would provide clarity and ease of access for drivers.

C. Pedestrian Linkages

Pedestrian linkages will be based on the theory that connections are provided from the peripheral streets, onto the major internal roads, and onto each lot. Individual lot and area owners will be required to provide this linkage to meet the City's codes at the time of development unless modified by this PAD zoning document or superseded by a Development Agreement approved by the City Council. Within the Area A, pedestrian linkages will also be encouraged between lots of compatible use, in addition to access to the major internal road.

D. Proposed Landscape/Lighting/Signage

Parking lot landscaping and lighting shall be installed in accordance with the City's development agreement in the Design Guidelines Plan and the Streetscape Plan, as applicable at the time of development.

E. Loading/Unloading Areas

Loading and unloading areas shall be designed and screened per the City of Surprise Zoning Ordinance, however, nothing in this PAD or in the Zoning Ordinance shall dis-allow uncovered loading and unloading zones in all the areas of the Commerce Park. See further design recommendations for loading and unloading areas in Section 14.

F. Compliance

Parking stalls shall be a minimum of 9' by 18' and ninety degree parking shall be permitted throughout the Cactus Commerce Center.

Parking lot design within Cactus Commerce Center for commercial/retail areas, one space per 50 square feet of indoor public area, plus one space per 200 square feet of outdoor serving (patio) area.

For Retail store and service establishments, one space per 250 square feet of floor area.

For offices (except medical and dental) 0-5,000 square feet, minimum of four spaces and four spaces per 1,000 square feet. For floor areas 5,000-20,000 square feet, three and one-half spaces per 1,000 square feet and for floor areas over 20,000 square feet, three spaces per 1,000 square feet. Medical or dental offices will provide four spaces for each doctor or dentist plus one for each employee.

For the industrial areas, one space per 450 square feet of floor area, plus one space for each company-owned truck if not stored within the building. Warehouse, storage of bulk goods, one space per 1,000 square feet of floor area devoted to storage of goods, plus one space for each employee on maximum shift, plus



13. Landscape Plan

The landscaping plan within the PAD that complements the themes set forth in the Design Guidelines Section of this report, while also conforming to all City of Surprise ordinances in place at the time of development unless modified by this PAD zoning document or superseded by a Development Agreement approved by the City Council. Streetscape and onsite plantings will be within the design guidelines at the time of development. Reclaimed water will be utilized to irrigate landscape.

G. Identification of Existing Vegetation

Existing vegetation on-site is not native, nor is it considered significant. Preservation of any existing vegetation is not planned as part of this project.

H. Washes/Retention Areas or Utility Corridors

Retention areas and a 75' drainage easement running north-south on the east side of the main interior access road are planned to coordinate with the landscape theme for the project, further described below. Focal Point elements are proposed within the drainage easement, as indicated on the conceptual landscape plan, Figure 13.1, and further detailed on Figure 13.2

I. Common Recreation

Throughout Cactus Commerce Center, the landscaping theme will be carried into common open spaces in areas which can be enjoyed by pedestrians, Commerce Park employees, and neighbors. Bike racks will be provided. As indicated on the conceptual landscape plan, Figure 13.1, the following types of common areas will be provided:

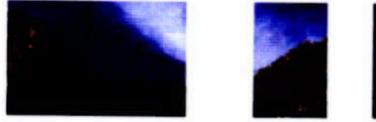
Focal Point Elements: These areas will be located along the east side of the north-south access road, within the drainage easement. Key features include benches with shade cover, pedestrian-scale paving, and a focal feature to draw attention to the location. See Figure 13.2.

Entry Monuments: The three areas shown on the conceptual landscape plan, Figure 13.1, are further described in Section 9. The landscape at these areas will serve the dual purpose of coordinating the on-site theme with the streetscape theme, while at the same time demarcating the entry point of the Park and creating a sense of place. See Figure 13.3 for a proposed design for these areas.

Pedestrian-friendly intersections: At what will likely be the busiest intersections within Cactus Commerce Center, pedestrian-friendly paving patterns and crosswalks are proposed as shown on Figure 13.4. Particularly in consideration of the scale of proposed uses within the park, it is important to remember that the pedestrian must feel safe and be easily able to transverse the project. Providing pedestrian-scale paving and reducing the scale of the intersection at crosswalks will provide pedestrian comfort. In addition, the pedestrian-scale paving will serve as a reminder to drivers to slow speed and proceed with caution.

J. Buffers and Setbacks

The site is bounded by thoroughfares on the south and west sides, and the BNSF railroad on the east side. To the north and east are planned projects including C-2, I-1 and I-2 uses. Of these four adjacent uses, the only applicable buffer zone will be the 80' easement for BNSF railroad on the far eastern edge of the property. Negotiations with the Railroad are already proceeding, and buffering along



this easement will be provided by meeting the most salient requirements of the Railroad and the City of Surprise. Height, area, and setback limitations for each area of the Commerce Park will fall within those agreed to by the City in the 1991 Development Agreement for this property as noted in the Design Guideline Plan.

K. Streetscape

The landscape theme shall tie Cactus Commerce Center into the overall landscape theme adopted by the City of Surprise. The streetscape plan includes the use of Evergreen Elms and Desert Museum Palo Verde Trees along the street frontage, and Southern Live Oaks in any parkway medians. The balance of the landscape materials prescribed for shrubs, groundcovers and accents are selected from the Arizona Department of Water Resources low water use plant list for the Phoenix Active Management Area (Phoenix AMA) and will be irrigated with reclaimed water. The streetscape proposed for the balance of the development shall select plant material from the Master Plant Schedule, listed in Figure 13.5. In order to create a uniform appearance throughout the development. The streetscape will reflect the overall landscape theme for the development. The goal of the street frontage is to unify the development with its surroundings, while providing safety and comfort for pedestrians. The size and quantity of plant materials for the streetscape and on-site plantings shall conform to those standards set forth in the City of Surprise's "Planning and Design Guidelines".

L. Maintenance

Excluding the three areas indicated as project entry monument spaces (called out on the conceptual landscape plan, Figure 13.1, and further detailed on Figure 13.3), all landscape improvements shall occur with the development of each lot. Any landscape improvements installed prior to the development of individual lots shall occur at the discretion of the developer, who shall assume the maintenance responsibility until the lot is sold.



Figure 13.2: Focal Point Element

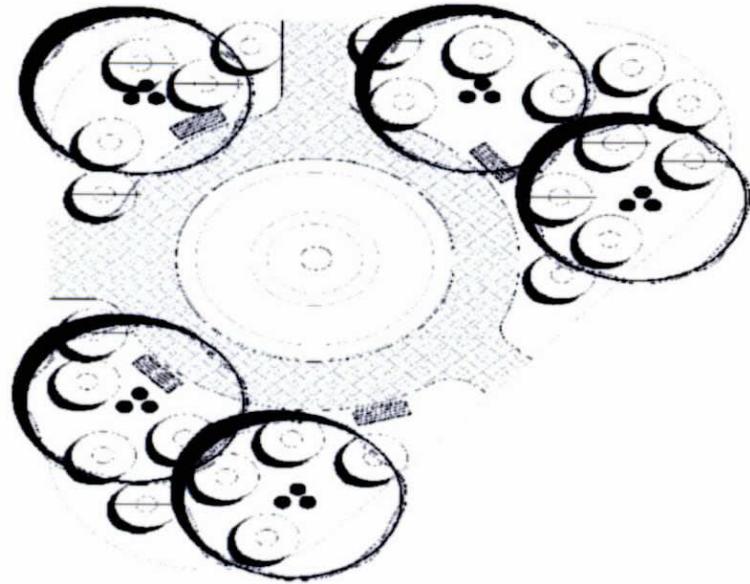
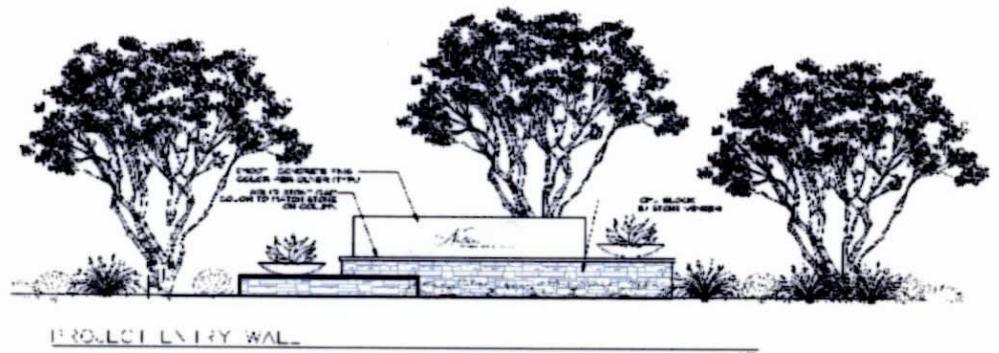


Figure 13.3: Entry



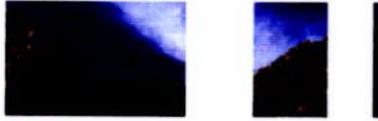


Figure 13.4: Paving Example

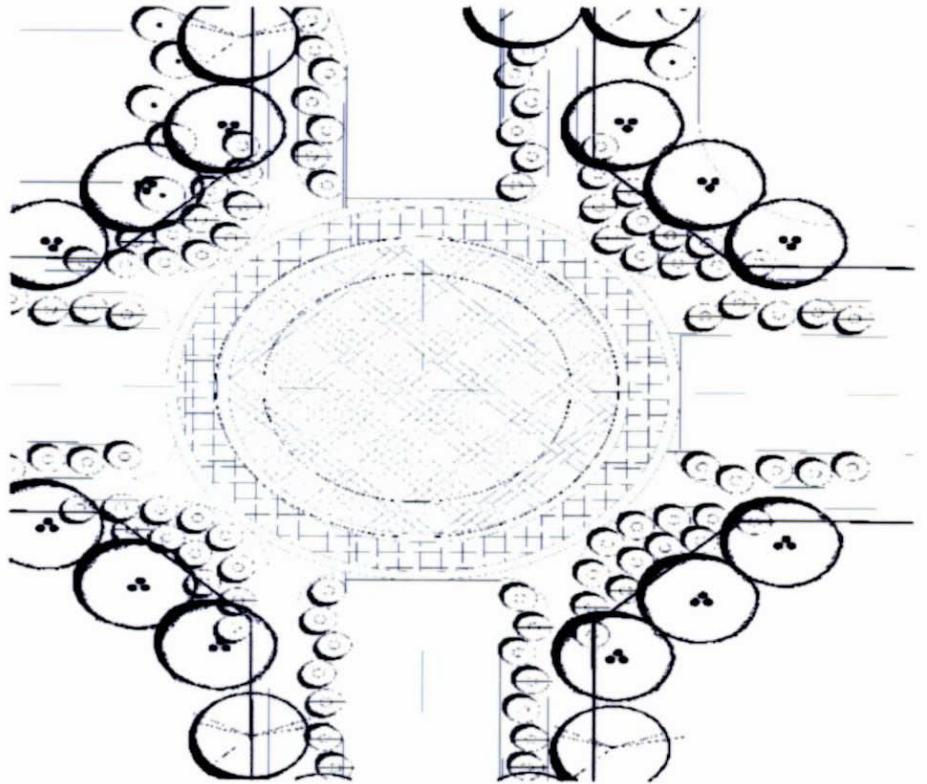




Figure 13.5: Master Plant Schedule



BOTANICAL NAME	COMMON NAME
---Trees---	
Acacia Spp.	Acacia (Varieties)
Cercidium Spp.	Palo Verde (Varieties)
Caesalpinea Cacalaco	Cascalote
Chilopsis Linearis	Desert Willow (Varieties)
Dalbergia Sissoo	Sissoo Tree
Lysiloma Spp.	Feather Tree (Varieties)
Olneya Tesota	Ironwood
Pistacia Spp.	Pistachio (Varieties)
Pithecellobium Flexicaule	Texas Ebony (Varieties)
Prosopis Spp.	Mesquite (Varieties)
Ulmus Parvifolia	Evergreen Elm
---Shrubs---	
Asclepias Spp.	Milkweed (Varieties)
Buddleia Spp.	Butterfly Bush (Varieties)
Caesalpinia Spp.	Bird Of Paradise (Varieties)
Cassia Spp.	Cassia (Varieties)
Calliandra Spp.	Fairy Duster (Varieties)
Cordia Spp.	Cordia (Varieties)
Dalea Spp.	Dalea (Varieties)
Dodonaea Spp.	Hopseed Bush (Varieties)
Eremophila Spp.	Emu Bush (Varieties)
Justicia Spp.	Justicia (Varieties)
Larrea Tridentata	Creosote Bush
Leucophyllum Spp.	Texas Ranger (Varieties)
Nerium Oleander	Dwarf Oleander (Varieties)
Pittosporum Spp.	Pittosporum (Varieties)
Raphiolepis Spp.	Raphiolepis (Varieties)
Ruellia Spp.	Ruellia (Varieties)
Salvia Spp.	Salvia (Varieties)
Tecoma Spp.	Yellow Bells (Varieties)
---Accents---	
Agave Spp.	Agave (Varieties)
Aloe Spp.	Aloe (Varieties)
Bougainvilla Spp.	Bougainvilla (Varieties)
Carnegieia Gigantea	Saguaro
Cereus Spp.	Cereus (Varieties)
Dasyilirion Spp.	Desert Spoon (Varieties)
Euphorbia Spp.	Euphorbia (Varieties)
Ferocactus Spp.	Barrel Cactus (Varieties)
Fouquieria Splendens	Ocotillo
Echinocactus Grusonii	Golden Barrel
Echinocereus Spp.	Hedgehog (Varieties)



Commerce Center

Figure 13.5: Master Plant Schedule (continued)

BOTANICAL NAME	COMMON NAME
Hesperaloe Spp.	Yucca (Varieties)
Muhlenbergia Spp.	Deer Grass (Varieties)
Nolina Spp.	Bear Grass (Varieties)
Opuntia Spp.	Prickly Pear (Varieties)
Penstemon Spp.	Penstemon (Varieties)
Yucca Spp.	Yucca (Varieties)
---Groundcover---	
Acacia Spp.	Trailing Acacia
Baileya Multiradiata	Desert Marigold
Baccharis Spp.	Baccharis (Dwarf Varieties)
Cynodon Dactylon	Mid-iron Bermuda
Dalea Spp.	Trailing Indigo Bush (Varieties)
Lantana Spp.	Lantana (Varieties)
Rosmarinus Spp.	Rosemary (Varieties)
Verbena Spp.	Verbena (Varieties)



14. Design Guideline Plan



The best designs start with what already exists in nature. This insight applies to the design and selection of colors, forms and textures which comprise Cactus Commerce Center. Architectural Design-Expressive timeless but with an element appropriate to the time of construction to assure a rich weave to contemporary southwest architecture that reflects a timeless design respectful of the central Arizona desert climate. Using four-sided architectural design, quality materials and professional workmanship shall be incorporated into each facade. The common architectural theme encourages an individual expression while creating a cohesive, distinctive personality that identifies Cactus Commerce Center in the marketplace.

Buildings located within Cactus Commerce Center will be encouraged to express themselves individually within the framework of these guidelines through the architectural interpretation of contemporary Southwest design of their facilities.

All architectural features shall appear as an integral part of the overall design, and building masses should be part of a strong design concept. Distinct masses should be visible in each elevation and each mass should be distinguished by vertical and horizontal offsets where functionally allowed.

Contemporary southwest architectural vocabulary with deep shaded overhangs, deep-set fenestration, and rich texturing of façade materials are encouraged. Building masses are to be simple in form and strong in geometry. Variations in the roof height and profile are to be used with discretion to conceal mechanical equipment.

Facade components shall be expressed to establish human scale building design. Compositions that emphasize floor lines or express a rhythm/pattern of openings are encouraged.

Building materials shall be contemporary in interpretation of the images of Contemporary Southwest to enhance the architectural image. Textured surfaces and matte finishes are encouraged to create visual interest. The following building materials are permitted within the Cactus Commerce Center:

- Tilt-up, poured in place, or precast concrete with stained or painted finishes, exposed aggregate, and/or architectural relief.
- Brick, concrete block (textured, split-face, ground-face or sandblasted), natural stone, cultured stone, and colored tile.
- Metal or steel buildings with exterior accent treatments to be cohesive with the framework of these design standards.
- Stucco, Dryvit, GFRC and all EIFS systems patterned with reveals to break up large expansive surfaces.
- Metal, fabric, and similar materials are encouraged as an accent material.

High Performance Low-E and tinted glass are encouraged. Reflective glass is limited to an outside daylight reflective factor of 30 percent or less. Highly reflective or mirror glass is prohibited.

All elevations of a building shall incorporate similar related materials, textures, details and colors.

Rooftops shall be considered important design elements as viewed from a variety of vantage points (at grade, from other buildings and adjacent properties).

Offsets or change of roof planes are required to provide visual relief. A mix of slope roof and flat roof forms are encouraged.



Flat roofs shall be finished with tones that complement the buildings' color pallet. Foam with protective/reflective coating is acceptable on flat roofs.

Awnings, windows and entrances are encouraged, and shall be comprised of consistent form, material, color, and mounting arrangement for structures utilized on one or more buildings. Awnings shall be canvas, cloth materials, or metal forms. Color of awnings shall complement the character.

A. Typical Design Themes, Styles, Unifying Elements

We envision this Park as a commercial interpretation of the timeless quality of contemporary architecture. It invokes tangible and intangible qualities to create the timeless quality and magnetism essential in achieving a place of destination. Strong forms and spaces create the genuine effects that understand the human scale required by this style. Elements which create a timeless contemporary style include ground level and second level plazas, towers, trellises, covered walks, gardens, mixtures of roof styles, ornamental features and the softness of building materials and architecture which establishes an inside to outside relationship and encourages the creation of outdoor gathering spaces.

B. Characteristic Detail Design Treatments

There is no emphasis on a specific building style or design; rather the images that follow are evocative of timeless contemporary design. The photographic images contained herein are not meant to illustrate the accepted solutions, but rather emphasize the pursuit of texture, ornament, variety, shade, shadow and materials all with a sense of the overall theme. The warmth and expressions portrayed in the following illustrations are to be used as inspiration only, not as actual designs to be developed.

C. Typical Development Walkway Designs and Treatments

Grading, berming and landscaping will assist in transitioning the buildings into the pedestrian environment while also serving to screen refuse storage and truck loading areas.

The character of the development will be developed through attention to three facets; linkages; a timeless contemporary southwestern design style and design excellence.

- 1) Linkages: Street trees, entrance feature materials and textures, paving materials and a host of simple background buildings that blend the commercial areas.
- 2) Timeless contemporary southwestern design style includes recognizable images with a strong sense of place. Ornamental features, covered walks, towers, ground level and second story plazas.
- 3) Design Excellence requires the use of strong forms and spaces essential to the staying power and magnetism of greatness. Innovative use of materials and colors, bold expressions, rich in metaphorical references to the past.

Massing & Detailing

Windows are strong architectural features that create relief in the building facades, grouped into recessed areas or bordered by projections which provide a shadow

Cactus Commerce Center



pattern and reduce reflection while providing protection from the harshness of the sun. The style and pattern of the windows should be consistent along all sides of the buildings

Color

Cactus Commerce Center seeks to create structures which blend into the entire development. During the development of each phase, several considerations will be kept at the forefront to establish a cohesive link within the development: 1) Color is affected by architectural design. A flat or plain surface will read lighter than a facade, which incorporates several articulations, creating shade and shadow; 2) Color is affected by related surroundings. The first phases may be judged differently than the later structures, as they will be required to relate to the earlier buildings and adjacencies. 3) Prominent buildings, or special features of building may require a greater intensity in color, providing the focal points that will serve as the visual links across the Cactus Commerce Center's project.

The paint samples that have been provided are not to infer the omission of a manufacturer but rather to display the range of color that is anticipated within Cactus Commerce Center. The colors chosen indicate the range of LRV level (25 -60) and have been provided to indicate the spectrum of color envisioned for Cactus Commerce Center.

To assure the Park enhances the overall area with a cohesive, attractive, and appropriate architectural statement, we propose a unified design theme as outlined in this Application. To achieve this, we propose the following design guidelines apply to all land use categories. The guidelines provided in this document are not absolute, but are general statements aimed at setting forth the expectations of the developer and the City. In addition to these guidelines, the project shall be consistent with the City's development agreement in the Design Guidelines Plan and Streetscape Plan.

Landscape buffers will be designed for the street edges and to emphasis the points of entry into the development.

Sidewalks shall link all commercial uses within the retail commercial areas. Sidewalks shall connect to the perimeter path systems as well as the internal Cactus Commerce Center Street network. Identify crosswalks with changes in paving materials, signs or paint striping.

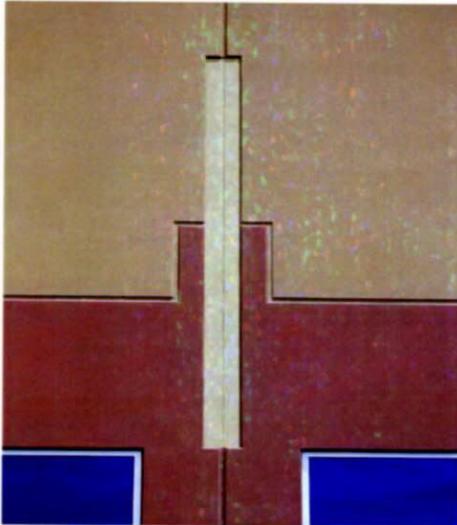
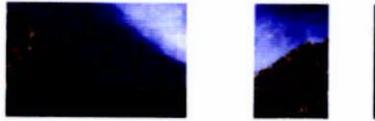
Service entrance and loading docks should use a common area to mitigate the impacts and to mitigate the circulation of service vehicles.

Overall continuity of pedestrian movements and active shopping, eating, and sitting areas should be encouraged. Avoid long distances between buildings. Maintain a pedestrian scale, especially at the ground level.

Given the magnitude of the Cactus Commerce Center, all facades of the buildings should incorporate elements of the design style. However, in areas where buildings will or are planned to expand, simple relief will be used. This may include various types of architectural techniques such as an EIFS relief, a wainscot system, change in material or color on the surface that will be expanded (where one phase meets another change in material or color will add interest).

We envision buildings designed to respond to the harsh southwest climate and oriented to recognize the value of appropriate landscaping and cooling requirements in harmony with the environment. Human scale massing and proportions should complement the buildings' function and the design should be harmonious with ad-





joining developments.

Canopies, arcades, and overhangs should be designed to create places of refuge for pedestrians and to create interest within the building design.

Mechanical and electrical equipment shall be concealed in a method that the enclosure is an integral part of the total building design. Loading, storage, and trash areas shall be similarly enclosed or screened from public view.

The building heights established within the Cactus Commerce Center shall be no more than 100 feet with 1:1 setbacks. Setbacks are intended to maintain a sense

	Building				Height	Parking			
	Front	Rear	Side	Corner		Front	Rear	Side	Corner
Employment District	35'-0"	15'-0"	15'-0"	25'-0"	100'-0"	10'-0"	3'-0"	3'-0"	10'-0"

Minimum building and parking setbacks have been established to provide an enhanced visual environment and safety of motorists and pedestrians.

Parking structures shall conform to the same building setback requirements.

Storage, refuse containers, services and loading areas shall be substantially screened from primary lines of site. (E.g., freeways, streets, primary entry drives and common amenity areas).

All storage cartons, containers, materials and equipment shall be contained within a building or screened by a decorative masonry wall.

Provisions shall be made for necessary vehicle loading for each building. On-street loading is only allowed within the Retail part of the development.

Service areas and loading docks shall be recessed and substantially screened by decorative masonry walls, berms, landscaping or a combination of these to limit visibility from the street.

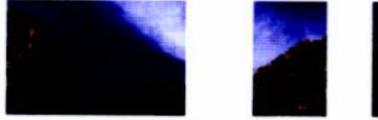
All outdoor enclosures shall be made of durable materials that are complementary in finish and color to the adjacent main buildings.

Mechanical Equipment: Building parapets shall be higher than the height of the mechanical equipment and ductwork to prevent separate roof-mounted screening devices. Roof mounted mechanical units shall be painted to match the roof/building color.

Store fronts and entrances should relate to pedestrian movements and parking whenever possible. Outdoor activities such as outdoor dining and seating areas shall be encouraged in the employment district.

D. Sign Design Themes and General Locations

Signage themes should support the individual entities within the development by providing adequate identification and information, a good visual environment, and promoting traffic safety, yet utilize materials to integrate with the overall de-



sign of the development.

Further, we propose the signage package be regulated to the extent necessary to be consistent with the purpose and intent of the sign requirements. Unless otherwise modified by this document or superseded by a Development Agreement approved by the City Council, signs shall be regulated and installed by the current applicable City of Surprise Municipal Code. In the event any provisions of this document conflicts with a provision of the City of Surprise Municipal Code, the provision within this document shall govern and control unless waived by the property owner.

A. Wall, Fascia, Mansard, and Parapet Signs.

1. General

- a. Wall, fascia, mansard and parapet signs are allowed only on the exterior elevation of the space occupied by the business.
- b. Wall, fascia, mansard or parapet signs may identify the individual businesses, building complex, or center, by name, and may identify up to three principal services when the name alone does not identify the general nature of the business.
- c. Any wall, fascia, mansard or parapet sign may include the street address, but shall not include advertising copy.

2. Aggregate Sign Area Allowed

- a. The maximum aggregate sign area is one square foot of signage for each linear foot of the business wall elevation. If the wall on which the sign is placed is two hundred (200) or more feet from any public right-of-way, the maximum aggregate sign area shall increase to one and one-half (1 1/2) square feet of sign area for each linear foot of building wall elevation. The total aggregate, area excluding all freestanding signage, shall not exceed 300 square feet and the maximum area of any one face shall not exceed 200 square feet. Businesses that share a building structure and do not have a designated leased/owned frontage shall be considered one business for the purpose of determining total aggregate area of street graphics.

B. Freestanding Signs

1. General

- a. Freestanding signs are permitted.
- b. The base of any freestanding sign shall have an aggregate width at least fifty percent of the width of the sign.
- c. Any freestanding sign shall not include any advertising copy.
- d. Any freestanding sign must include the number of the street address, but the area of these numerals shall not be included in calculating the allowed sign area.
- e. Any freestanding sign in a multi-tenant complex or shopping center, may advertise a business on a different parcel than the sign's location provided both parcels are a part of the same complex or center.

2. Maximum Number and Height of Signs Allowed.

- a. One freestanding sign shall be permitted for every 300' of a subject parcel's or multiple tenant complex's street frontage. On parcels with multiple street



- frontages, the signage for each street shall be calculated separately.
- b. Regardless of frontage width, a minimum of one freestanding sign is allowed per frontage.
 - c. The freestanding sign shall not exceed a height of ten feet.
3. Aggregate Sign Area Allowed.
- a. Freestanding Signs for Multiple Tenant Complexes.
 - i) The maximum sign area allowed for a freestanding sign in a multiple tenant complex is forty-eight square feet on parcels up to twenty acres and sixty square feet on parcels over twenty acres.
 - b. Freestanding Signs for Single Tenant Buildings.
 - i) The maximum sign area allowed for a freestanding sign for a single tenant building is twenty-four square feet on parcels up to two acres and thirty-six square feet on parcels over two acres.
- C. Identification of Tenants in a Multiple Tenant Complex.
1. Any freestanding sign within the multi-tenant building or shopping center may identify the name of the building, complex, or center and the names of tenants within the complex. The square footage of the name of the building, complex, or center shall not be included in calculating the allowed sign area.
- D. Special Provisions
1. Directional Signs.
 - a. Directional signs when required to assist the flow of traffic are permitted, but shall not exceed six square feet in area or three feet in height. Such sign may include business identification by word or symbol on up to twenty-five percent of the sign area.
 2. Directory Signs.
 - a. Directory signs when required to identify the location of the various buildings or businesses located within the center or complex are permitted as follows;
 - i) Each directory sign may be illuminated with a maximum area of eighteen square feet and a maximum height of six feet.
 - ii) The number and location of the signs must be approved by the Community Development Director or designee.
 3. Gasoline Service Stations
 - a. Freestanding Signs
 - i) When located in a multi-tenant complex or shopping center, each gasoline service station shall be allowed its own free-standing signage in addition to the complex or center's freestanding signs. One per right of way frontage and up to two total signs shall be permitted with a maximum signage area of 24 square feet each with a maximum height of 6 feet.
 - ii) 75% of the allowable sign area may be used to identify the current price of gas being sold.
 - b. Canopy signs
 - i) Such signs shall identify the business only.



- ii) The maximum number of signs per canopy shall be 4.
 - iii) The maximum signage area for any one canopy sign shall not exceed 6 square feet.
4. Drive-Thru Menu Boards.
- a. A maximum of two menu boards are permitted per business. Such signs may be freestanding or wall mounted.
 - b. The maximum aggregate area for a menu board shall not exceed forty-eight square feet.
 - c. The maximum height shall not exceed eight feet.

E. Master sign program.

The master sign program is designed as a flexible procedure to allow signage which is appropriate to the character of the development, provides adequate identification and information, provides a good visual environment, promotes traffic safety, and which might otherwise not be permitted under the provisions of the City Code or those superseding provisions of this PAD Document.

1. Master Sign Program Criteria.

- a. Any request for approval of a master sign program shall be submitted on an official Administrative Permit application, and processed in accordance with section 17.36.090 of the City of Surprise Municipal Code.
- b. Any master sign program shall be evaluated based upon the following criteria:
- c. Placement.

All signs shall be placed where they are sufficiently visible and readable for their function. Factors to be considered shall include the purpose of the sign, its location relative to traffic movement and access points, site features, structures and sign orientation relative to viewing distances and viewing angles.

d. Quantity.

The number of signs that may be approved within any planned area development or multiple tenant complex shall be no greater than that required to provide project identification and entry signs, internal circulation and directional information to destinations and development sub-areas, and business identification. Factors to be considered shall include the size of the development, the number of development sub-areas, and the division or integration of sign functions.

e. Size.

All signs shall be no larger than necessary for visibility and readability. Factors to be considered in determining appropriate size shall include topography, volume of traffic, speed of traffic, visibility range, proximity of adjacent uses, amount of sign copy, placement of display (location and height), lettering style and presence of distracting influences.



f. Materials.

Sign materials shall be compatible with architectural and/or natural features of the project. This may be accomplished through similarity of materials for sign structures and faces, the use of complementary colors, similarity of architectural style, and/or the use of a consistent lettering style or copy.

E. Lighting Fixture Specifications

Site and building lighting need to fulfill the requirements for safety and to match the level of detail found in the architecture. Lighting level shall be appropriate for the use and limit the impact on adjacent developments and night sky considerations.

Since we propose this development include a wide variety of environments from commercial, to retail and industrial, lighting will play an important role in creating the ambiance for the Cactus Commerce Center. Lighting standards will minimize visual impact while addressing safety issues. Lighting fixtures shall be arranged and fully shielded to contain the spread of light on the site avoiding reflection onto adjacent property and streets.

Indirect light sources shall be utilized for the illumination of buildings and architectural features. Architectural lighting that articulates the building features and provides functional lighting for safety and pedestrian areas is encouraged.

Service areas shall be illuminated with pole or wall mounted fixtures that project light downwards. Flood lights and wall-pack units are prohibited.

Paved parking and pedestrian areas shall maintain an illumination standard of 1.5 average foot-candles with a uniformity ratio of 12:1 max./min. Fixtures may be pole mounted at a maximum height of 30 feet. Illumination shall be provided with a maximum 175-watt metal halide lamp.

Exposed neon or gaseous light tubing and Tivoli lighting, is allowed in the retail employment districts. This style of lighting will be subject to design review approvals for all the other employment districts. All parking lot and pedestrian lighting shall comply with the City's dark sky ordinance.

F. Confirmation

We confirm that the Architectural Character of Cactus Commerce Center is Compatible with the surrounding neighborhoods.

ITEM 9

REPORT TO THE PLANNING & ZONING COMMISSION

CASE NUMBER: PP07-217 (Lofts at Parkview Place)
STIPULATIONS: a through j
PREPARED BY: Adam Copeland, Planner @ 623-222-3137

Application Date: May 29, 2007
Planning and Zoning Commission: December 18, 2007
City Council Date: January 10, 2008

APPLICANT/OWNER: Jon Jackson
8707 E. Vista Bonita 250
Scottsdale, AZ 85255
P: 602-405-0197
F: 480-993-0506
Jonjackson88@aol.com

REQUEST: Approval of a Preliminary Plat for The Lofts @ Parkview Place consisting of 107 owner occupied residential townhomes.

SITE LOCATION: Located on the southeast corner of Parkview and Young Street.

SITE SIZE: 6.57 acres.

<u>RECOMMENDATION:</u>	Staff recommends that this request, a Preliminary Plat for Lofts at Parkview Place (PP07-217), be approved subject to stipulations a through j .
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PROJECT ANALYSIS:

PROPOSAL

The Lofts at Parkview Place will consist of approximately 107 units. This project is designed as urban-style townhome product. The development is located in the Stadium Village master development. Of the 69-acre Stadium Village site, the subject project consists of approximately 6.57 acres.

Amenity areas are located at center of the site with appropriate pedestrian linkages to promote use. The pedestrian network appropriately connects to the surrounding Stadium Village project, which in context includes linkages to commercial, recreational amenities, and public facilities (Stadium, Library, Civic Center, etc.).

ITEM 9

The project is designed as an urban multi-family project that includes high-quality, owner occupied housing placed appropriately to the street and clustered around amenity areas.

The overall project will maintain consistency by using similar design treatments for the streetscape, landscape, lighting, signage and entry features used in Stadium Village. These performance standards are developed in the Orchards Third Planned Area Development document to ensure that the plan's integrity and vital community components are maintained throughout the development process.

BACKGROUND

Stadium Village is within the Orchards Planned Area Development that has been amended to reclassify the subject area to mixed use. To this date, the Planning and Zoning Commission has approved Shea Offices, Crestone Development, Stadium Village Residences, and the Holiday Inn Express within Stadium Village.

AREA ANALYSIS

Surrounding the Stadium Village site is single-family residential to the west, commercial and single-family residential to the north, Surprise Stadium to the south, and commercial/public facilities to the east. The subject project within the Stadium Village Site is appropriately located consisting of hotel/restaurant uses to the east, future commercial/office/residential to the north, and future higher-density residential to the west.

FINDINGS:

The subject project will enhance the urban activity generated from the Surprise Stadium, Library, Aquatic Center and the future City Hall Complex. Enhanced improvements will take place along Paradise Lane, Young Street, Parkview Place, and Stadium Way to promote pedestrian connectivity to Bullard Avenue. Bullard Avenue is considered a prominent urban street, because it ultimately leads to the above-mentioned prominent urban activities. Also, Bullard Avenue ends at Bell Road and will not act as a major thoroughfare. It is designed to be pedestrian friendly with low traffic speeds, large decorative sidewalks, shade structures, and urbanized contemporary architecture. When entering Bullard Avenue from Bell Road, the views will consist of a downtown atmosphere with buildings placed at a build-to line creating an urban street wall.

Buildings along Bullard Avenue, Young Street, Stadium Way, and Paradise Lane are all placed at a "Build-To line", where the buildings are moved up to the street in a symmetrical pattern. This concept is used in the Lofts at Parkview Place to promote an urban environment.

Traffic generation will increase with the subject project. The City reviewed the traffic impact analysis and has found that with the proper Right-of-Way dedication and dimensions, appropriate signal placement, and striping, that this site will become a functional active urban center.

ITEM 9

COMPLIANCE WITH PAD

The approved Orchards Planned Area Development Third Amendment consists of a strong set of guidelines that supersedes the City's current standards. The overall community has a set of principles and goals that tie together different land uses. The following statements are examples of types of principles that form the base of the Stadium Village Project.

- Provide for a lively outdoor atmosphere.
- Promotion for fully integrated urban core for the City with both residential and non-residential uses.
- Develop into a more intense urban form.
- The Mixed Use designation will also allow for, and encourage "live/work" land uses.

The zoning allows for modified setbacks and building heights in order to encourage intense urban development. The subject site plan complies with the Orchards Planned Area Development guidelines and requirements.

LANDSCAPING

There are broad community standards that bind together the Stadium Village community. The importance of providing shade is a central concern throughout the Stadium Village Development. Enhanced landscaping planting will occur along all streets and consist of tree grates and canopy shade trees, along with street furniture. Pedestrian activity areas will consist of enhanced urban-style landscaping to promote use.

The subject landscape plan is conceptual and will require a Landscape Plan Review to be submitted and approved by the Community Development Department.

DEPARTMENTAL REVIEW:

During the review process, the departments below had comments that were addressed prior to moving the subject project forward to the Planning and Zoning Commission subject to all stipulations:

The building division commented on accessible parking routes and number of spaces, which were revised to the City's standards.

The Engineering Department commented on using surface retention instead of underground retention. In order to maximize land use, underground retention was preferred by the applicant. Staff agreed to underground retention in this development as long as all designs were in compliance with the City's adopted underground retention guidelines. Underground retention was also agreed to in the development agreement for Stadium Village, allowing all properties the opportunity to utilize underground retention. The City is still researching pros and cons of underground

ITEM 9

retention, and expect the standards to evolve over time to avoid any failures and liabilities.

The Traffic Engineering Division has reviewed the Traffic Impact Analysis for the overall Stadium Village Site. The onsite circulation, Right-of-Way widths, and turning movements allowed have been extensively reviewed and shown to be sufficient for the site to operate at an acceptable level of service. The intersection of Bullard Avenue and Paradise Lane should be monitored and when traffic volume warrants are met, it should be improved and signalized. Because of the on-street parking and the low posted speed of Young Street and Stadium Way (25 mph), it is not recommended to add right turn deceleration lanes.

The Water Services Department had comments on water and sewer stubs. The comments were addressed.

The Fire Department had issues on some of the building placements, fire hydrant locations, aisle widths, access, and fire department locations. The applicant addressed all comments and modified the site plan with the proper drive aisle widths, number of fire hydrants and locations, and fire truck turning movement dimensions around corners. An additional emergency access point was created along Stadium Way to allow for three-points of access.

The Community Development Department had significant concerns on architecture, landscape, pedestrian connections, and the creation of a functional high quality urban project. The applicant worked diligently with staff in many meetings to address our architectural, pedestrian connectivity, housing, and general landscape comments. The applicant added materials, revised roof lines, changed colors, and created a pedestrian level urban atmosphere along the adjacent streets. Planning staff will ensure all materials and vegetation are consistent and blend with the surrounding projects and urban character of Stadium Village at the time of the Landscape Plan Review.

AGENCY REVIEW:

Luke Air Force Base had ongoing discussions with City staff to interpret the approved Orchards Third Planned Area Development Amendment and the Graduated Density Standards. The Orchards Third Planned Area Development Amendment allows for a total of 1,150 multi family units within the mixed-use land use classification. Currently, there are approximately 682 units approved in this area, which allows for a total of 468 multifamily units left to be constructed. With this development proposing approximately 107 residential units, the number of multi-family units remaining, subject to the approval of the Planning and Zoning Commission and City Council, is approximately 361.

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EXISTING UTILITIES AND SERVICES STATUS:

WATER City of Surprise

SEWER City of Surprise

FIRE PROTECTION The closest fire station is located on the NW corner of Parkview and Greenway Road (1/2 Mile south).

POLICE PROTECTION: The closest police station is located at 14250 West Statler Plaza (1 mile east).

STIPULATIONS:

- a) Prior to delivery of any combustible material to the site, fire department access and fire protection systems shall be completely operational in accordance with the approved plans by the Fire Chief and the City Engineer;
- b) Major changes to this Site Plan with regards to use and intensity must be processed as a revised application with approval by the Planning and Zoning Commission. Minor changes may be administratively approved by the Planning and Community Development Director, Fire Marshal, City Engineer, and Water Services Director;
- c) All parcel numbers shall be active prior to submittal of any building permit and shall stay active throughout the construction process until a Letter of Compliance and/or Certificate of Occupancy is issued. Any subdivision or lot split shall be reviewed and approved by the City of Surprise prior to recordation with Maricopa County.
- d) The applicant shall include all approved stipulations related to the project on the title sheet of construction plans prior to plan check submittal;
- e) Applicant or property owner must provide the City with approved earth moving permit by Maricopa County Environmental Services Department prior to release of any permits;
- f) Approval of this site plan is not to be construed as an approval of any violation of the current adopted Surprise Municipal Code at the time of submission;
- g) All roof mounted and ground mounted mechanical equipment shall be screened from public view and will be subject to the approval of the Planning and Community Development Director;
- h) All mechanical equipment, transformers, utility boxes, gas lines, shall be completely screened from public view prior to letter of compliance and/or Certificate of occupancy. Any changes to the landscape plan shall be submitted to the Community Development Department for review and approval;
- i) The site plan for the site is approved with this application;
- j) The perimeter sidewalk material shall be consistent with the adjacent projects. The applicant agrees to coordinate with adjacent property owners.

Stadium Village



BELL ROAD

Bullard Avenue

PROJECT SITE

Shae Offices
Approved

Crestone Master Site Plan
Approved

SITE

Stadium Way

Young Street

Lofts at Parkview
Place

Holiday Inn
Express
Approved

Diamond Resort
Pending Approval

Stadium Village Residences
Approved

Marriott
Pending
Approval

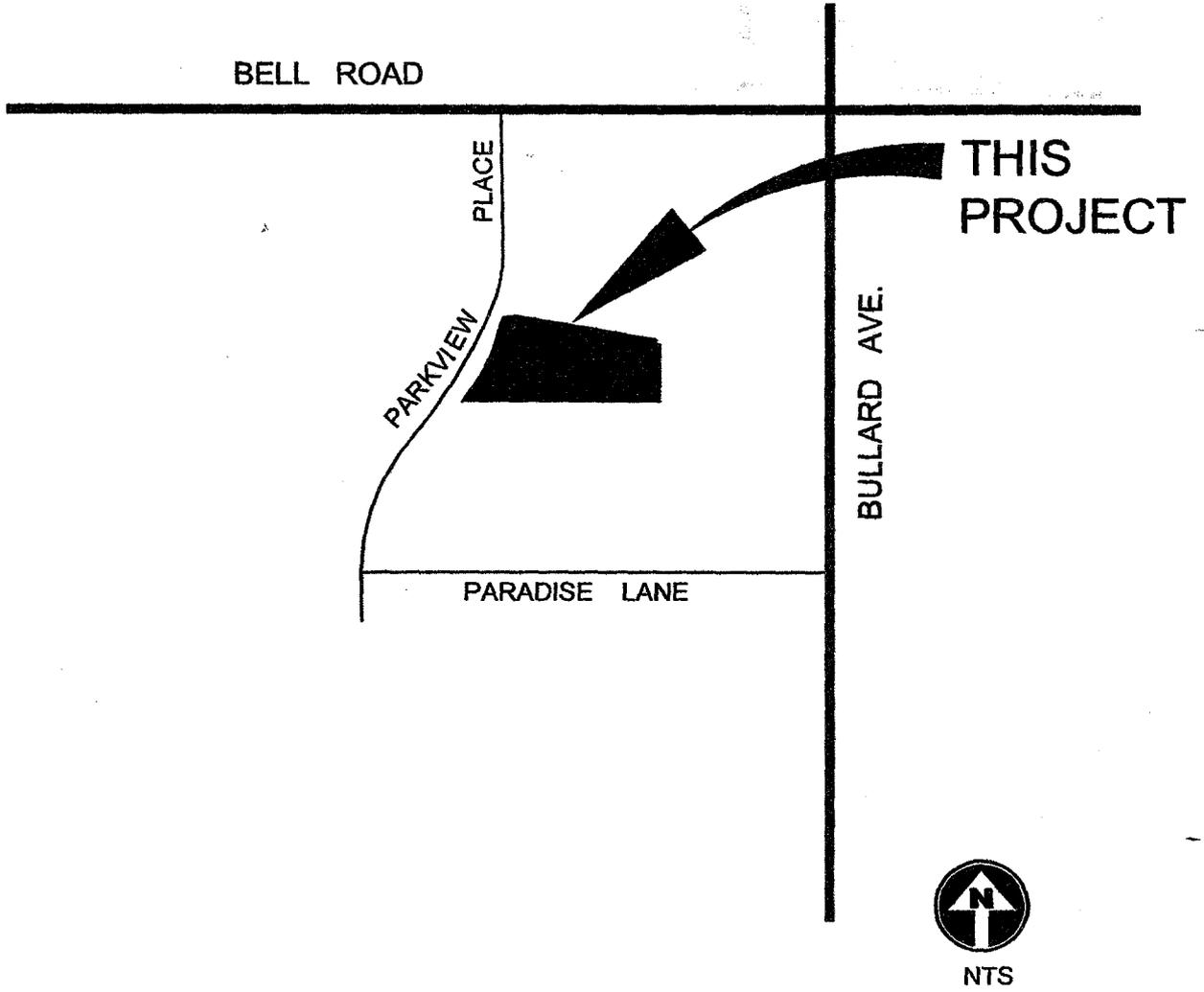
Paradise Lane



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The Lofts at Parkview Place



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LOFTS AT PARKVIEW PLACE
PROJECT SUMMARY

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PROJECT LOCATION:

The legal description of the property has been obtained from the recorded plat of the subject development provided by The Maricopa County Assessor's Office which lists the property parcel number as 509-12-739 with a legal description of STADIUMVILLAGE SOUTH MCR 853-45. Current zoning is Multi-Use.

The Lofts at Parkview Place will be constructed on approximately 6.57 acres identified as "Lot 6" in the Stadium Village planned area development in the city of Surprise, Arizona. Stadium Village sits in the center of Surprise's explosive growth region, with its Northern boundary being Bell Road, Paradise Lane as the southern boundary, the eastern boundary is Bullard Ave. and the western boundary is Parkview Place.



PROJECT DESCRIPTION:

The Lofts at Parkview Place is a 108 unit gated Townhome development which part of a 69 acre mixed-use development currently planned with a theater, commercial condos, apartment living, retail stores, two hotels and multiple restaurants. Stadium Village is designed to cater to business professionals and *The Lofts at Parkview Place* provides a unique residential, high end, loft style product which assists in promoting the City of Surprises' vision of developing a new urban area for its new city center. The advent of a unique lifestyle product like *The Lofts at Parkview Place* will blend perfectly into the theme of Stadium Village.

The Lofts at Parkview Place will have a secure gated entrance from Young Street with an additional gated exit onto Parkview Place. We have incorporated pedestrian gates leading onto Main Street which will provide the residents of *The Lofts at Parkview Place* access to the main thoroughfare for Stadium Village. Our project is designed with a community pool and dedicated clubhouse for residential & guest usage. The clubhouse will have a private gym that will provide top-of-the-line fitness equipment, locker rooms and showers for the enjoyment and health benefits of residents & guests. Also incorporated is a multi-use area that can be used as a Business Center to provide a private meeting area if needed and will double as an entertainment facility for the homeowners. The clubhouse includes a CYBER Café area with wireless internet access, a flat screen T.V., a kitchenette area complete with a refrigerator, microwave oven, sink and cabinets for the owners use.



The Lofts at Parkview Place

The pool, spa and barbeque area are located beside the clubhouse which provides easy access into the pool area and allows convenient interaction for homeowners. Our concept creates a user friendly environment where the owners can relax, interact and enjoy their lifestyle without needing to roam far from home!

The individual units will be three story loft style Townhomes with a rooftop patio offering 360° views. There are four floor plans in all. Each floor plan consists of the basic design with different square footage for each. The first floor of each unit is comprised of a two car garage, utility room, powder room and a multi-purpose room that may be used as an office or guest bedroom. The second floor will have the kitchen, dining area, powder room and the main living room which features a walkout balcony. The third floor will contain either a two or three bedroom layout, master bath, master bedroom having a private walkout balcony, guest bath and spiral staircase to the rooftop patio. The functional roof top patio has been designed with a Jacuzzi/Spa option is a desirable and unique addition for these Townhomes. The objective is to encourage residents to maximize an enjoyable lifestyle in an active, engaging location without leaving the City of Surprise.



LANDSCAPING:

The landscaping will incorporate a number of ideas and concepts that will accentuate the space and create an inviting atmosphere.

Outside the gates along Parkview will be approximately seven Palo Brea trees along with natural desert shrubs and bushes. Palo Brea trees will also be highlighted throughout the planter boxes on the sidewalks. This will encompass Parkview, Young and Main Street.

The walkways along those streets will thus be shaded and decorative but also limited by the walkways. On the interior of the property we will have a center Island containing a decorative walkway that will be shaded by freestanding tubular style structures along with Sissoo Trees and a few Palo Brea's mixed in. We will also have a free standing Gazebo/Ramada where the homeowners can sit and enjoy the sounds from our water feature while enjoying the view of the Island greens we are providing. The walkway will wind a path through this Island paradise and eventually merge with the walkway that leaves our little haven and ends up out on Main Street in the middle of the PAD that is Stadium Village. The Lofts at Parkview Place will provide an irrigation system to all of the plants, trees and grass contained within our property. We will also have an irrigation system for the trees, shrubs and plants on the outside of our walls that are within our original property line. The southern most wall where there is no street identifying a change of property will be a six foot high masonry wall. The planter on the inside of our fence line will contain approximately 25 to 30 Sissoo trees to offer a separation of property and environment. Our Landscaping Plans have been provided and are containing a tremendous amount of detail on all of the items listed.



HISTORICAL DATA:

The subject property has been involved in two sales since 2005. According to information found at the Maricopa County Recorders office web site the property was sold by Stadium Village,LLC to Crown Commercial Investments,LLC on Sept. 29, 2005 in a raw land state containing 286,083 square feet. On that same day the property was resold to Stadium Investments,LLC .

In November of 2006 the property owners entered into a joint venture agreement to develop the land with Land Consulting and Development, Parkview Investment Group, Skill Construction and Dynamic Development Solutions. This Joint Venture was created to develop the land into Townhomes for sale. A new company was formed to construct and sell the Town-homes called *The Lofts at Parkview Place*. The area is in the process of being improved with the off-site infrastructure currently under construction consisting of roads, utilities, water and sewer. A Joint agreement with all of the owners within Stadium Village was put in place and Millennium Property Development Nevada is overseeing this undertaking. Permits for this work have been pulled and work has been started.

The Lofts at Parkview Place

AREA ANALYSIS:

Access to *The Lofts at Parkview Place* consists of Bell Road, Loop 303 and Litchfield Roads which are major arteries already in place. Future development of Loop 303 is currently underway and will enable north and south access to remain an easy transition from *The Lofts at Parkview Place*.

The Lofts at Parkview Place is directly north of and within walking distance to the Surprise Recreation Center and Sports Complex. The Sports Complex is home to the Texas Rangers and Kansas City Royals Major League Baseball Spring Training, the Fall Cactus League and hosts other venues throughout the year. This center



alone supplies recreation and entertainment to over approximately 100,000 people per year since its inception in 2002. Also within walking distance from *The Lofts at Parkview Place* are the Heard Museum West, a regional public library, Dream Catcher Park and a new Aquatic Center. Tennis and raquet ball centers are underway as well. There is big-box retail development 4 miles to the east and smaller retail shopping areas about 1 mile north from this project. A major hospital is being built to the west about



The Lofts at Parkview Place

3 miles, a United States Post Office is within walking distance and an elementary school and junior high school are also within walking distance of *The Lofts at Parkview Place*. *The Lofts at Parkview Place* sits within a 69 acre Planned Area Development (PAD) known as Stadium Village. The idea for these 69 acres is to develop a unique walking City Center that will create an urban lifestyle not currently available in the West Valley. By creating retail shops and boutiques, outdoor cafés, restaurants, office condominiums, high-end apartment living, a 15 screen theater and a pair of hotels, this project will bring multitudes of activity to the Surprise area. The market for product like *The Lofts at Parkview Place* continues to be driven by the steady growth in population and employment in the Surprise area. This growth coupled with the need for office space, shown by the dramatic drop in vacancy rates throughout the Valley's commercial real estate market, and a need for quality living are common factors that create the demand for an area where people can both work and live such as *The Lofts at Parkview Place*.

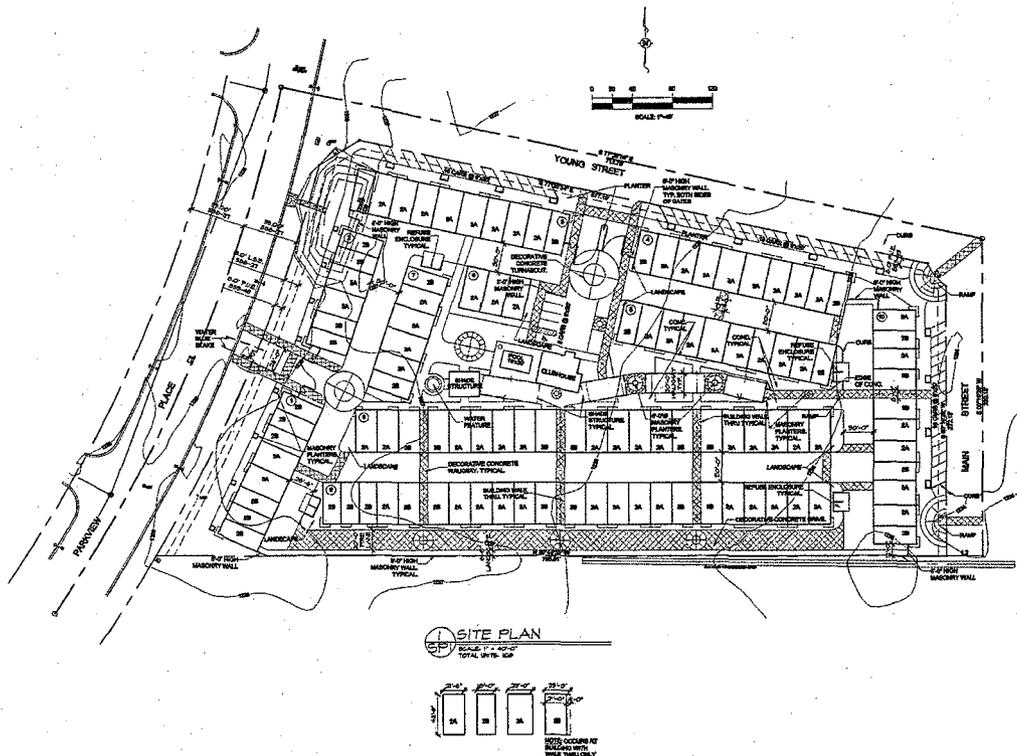
The Lofts at Parkview Place is located within the city of Surprise which is in the Phoenix Metropolitan area. The City of Surprise is considered to be the fastest growing area in the Valley of the Sun with over 7900 residences in direct proximity to *The Lofts at Parkview Place* and plans for another 3000 residences to be developed over the next few years. Having recently claimed the seventh spot on the micro-cities list in Foreign Direct Investment magazines "Cities of the Future", Surprise is the leading city among other Maricopa county cities as the place to live and work. Surprise also ranked highly in multiple other categories; first in best development and investment potential, second for best infrastructure, third for business friendly environment and third for quality of life.

The Lofts at Parkview Place

Surprise is one of the fastest growing areas of Maricopa county and the huge influx of jobs throughout the entire Valley of the Sun has fueled growth and is projected continue at a healthy pace. New homes, class A office buildings, office condominiums, industrial space and retail strip center construction continues to be a strong sector for the areas economy only adding to the demand for products like *The Lofts at Parkview Place* in an expanding community.

INFRASTRUCTURE:

Stadium Village has an off-site development plan which has been approved by the city and takes into account the new roads and utility tie-ins, lighting, parking and traffic control.





The Lofts at Parkview Place

The Lofts at Parkview Place has on-site infrastructure and landscaping plans which when completed will include sewer, water, electrical, cable, lighting, fire hydrants, a various desert friendly plants and paved roads. The spacing between the buildings for the roads is approximately 30 feet and includes a fire lane along the south wall of the property to allow for the cities fire department and engines access to serve site requirements.

Surrounding the back of the clubhouse will be a grassy area with a shaded walking path that will incorporate a tubing style shade structure to supply shade to and from the clubhouse. Using this type of product for the shaded areas will maintain an urban feel while accommodating the need for shaded comfort in Arizona. A wonderful water feature will be located centrally within the development to create ambiance and added enjoyment for each resident of *The Lofts at Parkview Place*.

The majority of the water retention will be under ground accounting for the 100 year flood rule. *The Lofts at Parkview Place* is responsible for half of the run-off water from the exterior streets of Parkview, Young and Main, and the interior common areas which will be directly connected to the onsite underground retention storage tanks that run under the interior private roads.

Most of the landscaping throughout the development will utilize desert-scape utilizing low water use plants on the interior and exterior of the property. Exterior fencing will be made of block with wrought-iron gates and caps, lighting of the streets and common areas will conform to city specifications, and currently 6 separate fire hydrant locations are provided for within the development.



The Lofts at Parkview Place

All of the private drives are designed to accommodate the largest fire engineering currently in use. As noted on the plans the required turning radius has been accounted for within the development.

Private gates have been strategically placed to allow and encourage foot traffic out of the site which leads out into the planned area development of Stadium Village.

As shown on our plot plans, sidewalks along Young and Main streets have been designed with planter boxes in addition to the already planned desert-scape in front of the community fencing and islands have been designated within the street parking locations to accommodate for light poles that will be in place from the offsite construction. We will enhance the common corners of Main and Young Streets that *The Lofts at Parkview Place* shares by conforming to and complementing the already approved Stadium Village landscaping, color palette plans and construction styles. These will add an aesthetic appeal to the area as people walk to and from shopping, theater and restaurants.

PHASING:

We are proposing a minimum of three construction phases. With the off-site construction underway we have a major component already started. This will help us with our on-site requirements as the utilities, water and sewer are already being brought to the inside of the property. This will expedite our overall construction process and allow for timely development to occur.



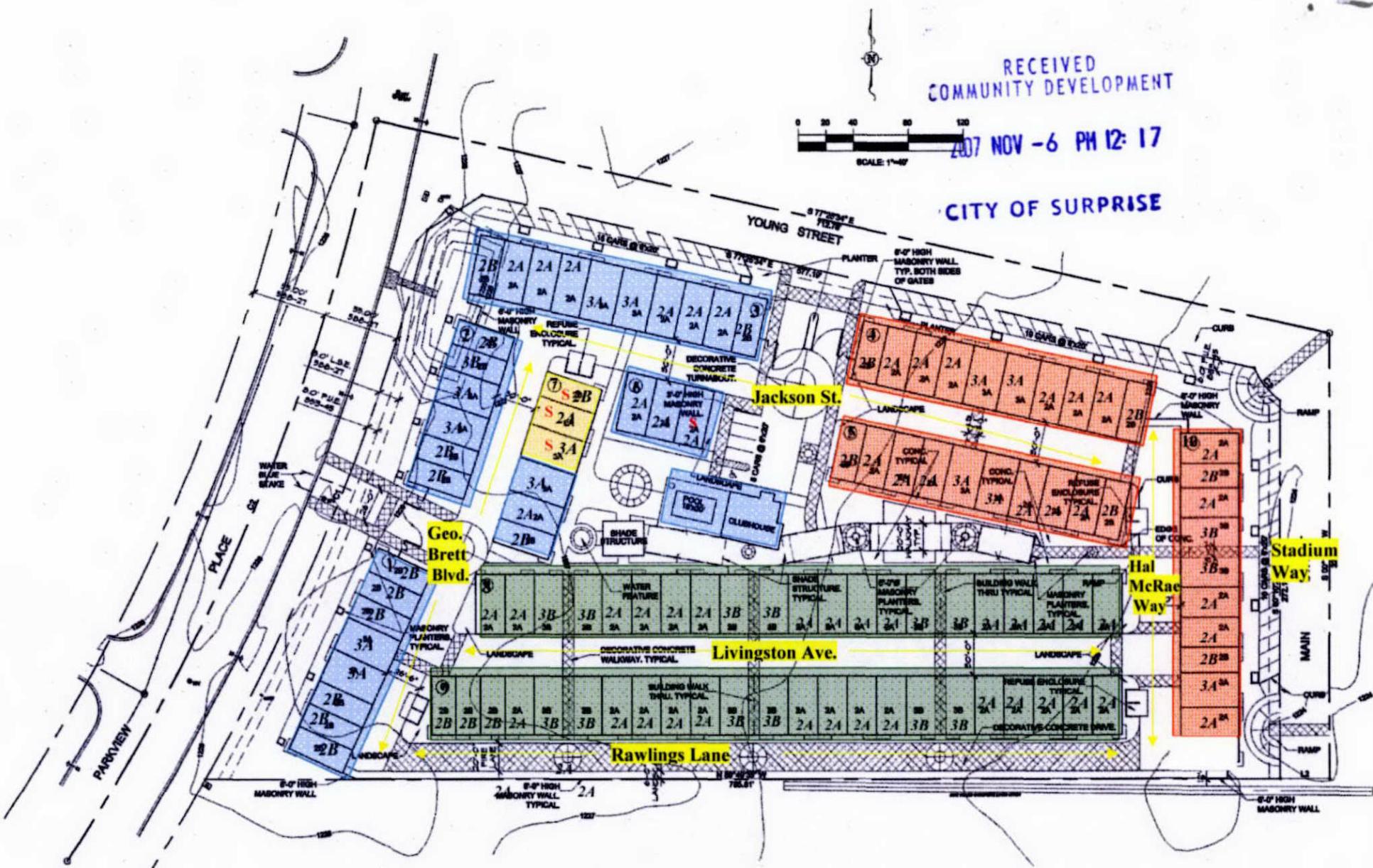
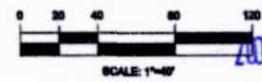
The Lofts at Parkview Place

Our first priority would be to build the models, which are building number 6 and consist of 3 of the 4 floorplans offered. After the models are completed we will concentrate on construction of the clubhouse, pool and barbeque areas. The roads and infrastructure would be constructed while building the models. We will be completing the landscaping of each phase during the construction of that phase. The areas will be determined based on ease of accessibility during construction. All fencing along the southern property line will be completed during the first phase of construction. Obviously presales will determine the total number of units that will be completed in phase 1. Our initial estimate is to construct 33 units in phase 1. These will focus on the Parkview road side (west side) of the property. The two buildings along Parkview, the three unit building next to the clubhouse and the six units building directly south of that which will hold the Models we are constructing. By moving ahead in this manner we will be able to construct the clubhouse area and move forward with landscaping the center courtyard area. It also allows a natural path toward the buildings along Main Street.

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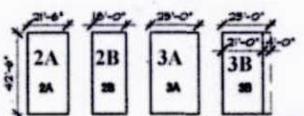
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CITY OF SURPRISE



Models
Phase One
Phase Two
Phase Three
S = Sold

1 SITE PLAN
 SPI SCALE: 1" = 40'-0"
 TOTAL UNITS: 106



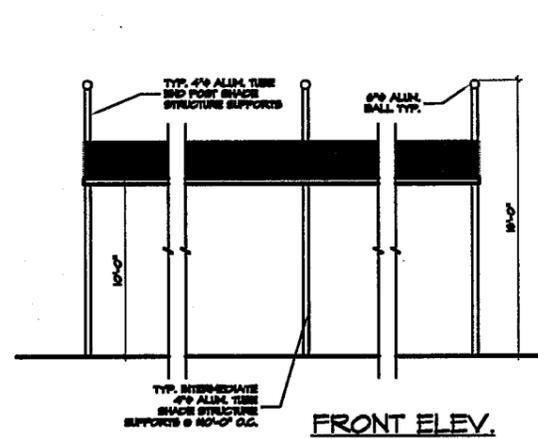
NOTE: OCCURS AT BUILDING WITH WALK THRU ONLY

2A = van der Rohe 3A = Sullivan
 2B = Soleri 3B = Palladio

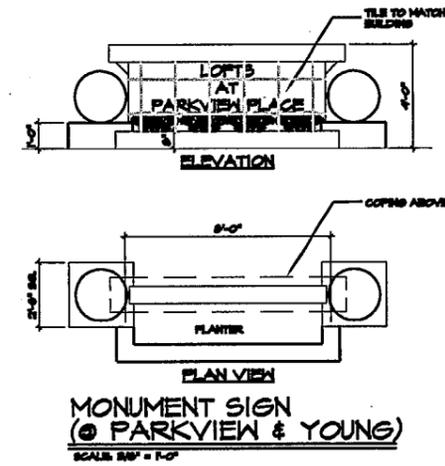
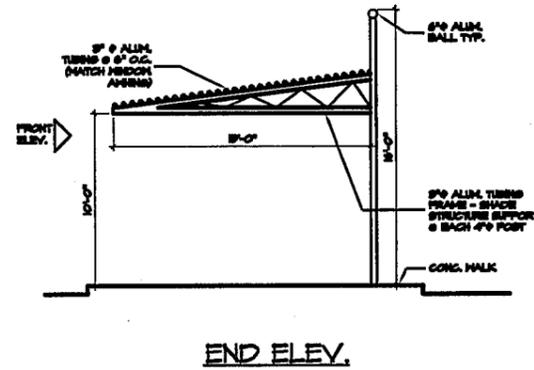
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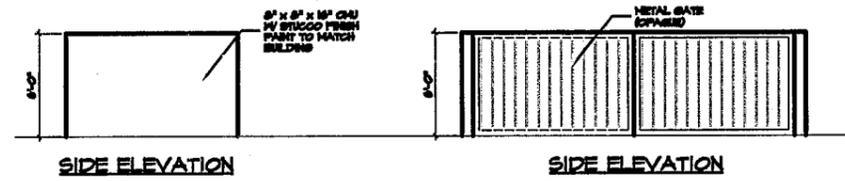
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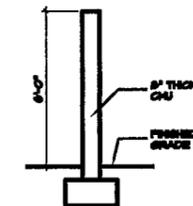
TYP. SHADE STRUCTURE @ COURTYARD WALKWAY
SCALE 1/4" = 1'-0"



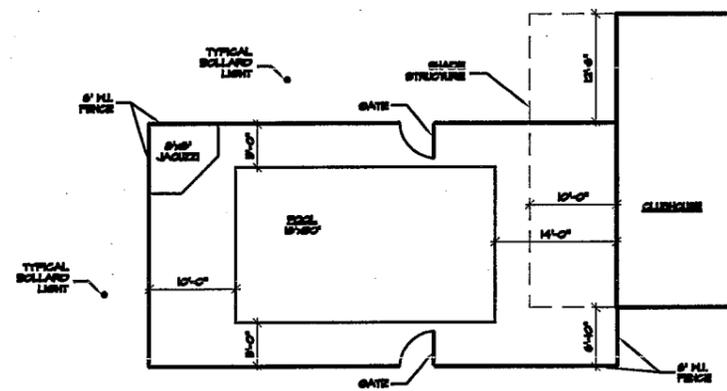
MONUMENT SIGN @ PARKVIEW & YOUNG
SCALE 3/8" = 1'-0"



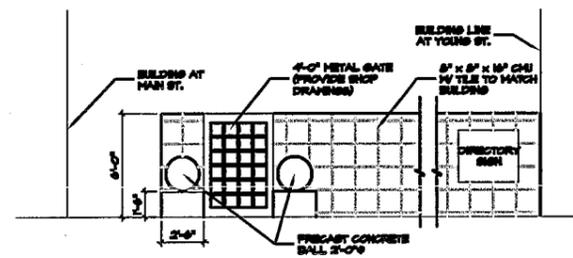
REFUSE ENCLOSURE
SCALE 1/4" = 1'-0"



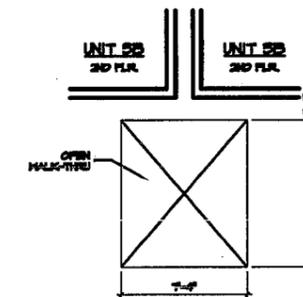
SECTION @ R.E. WALL
SCALE 3/8" = 1'-0"



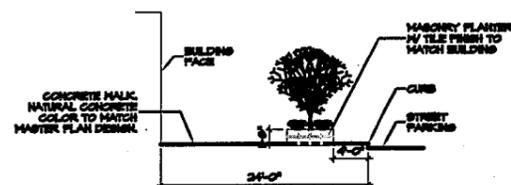
POOL DETAIL
SCALE 1/4" = 1'-0"



ENTRY GATE @ STADIUM WAY & YOUNG
SCALE 1/4" = 1'-0"

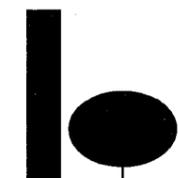


BUILDING WALK THRU @ UNIT 3B
SCALE 1/4" = 1'-0"

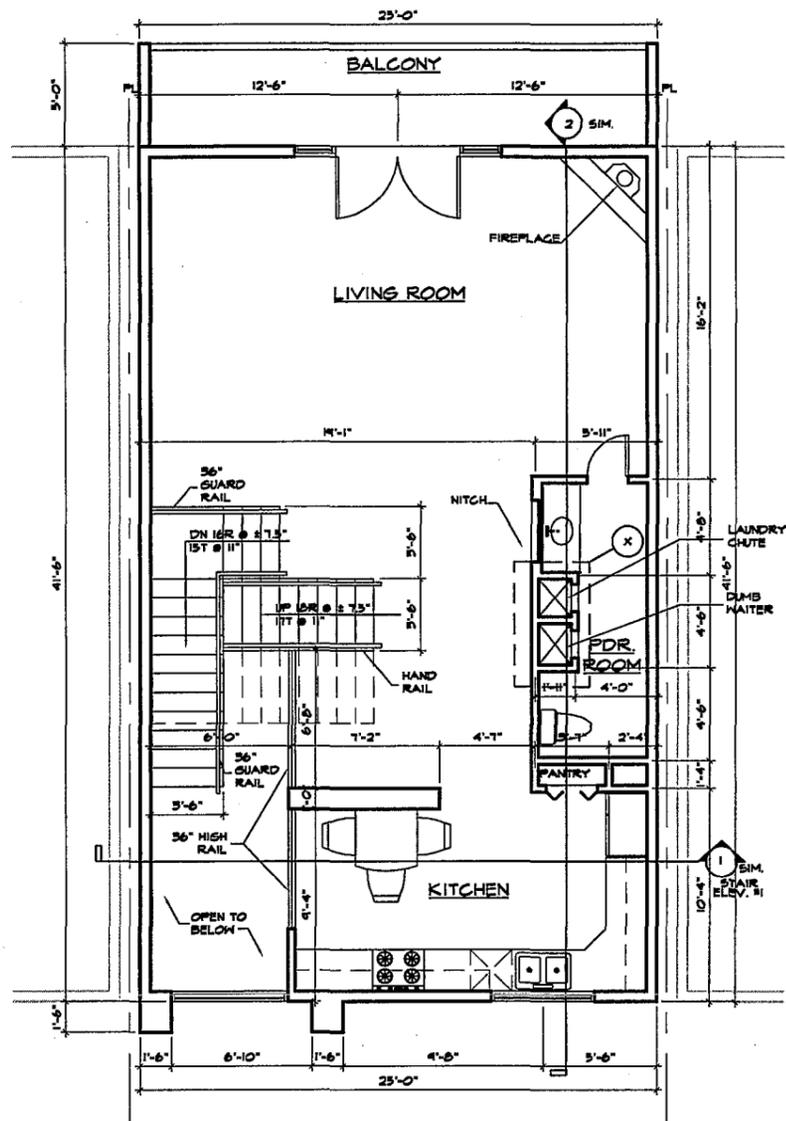


SECTION AT STADIUM WAY
SCALE 1/4" = 1'-0"

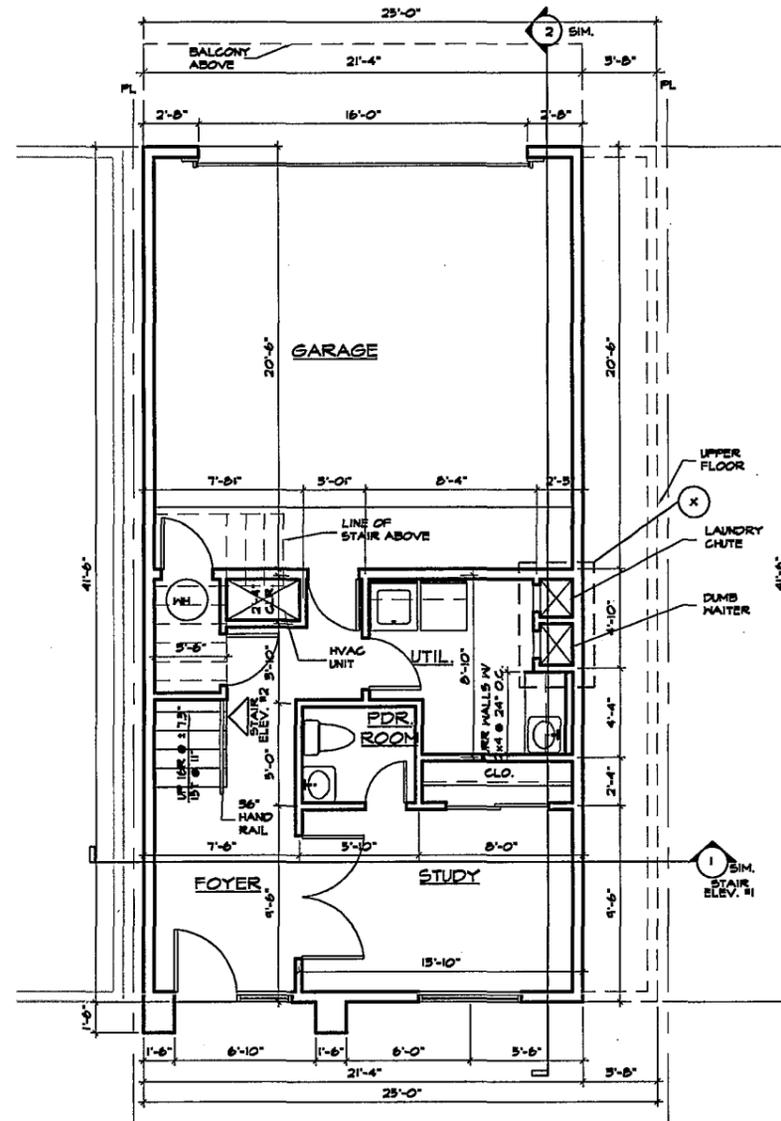
LOFTS AT PARKVIEW PLACE



**GLENN KENNEDY
ARCHITECT**
1811 S. 39th Street #33
Mesa, AZ 85206
(480) 807-5514



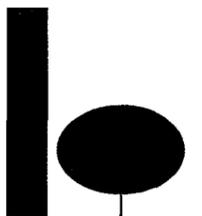
2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"



1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

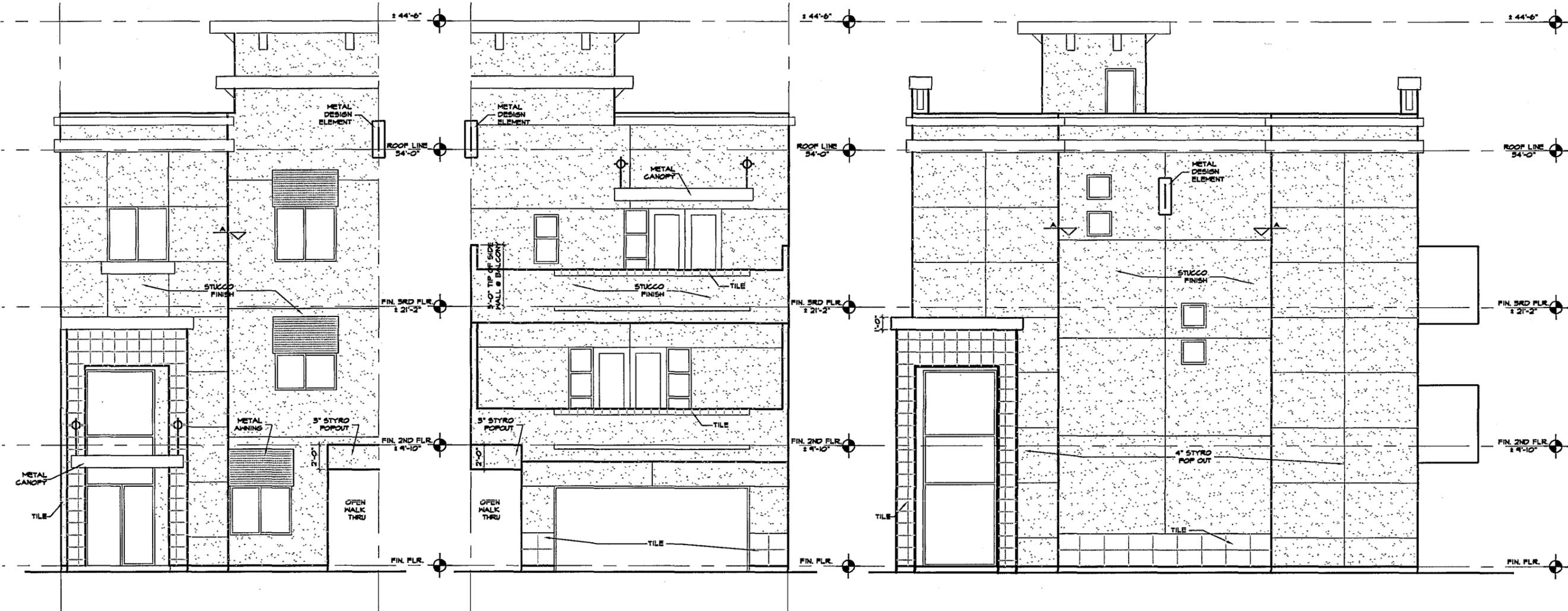
PLAN 3B

LOFTS AT PARKVIEW PLACE



**GLENN KENNEDY
ARCHITECT**

1811 S. 39th Street #33
Mesa, AZ 85206
(480) 507-5514



PLAN 3B

PLAN 3B

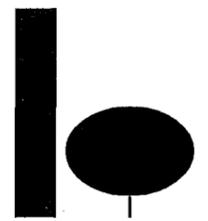
FRONT ELEVATION
SCALE: 1/4" = 1'-0"

REAR ELEVATION
SCALE: 1/4" = 1'-0"

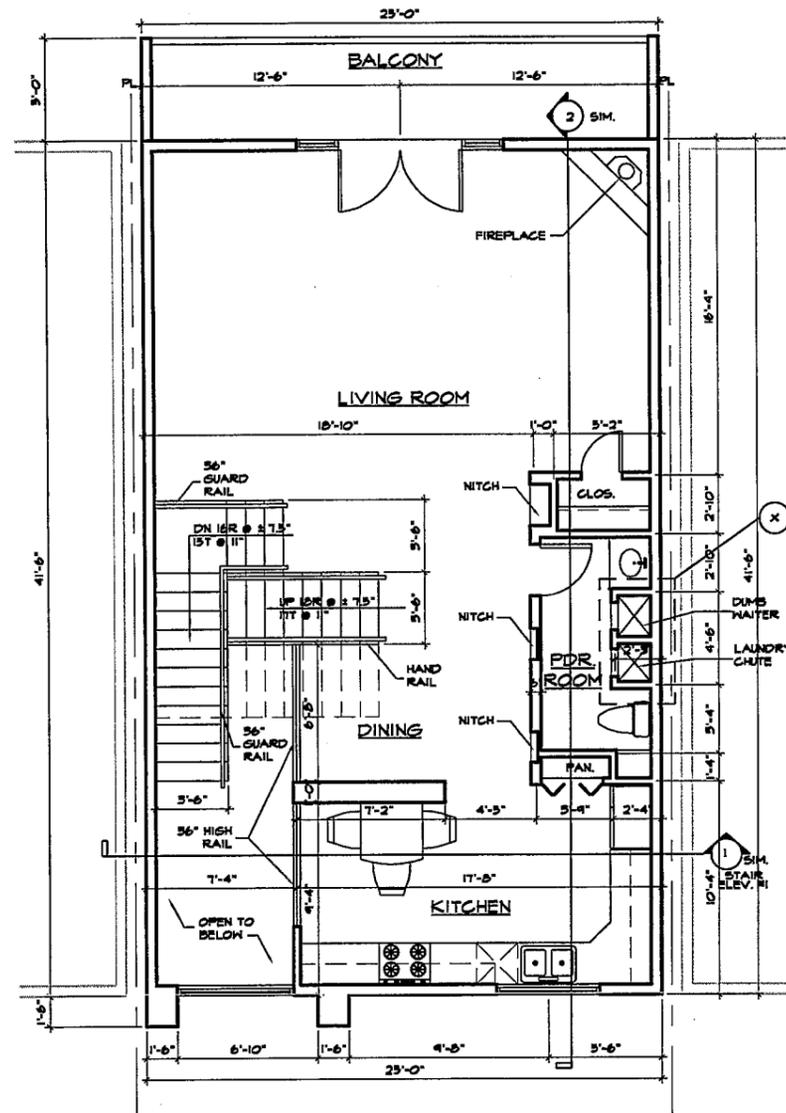
SIDE ELEVATION - TYPICAL
SCALE: 1/4" = 1'-0"



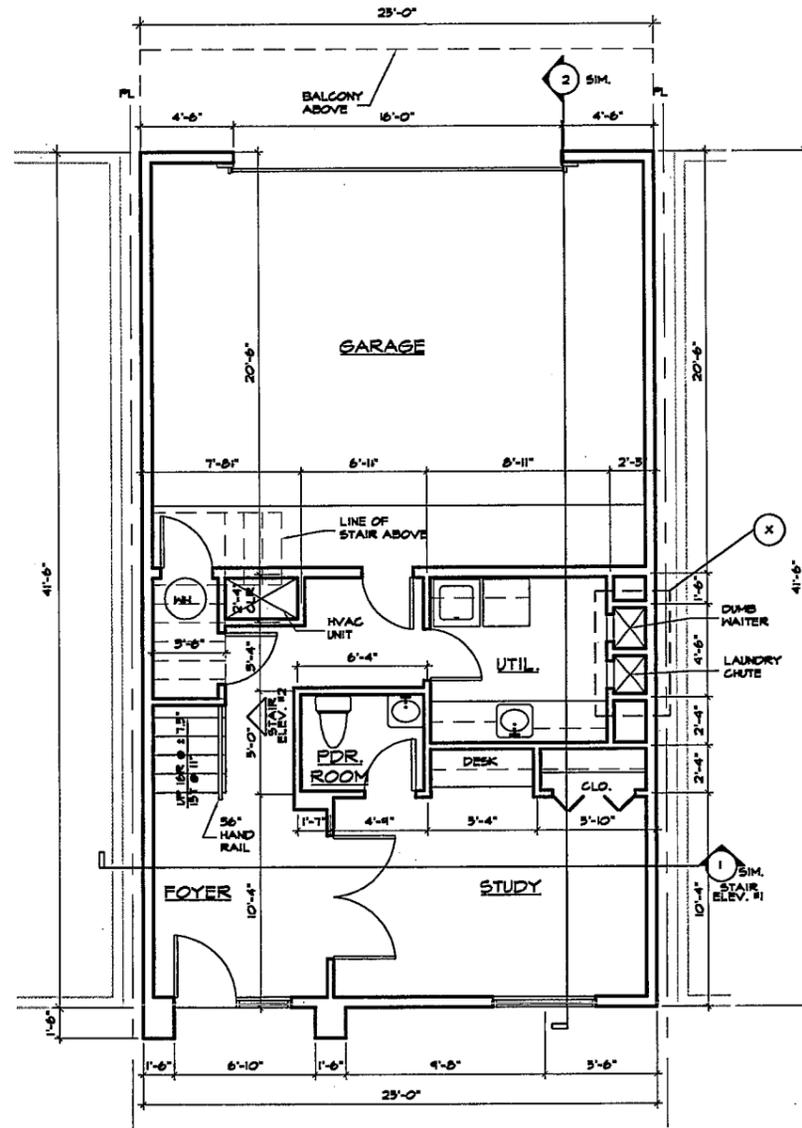
DETAIL A
SCALE: 1" = 1'-0"



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(480) 507-5514



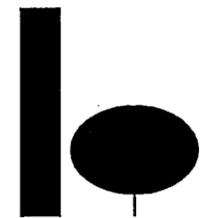
2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"



1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

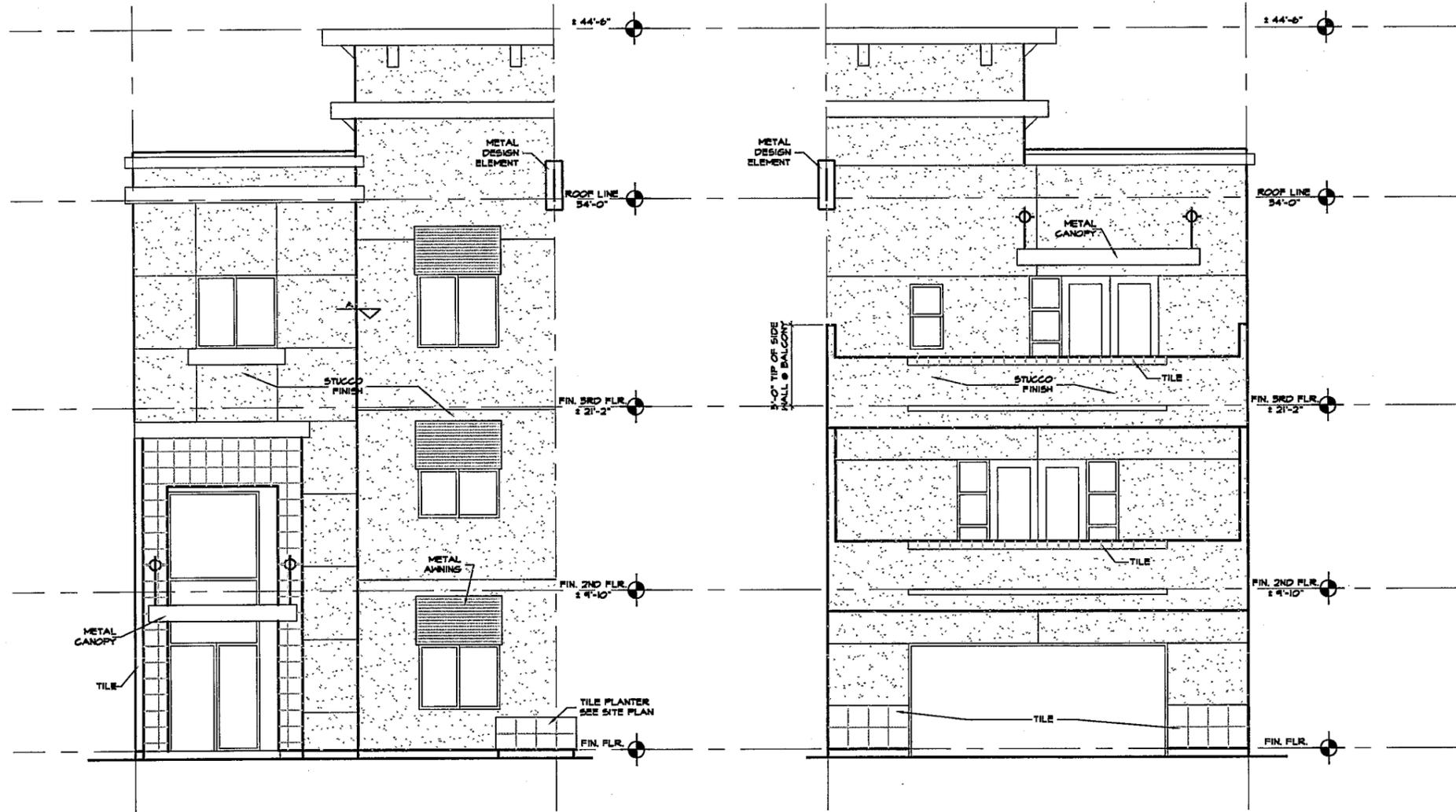
PLAN 3A

LOFTS AT PARKVIEW PLACE



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ARCHITECT**

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(480) 507-5514



PLAN 3A

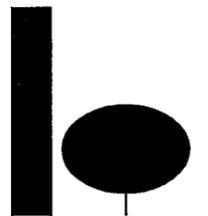
FRONT ELEVATION
SCALE: 1/4" = 1'-0"

PLAN 3A

REAR ELEVATION
SCALE: 1/4" = 1'-0"

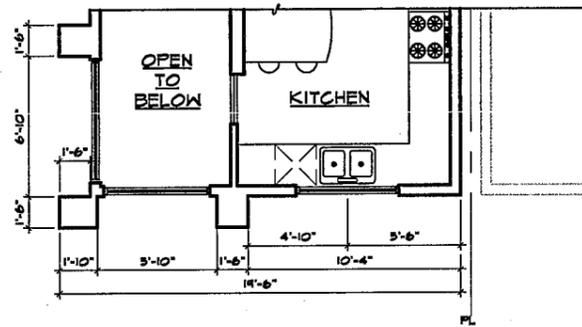
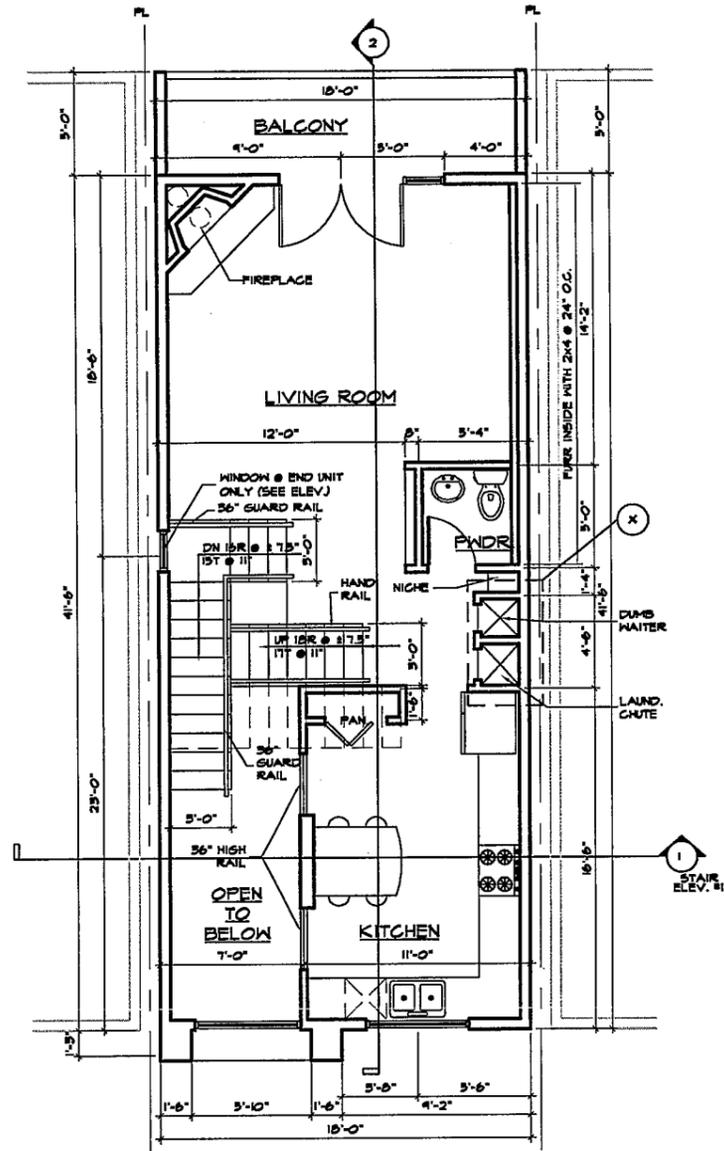


DETAIL A
SCALE: 1" = 1'-0"

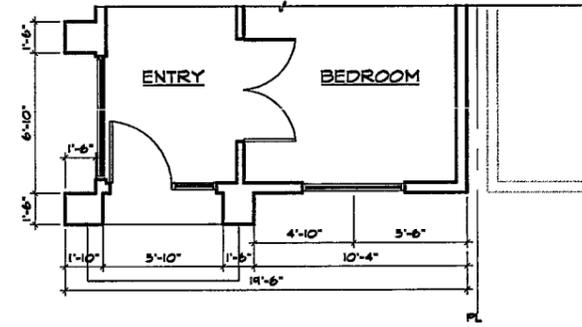
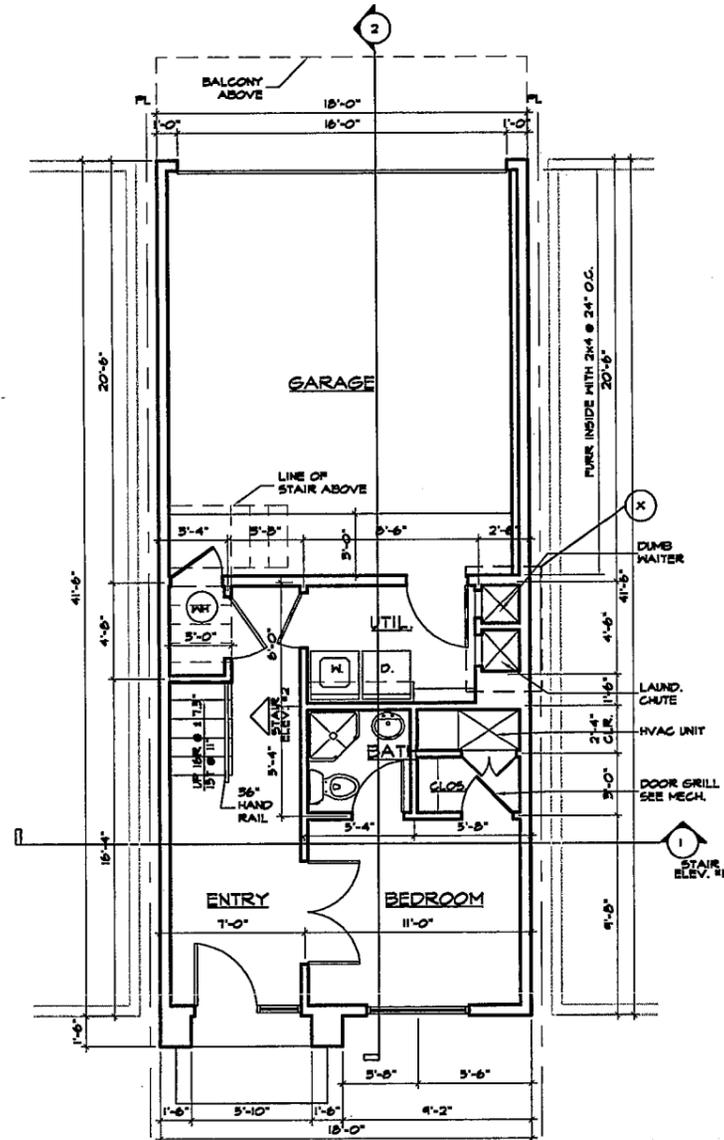


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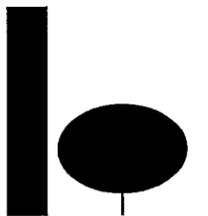
END UNIT (WHERE OCCURS)
2ND FLOOR PLAN
 SCALE: 1/4" = 1'-0"



END UNIT (WHERE OCCURS)
1ST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

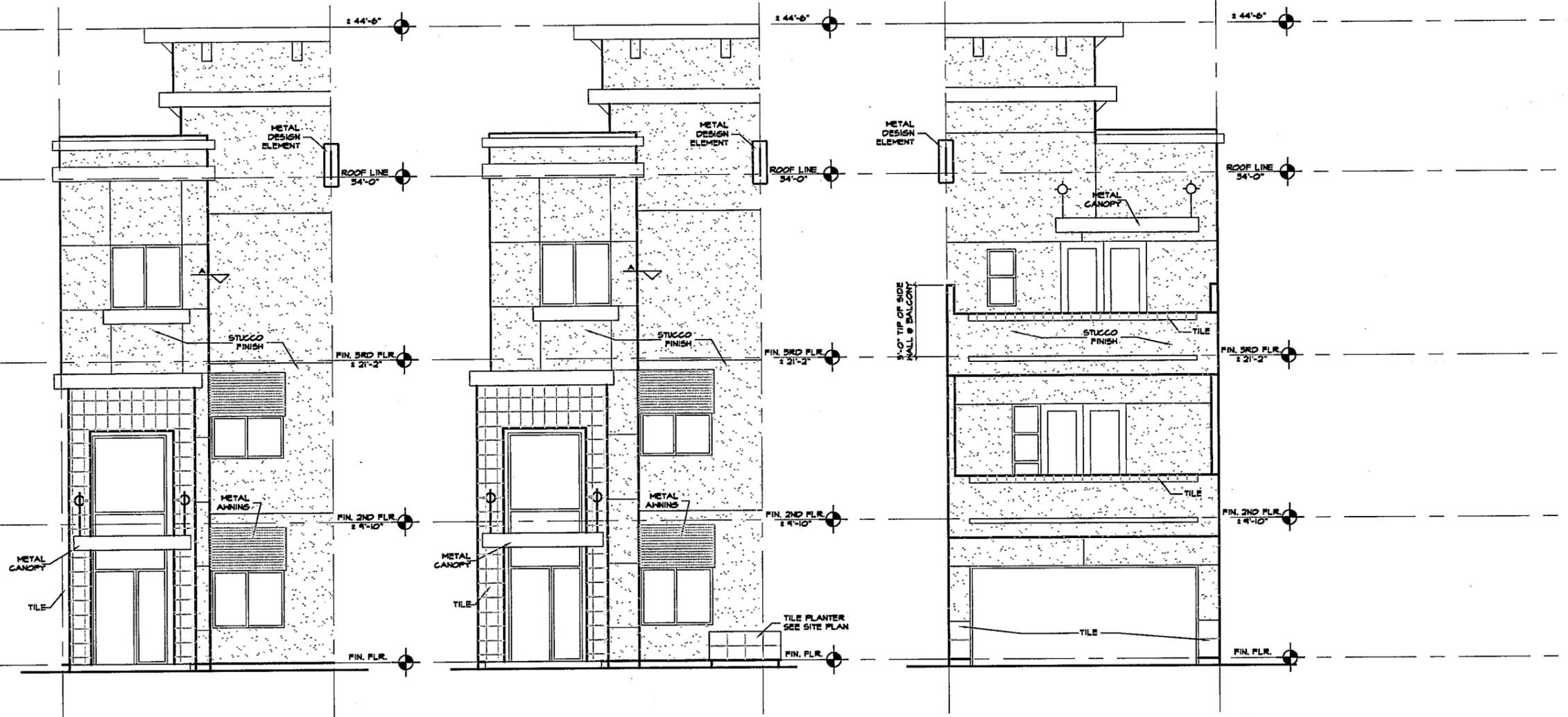
PLAN 2B

LOFTS AT PARKVIEW PLACE



**GLENN KENNEDY
 ARCHITECT**

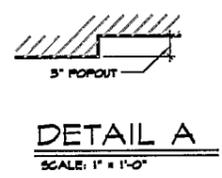
1811 S. 39th Street #33
 Mesa, AZ 85206
 (480) 507-5514



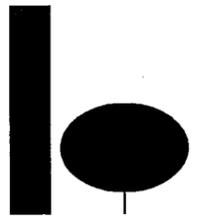
PLAN 2B
(INTERIOR UNIT)
FRONT ELEVATION
SCALE: 1/4" = 1'-0"

PLAN 2B
(END UNIT)
FRONT ELEVATION
SCALE: 1/4" = 1'-0"

PLAN 2B
REAR ELEVATION
SCALE: 1/4" = 1'-0"

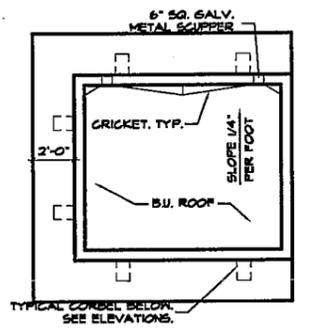


DETAIL A
SCALE: 1" = 1'-0"

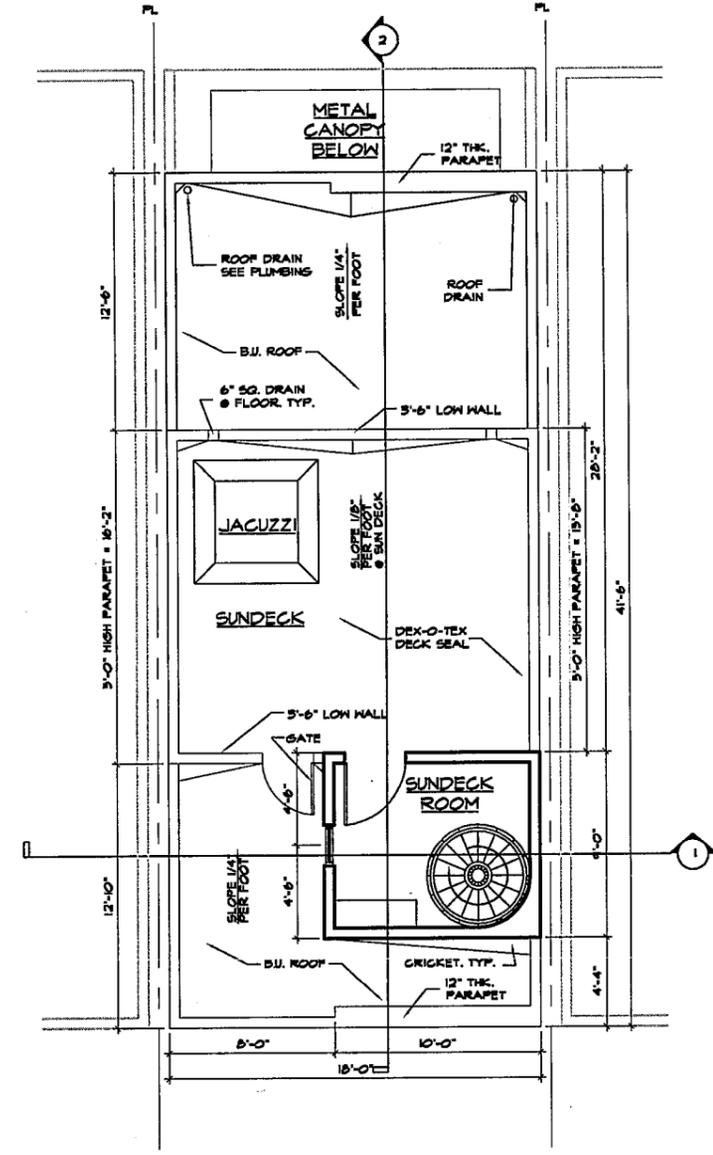


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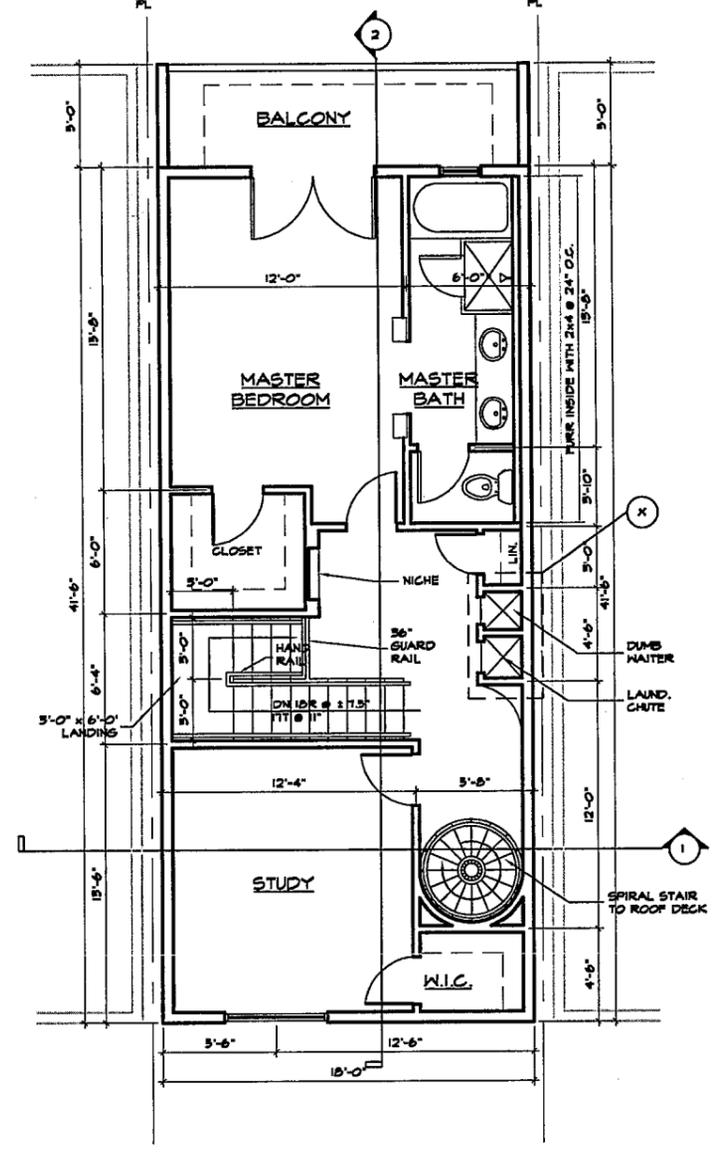
LOFTS AT PARKVIEW PLACE



SUN DECK ROOM ROOF PLAN
SCALE: 1/4" = 1'-0"

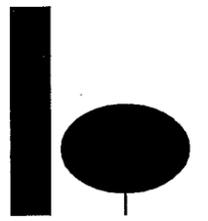


ROOF DECK PLAN
SCALE: 1/4" = 1'-0"

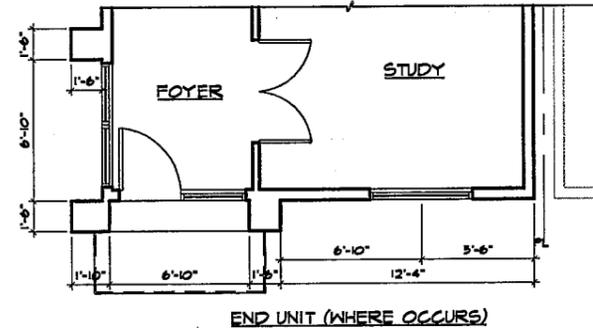
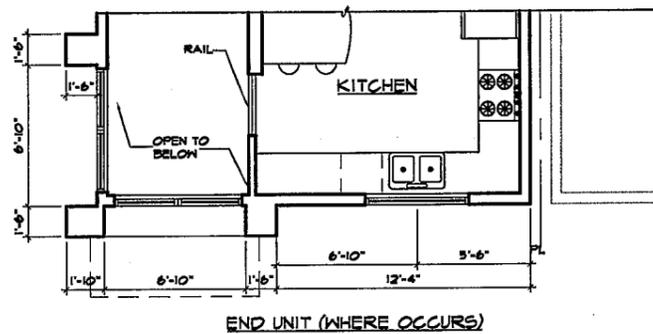
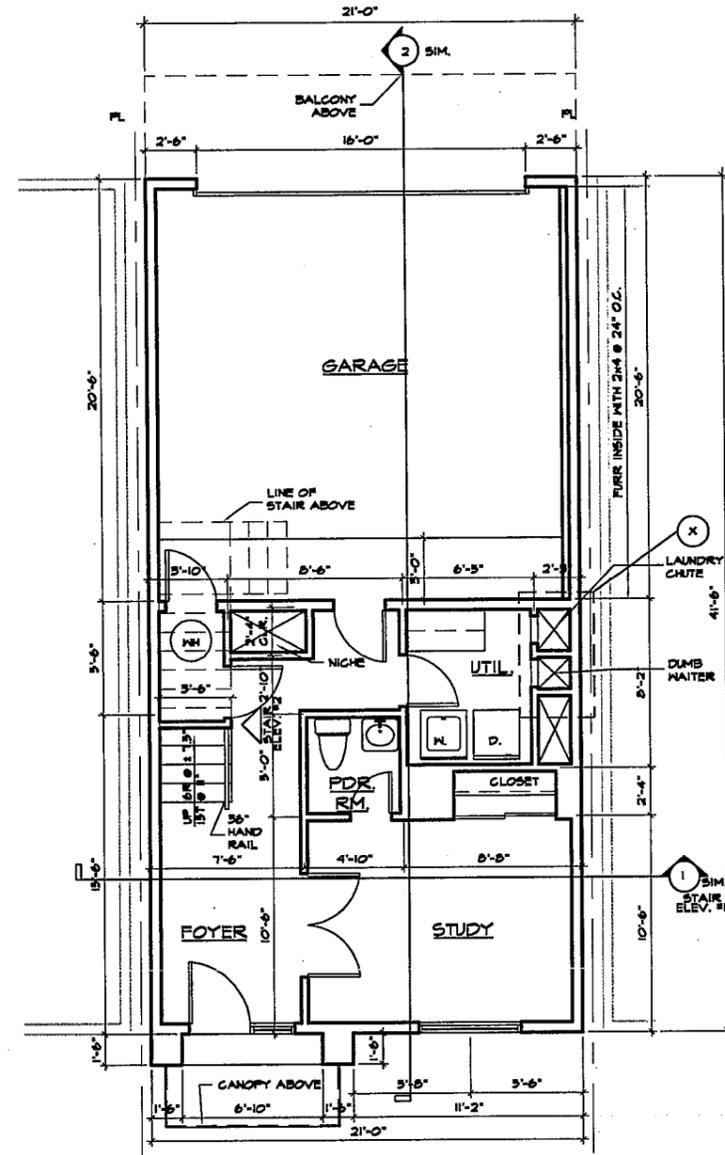
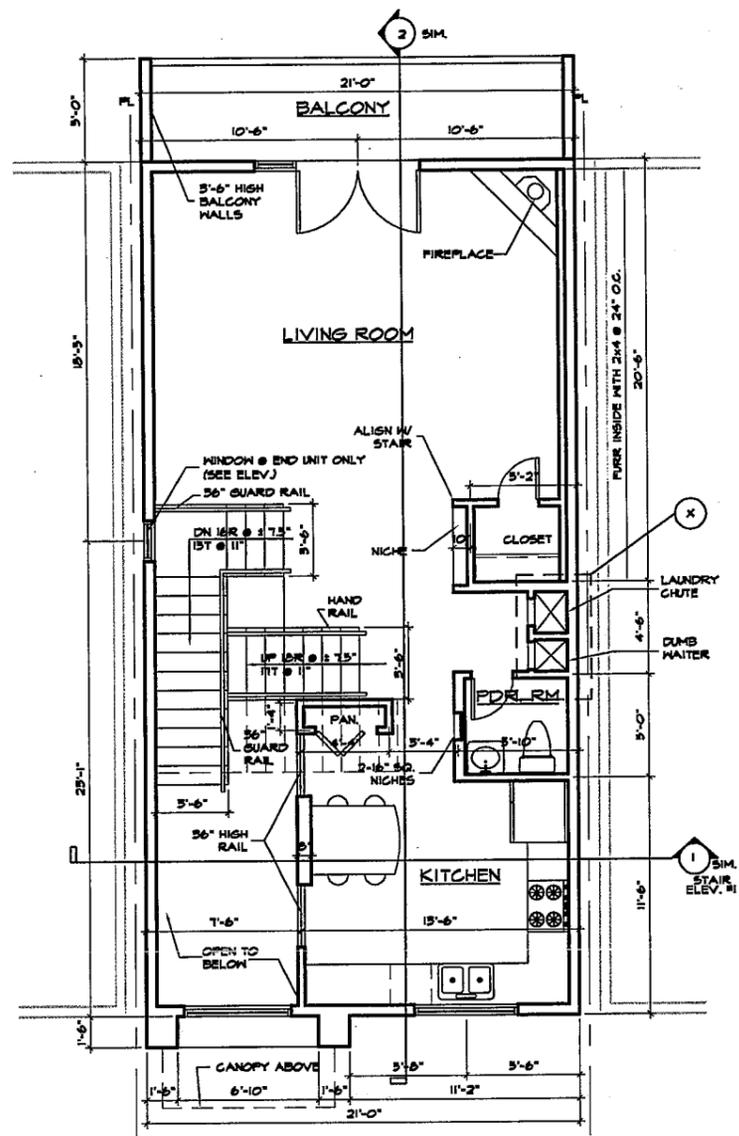


3RD FLOOR PLAN
SCALE: 1/4" = 1'-0"

PLAN 2B



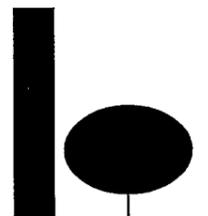
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1811 S. 39th Street #33
Mesa, AZ 85206
(480) 507-5514



2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"

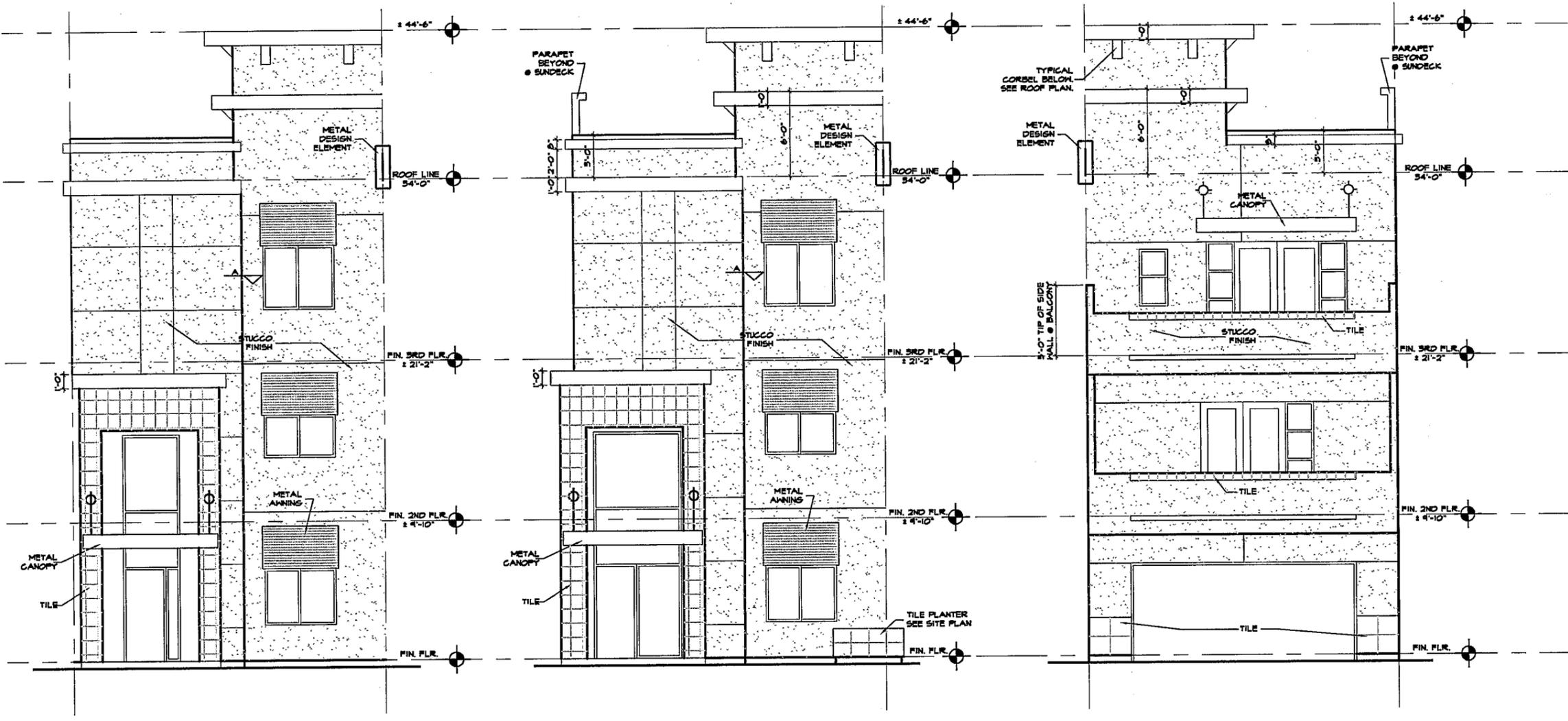
1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

PLAN 2A



GLENN KENNEDY
ARCHITECT

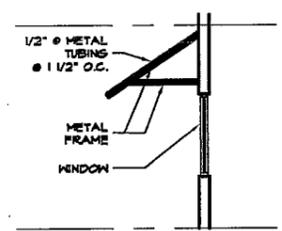
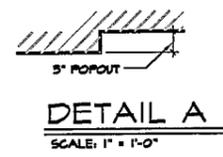
1811 S. 39th Street #33
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(480) 507-5514



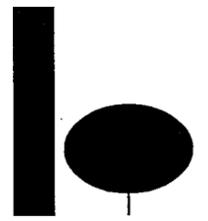
PLAN 2A
(INTERIOR UNIT)
FRONT ELEVATION
SCALE: 1/4" = 1'-0"

PLAN 2A
(END UNIT)
FRONT ELEVATION
SCALE: 1/4" = 1'-0"

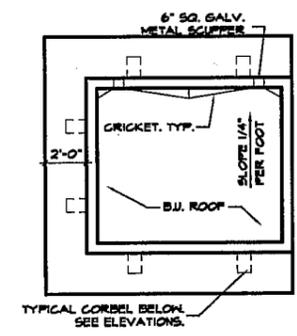
PLAN 2A
REAR ELEVATION
SCALE: 1/4" = 1'-0"



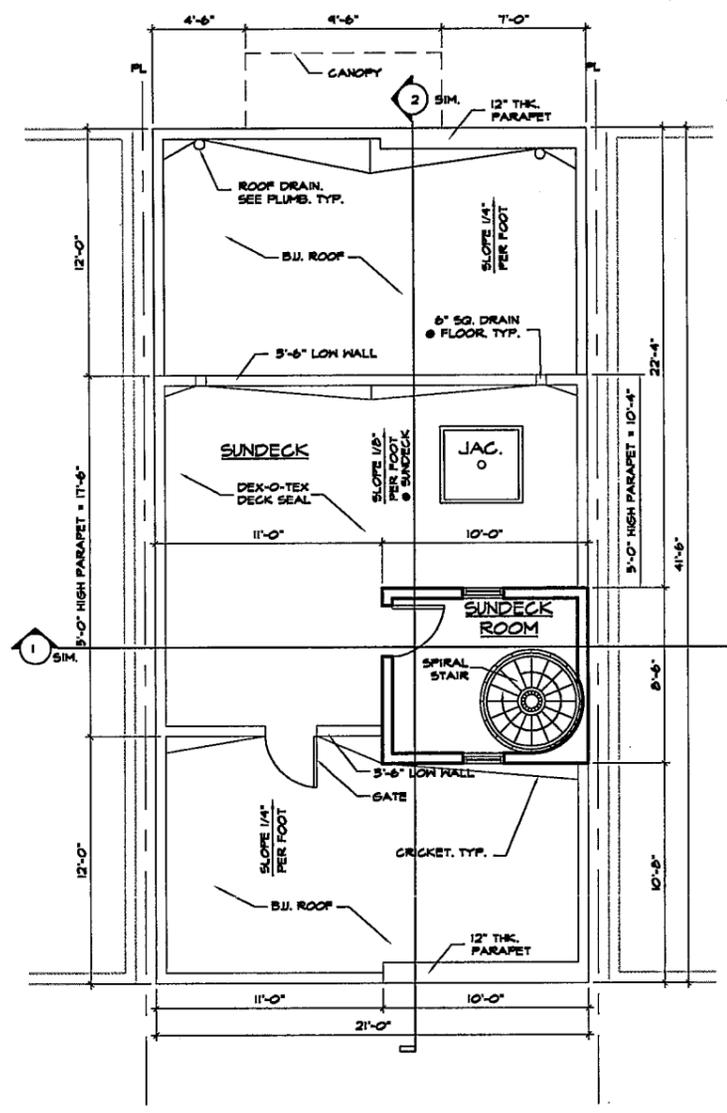
TYP. AWNING DET.
SCALE: 1/4" = 1'-0"



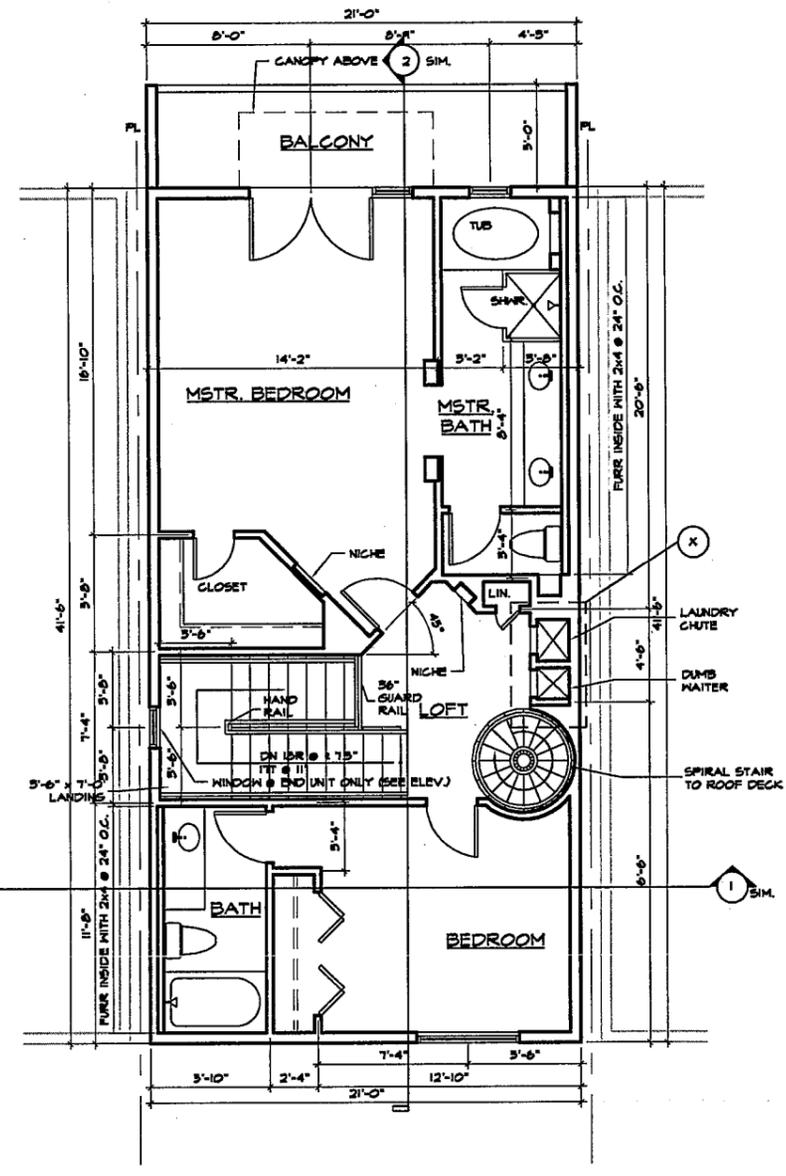
GLENN KENNEDY ARCHITECT
1811 S. 39th Street #33
Mesa, AZ 85206
(480) 507-5514



SUN DECK ROOM ROOF PLAN
SCALE: 1/4" = 1'-0"



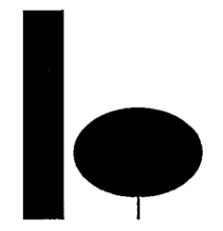
ROOF DECK PLAN
SCALE: 1/4" = 1'-0"



3RD FLOOR PLAN
SCALE: 1/4" = 1'-0"

PLAN 2A

- STAIR PLAN NOTES:**
1. STAIR AT 2B PLAN SIMILAR TO 2A (SEE FLOOR PLAN) STAIR WIDTH @ 2B IS 3'-0".
 2. CONTRACTOR TO PREPARE COMPLETE FABRICATION DRAWINGS ON ALL STAIRS FOR ARCHITECT'S REVIEW.
 3. STAIRS, OTHER THAN SPIRAL STAIR, SHALL BE METAL PAN CHANNEL WITH NON SLID TREAD.
 4. COORDINATE BLOCKING, BRACING AND STAIR ANCHORAGE WITH STRUCTURAL.



GLENN KENNEDY ARCHITECT
1811 S. 39th Street #33
Mesa, AZ 85206
(480) 507-5514

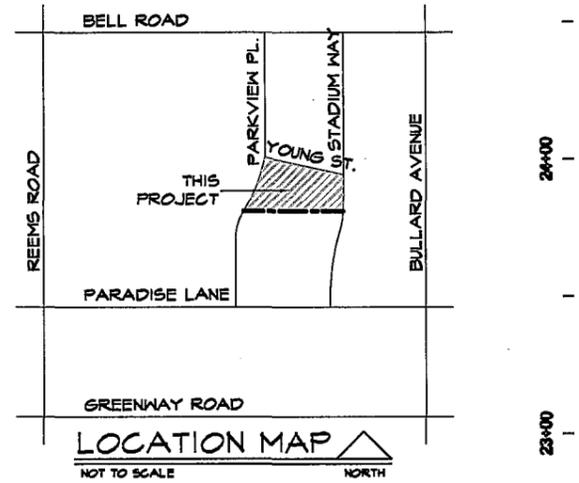
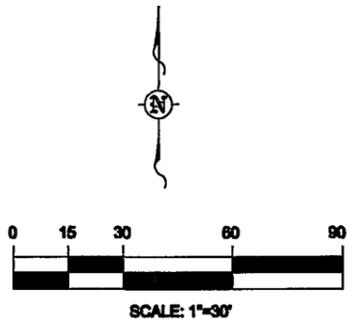
PROJECT INFORMATION

PROJECT NAME: ■ LOFTS AT PARKVIEW PLACE
 PROJECT LOCATION: ■ STADIUM VILLAGE
 DEVELOPER: ■ JON JACKSON
 8101 E. SONITA DR. # 240
 SCOTTSDALE, AZ 85255
 TELE. (602) 405-0147

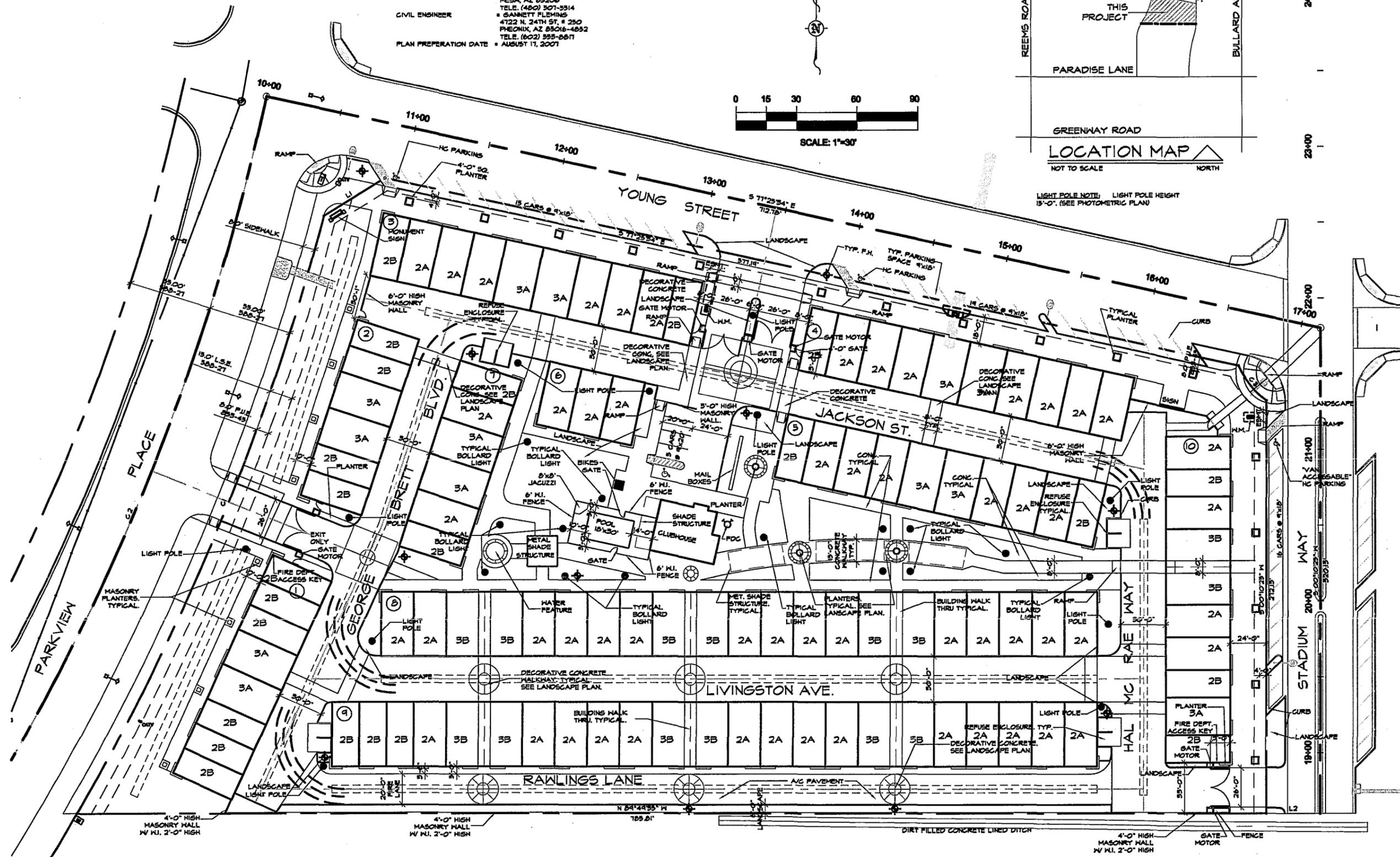
ARCHITECT: ■ GLENN KENNEDY, ARCHITECT
 11811 S. 34TH ST. # 35
 MESA, AZ 85206
 TELE. (480) 507-5514

CIVIL ENGINEER: ■ GANNETT FLEMING
 4722 N. 24TH ST. # 250
 PHOENIX, AZ 85016-4852
 TELE. (602) 555-8671

PLAN PREPARATION DATE: ■ AUGUST 17, 2007

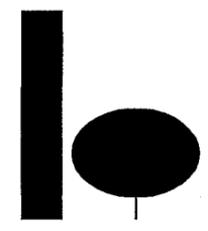


LIGHT POLE NOTE: LIGHT POLE HEIGHT
 15'-0". (SEE PHOTOMETRIC PLAN)



SITE PLAN
 SCALE: 1" = 30'-0"

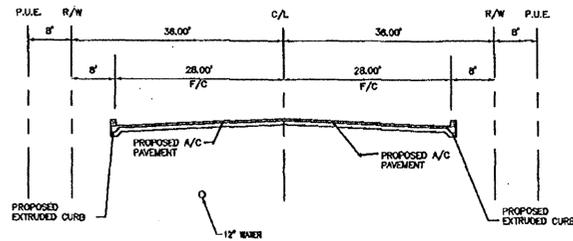
LOFTS AT PARKVIEW PLACE



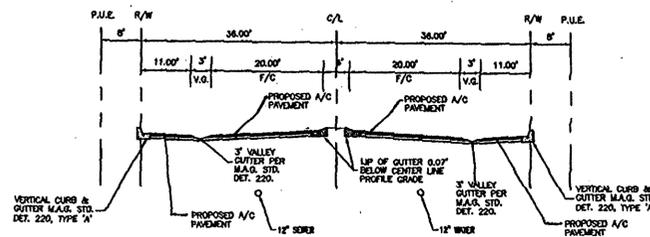
**GLENN KENNEDY
 ARCHITECT**
 1811 S. 39th Street #33
 Mesa, AZ 85206
 (480) 507-5514

PRELIMINARY PLAT LOFTS AT PARKVIEW PLACE

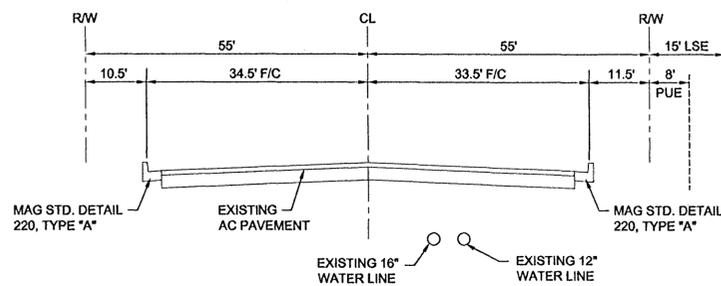
A REPLAT OF LOT 6, STADIUM VILLAGE SOUTH
BOOK 853 OF MAPS, PAGE 45, RECORDS OF MARICOPA COUNTY, ARIZONA
LOCATED IN THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 3 NORTH,
RANGE 1 WEST, G.&S.R.B.&M., MARICOPA COUNTY, ARIZONA
CITY OF SURPRISE, ARIZONA



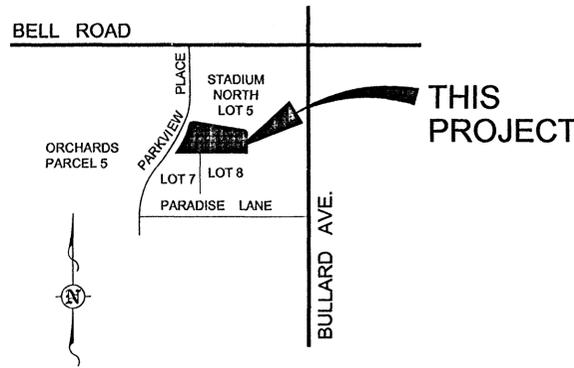
TYPICAL SECTION
PROPOSED YOUNG STREET
SCALE: NTS



TYPICAL SECTION
PROPOSED STADIUM WAY
SCALE: NTS



TYPICAL SECTION
EXISTING PARKVIEW PLACE
SCALE: NTS



VICINITY MAP
SCALE: 1"=100'

CERTIFICATION

THIS IS TO CERTIFY THAT THE SURVEY AND SUBDIVISION OF THE PREMISES DESCRIBED AND PLATTED HEREON WERE MADE UNDER MY DIRECTION DURING THE MONTH OF AUGUST, 2006; AND THAT THE SURVEY IS TRUE AND COMPLETE AS SHOWN, AND THAT MONUMENTS SHOWN ACTUALLY EXIST OR WILL BE SET AS SHOWN AND THAT THEIR POSITIONS ARE CORRECTLY SHOWN AND THAT SAID MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

John R. Snodgrass
JOHN R. SNODGRASS, R.L.S. DATE: 10/12/07



LEGEND

- BOUNDARY THIS SURVEY
- - - MONUMENT LINE
- - - EASEMENT LINE AS NOTED
- - - SECTION OR TIE LINE
- -1225..... INDEX CONTOUR (5 FOOT INTERVAL)
- -1226..... INTERMEDIATE CONTOUR (1 FOOT INTERVAL)
- S — (M) EXISTING SEWERLINE AND MANHOLE
- W — (M) EXISTING WATER VALVE
- L — (M) EXISTING LIGHT POLE
- T — (M) EXISTING TELEPHONE BOX
- CATV — (M) EXISTING CABLE TELEVISION PEDESTAL
- PROPOSED MANHOLE
- ⊗ PROPOSED WATER VALVE
- ⊕ PROPOSED FIRE HYDRANT
- 8in SS — PROPOSED 8" SEWER LINE
- 6in W — PROPOSED 6" WATER LINE
- 8in W — PROPOSED 8" WATER LINE
- 588-27 RECORDING DATA (BOOK 588 OF MAPS, PAGE 27)

LEGAL DESCRIPTION:

LOT 6, STADIUM VILLAGE SOUTH, ACCORDING TO BOOK 853 OF MAPS, PAGE 45, RECORDS OF MARICOPA COUNTY, ARIZONA; THEREAFTER, AFFIDAVIT OF CORRECTION RECORDED SEPTEMBER 19, 2006 IN INSTRUMENT NO. 2006-1238249.

BASIS OF BEARING:

S89°00'56"E ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 3 NORTH, RANGE 1 WEST G.&S.R.B.&M., MARICOPA COUNTY, ARIZONA. A REPLAT OF LOT 6, STADIUM VILLAGE SOUTH BOOK 853 OF MAPS, PAGE 45, MCR

ZONING:

THE SUBJECT PROPERTY IS ZONED PAD-ORCHARDS.

AREA:

1. THE SUBJECT PROPERTY CONTAINS A GROSS AREA OF 251,166.20 SQUARE FEET OR 5.766 ACRES.
2. THE SUBJECT PROPERTY CONTAINS A NET AREA OF 236,939.38 SQUARE FEET OR 5.439 ACRES, (NET AREA = GROSS AREA MINUS EASEMENT AREA).
3. NUMBER OF LOTS: 107
4. AREA OF OPEN SPACE: 74,762.28 SQUARE FEET OR 1.716 ACRES.
5. AREA OF LAND IN RIGHT OF WAY: 76,539.58 SQUARE FEET OR 1.757 ACRES OF LAND.
6. UNITS PER ACRE (GROSS): 18.557
UNITS PER ACRE (NET): 19.673
7. ACREAGE OF COMMERCIAL/INDUSTRIAL AREA: N/A

FLOOD INSURANCE RATE MAP (FIRM) INFORMATION:

COMMUNITY NUMBER:	PANEL # DATE	SUFFIX	DATE OF FIRM (INDEX DATE)	FIRM ZONE	BASE FLOOD ELEVATION (IN AO ZONE, USE DEPTH)
040053	1145 09/30/05	G	7/19/01	X	N/A

2007 NOV -6 PM 12:18
CITY OF SURPRISE

DEVELOPER:

JON JACKSON
LOFTS AT PARKVIEW PLACE, LLC
8707 E. VISTA BONITA DRIVE, SUITE 240
SCOTTSDALE, AZ 85255
PHONE: 602-405-0197
FAX: 480-993-0506

ENGINEER:

GANNETT FLEMING, INC.
4722 N. 24TH STREET, SUITE 250
PHOENIX, AZ 85016
PHONE: 602-553-8817
FAX: 602-553-8816

NOTES:

1. BENCHMARK: BRASS CAP IN HAND HOLE AT CENTERLINE OF THE INTERSECTION OF BELL ROAD AND BULLARD AVENUE, (BEING THE NORTHEAST CORNER OF SECTION 5, T.3N., R.1W., G.&S.R.B.&M.) EL= 1226.72 N.A.V.D. 1988. (G.D.A.C.S.)
2. EXISTING UTILITIES ARE SHOWN BY SURFACE EVIDENCE ONLY.
3. UNLESS OTHERWISE NOTED, PROPERTY CORNERS ARE 1/2" IRON BARS WITH BRASS TAGS STAMPED LS22281.
4. APN: 509-12-739
5. REFERENCE MATERIAL:
 - (A) FINAL PLAT STADIUM VILLAGE SOUTH, 853-45,
 - (B) THE ORCHARDS AMENDED MAP OF DEDICATION, 588-27,
 - (C) GDACS PLAT FOR T. 3N., R. 1W., 688-41.
 - (D) COMMITMENT FOR TITLE INSURANCE 22008605-B PRODUCED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY AND DATED EFFECTIVE FEBRUARY 8, 2007 AT 7:59 A.M.
6. ALL DEVELOPMENT PHASES DEPICTED ON THIS PRELIMINARY PLAT SHALL BE PROVIDED A MINIMUM OF TWO (2) SEPARATE POINTS OF UNOBSTRUCTED ACCESS WITH A MINIMUM WIDTH OF TWENTY FEET, INSTALLED AND MAINTAINED PURSUANT TO THE REQUIREMENTS OF THE CITY OF SURPRISE.
7. ENTIRE SITE IS TO BE USED AS MULTI-FAMILY RESIDENTIAL.



Two working days before you dig
CALL FOR THE BLUESTIKES
1-800-782-5348
Blue Stike Center
CALL COLLECT

LOFTS AT PARKVIEW PLACE

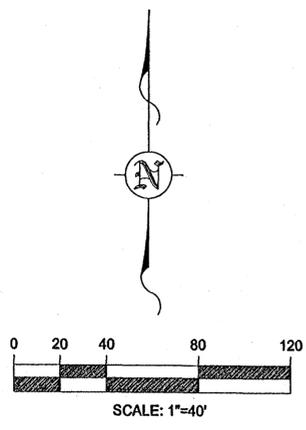
Gannett Fleming
4722 N. 24th Street, Suite 250 Phoenix, AZ 85016-4852
Phone (602) 553-8817 Fax (602) 553-8817 Web www.gfl.com

PRELIMINARY PLAT

GF JOB NO. 47930
Project No.
1 of 3
Sheet No.
Copyright 2007 ©

K:\17930\CADD\17930S-PRE-PLAT-001.dwg Oct 12, 2007 hcoons

PP07-217

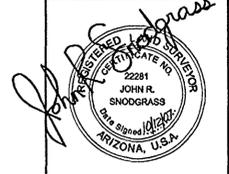


LOT 5
STADIUM VILLAGE NORTH
MCR 843-47
COMMERCIAL
(ZONE: PAD-ORCHARD)

NORTH 1/4 CORNER
SECTION 5, TOWNSHIP 3
NORTH, RANGE 1 WEST
GILA AND SALT RIVER
BASE AND MERIDIAN
FOUND BRASS CAP IN
HAND HOLE

(BASIS OF BEARING)
(853-45)

NORTHEAST CORNER
SECTION 5, TOWNSHIP 3
NORTH, RANGE 1 WEST
GILA AND SALT RIVER
BASE AND MERIDIAN
FOUND BRASS CAP IN
HAND HOLE
ELEVATION=1226.72
(NAVD'88)



Two working days before you dig
CALL FOR THE BLUESTAKES
1-800-782-5348
Blue Stake Center
CALL COLLECT

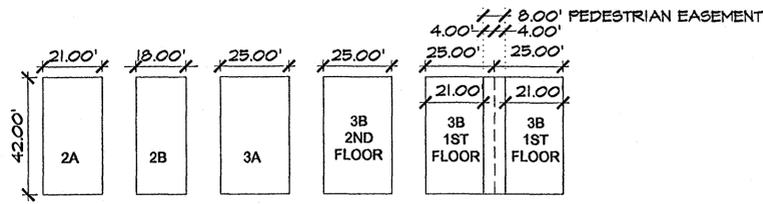
LOFTS AT PARKVIEW PLACE

PRELIMINARY PLAT

Gannett Fleming
1725 N. 24th Street, Suite 250 Phoenix, AZ 85016-8552
Phone (602) 553-8817 Fax (602) 553-8817 Web www.gfl.com

NO.	RADIUS	ARC	DELTA	CHORD BRNG.
C1	1610.00'	427.99'	15°13'51"	N 22°38'43" E
C2	1555.00'	581.47'	21°25'30"	S 23°17'12" W
C3	60.00'	30.01'	28°39'38"	S 38°37'35" E

NO.	DIRECTION	DISTANCE
L1	N 58°30'30" E	47.43'
L2	N 89°49'35" W	36.00'

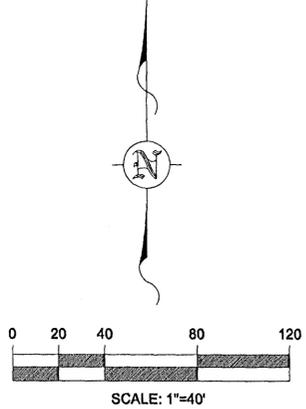


NOTE:
3B OCCURS AT BUILDING WALK THROUGHS ONLY

ALL PRIVATE ACCESS WAYS WILL BE DEDICATED AS
EASEMENTS FOR PRIVATE & PUBLIC UTILITIES AS
WELL AS DRAINAGE EASEMENTS

K:\47930\CADD\47930S-PRE-PLAT-002.dwg Oct 12, 2007 kcoons

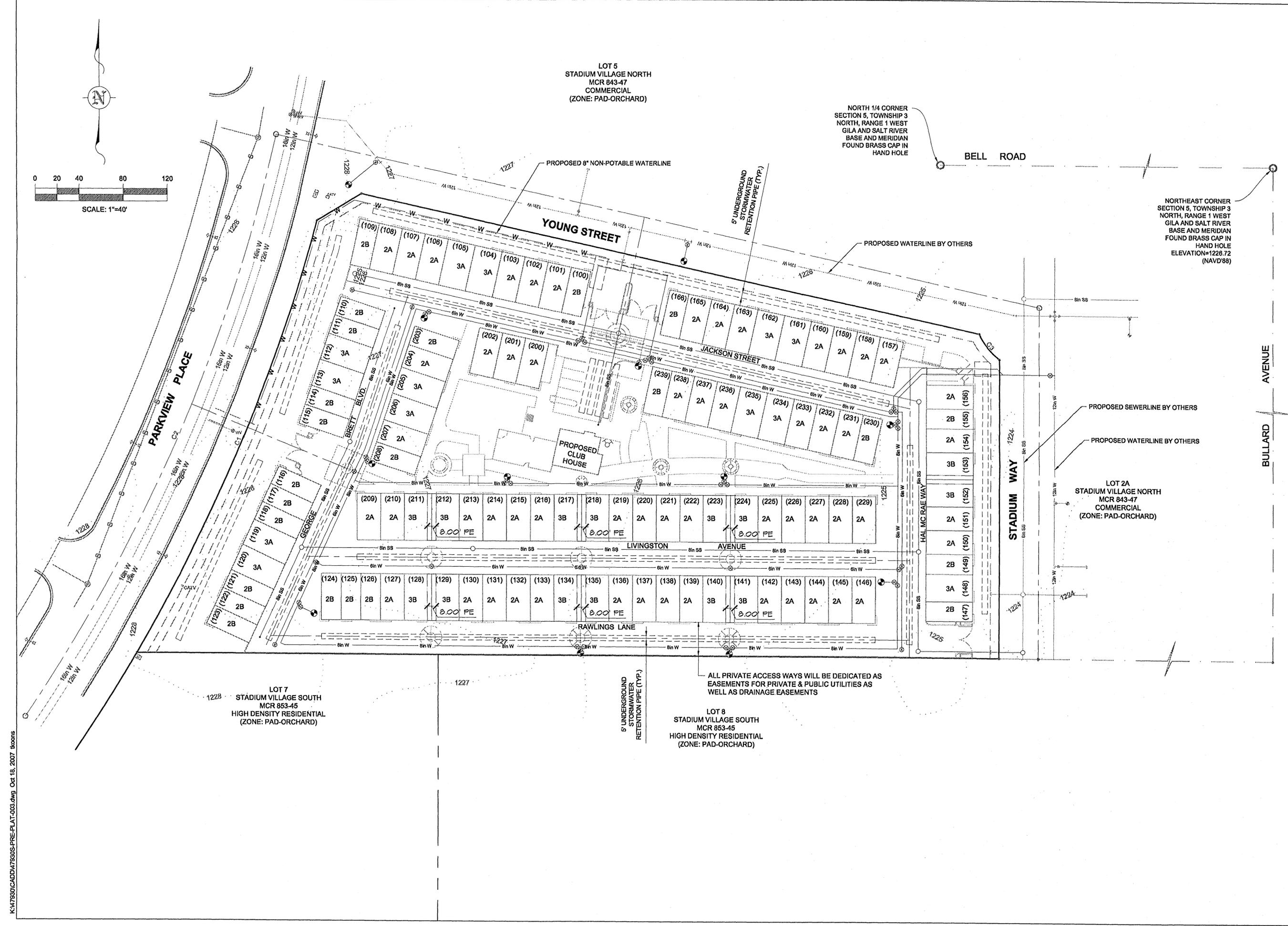
PP07-217



LOT 5
STADIUM VILLAGE NORTH
MCR 843-47
COMMERCIAL
(ZONE: PAD-ORCHARD)

NORTH 1/4 CORNER
SECTION 5, TOWNSHIP 3
NORTH, RANGE 1 WEST
GILA AND SALT RIVER
BASE AND MERIDIAN
FOUND BRASS CAP IN
HAND HOLE

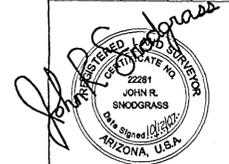
NORTHEAST CORNER
SECTION 5, TOWNSHIP 3
NORTH, RANGE 1 WEST
GILA AND SALT RIVER
BASE AND MERIDIAN
FOUND BRASS CAP IN
HAND HOLE
ELEVATION=1228.72
(NAVD88)



LOT 7
STADIUM VILLAGE SOUTH
MCR 853-45
HIGH DENSITY RESIDENTIAL
(ZONE: PAD-ORCHARD)

LOT 8
STADIUM VILLAGE SOUTH
MCR 853-45
HIGH DENSITY RESIDENTIAL
(ZONE: PAD-ORCHARD)

LOT 2A
STADIUM VILLAGE NORTH
MCR 843-47
COMMERCIAL
(ZONE: PAD-ORCHARD)



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PRELIMINARY PLAT
UTILITIES

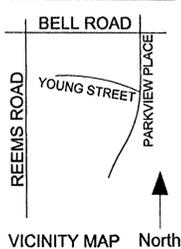
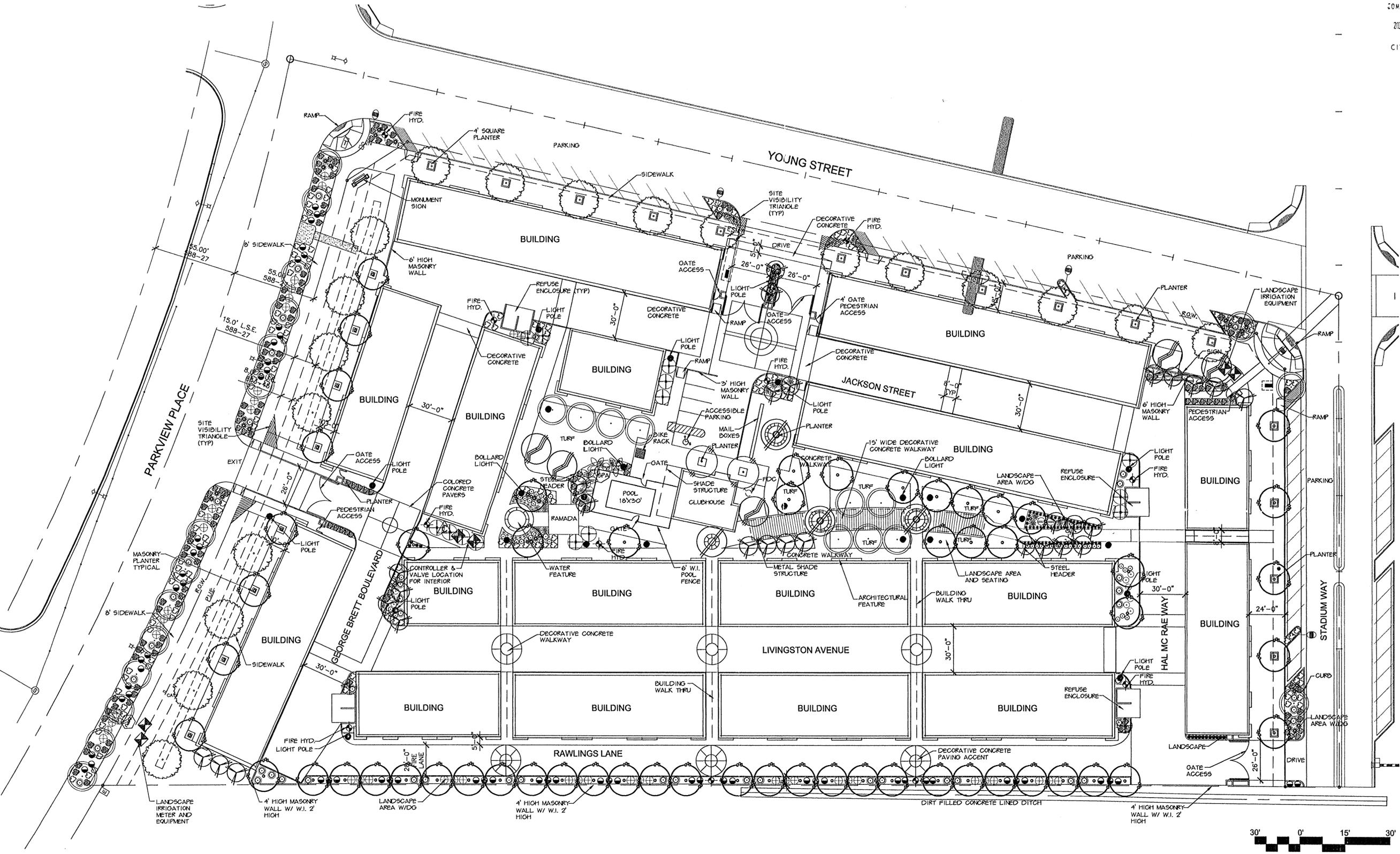
GF JOB NO. 47930
Project No.
3 of 3
Sheet No.
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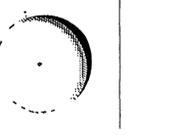
PP07-217

revisions

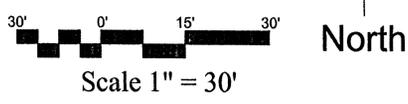
The Lofts at Parkway Place
Parkway Place and Young Street
Surprise, Arizona



Wabel & Associates
Landscape Architecture
Phone 480.893.3849 Fax 480.893.3846
8611 S. Priest Dr., Suite 101, Tempe, AZ 85284
email: janet@wabel.com



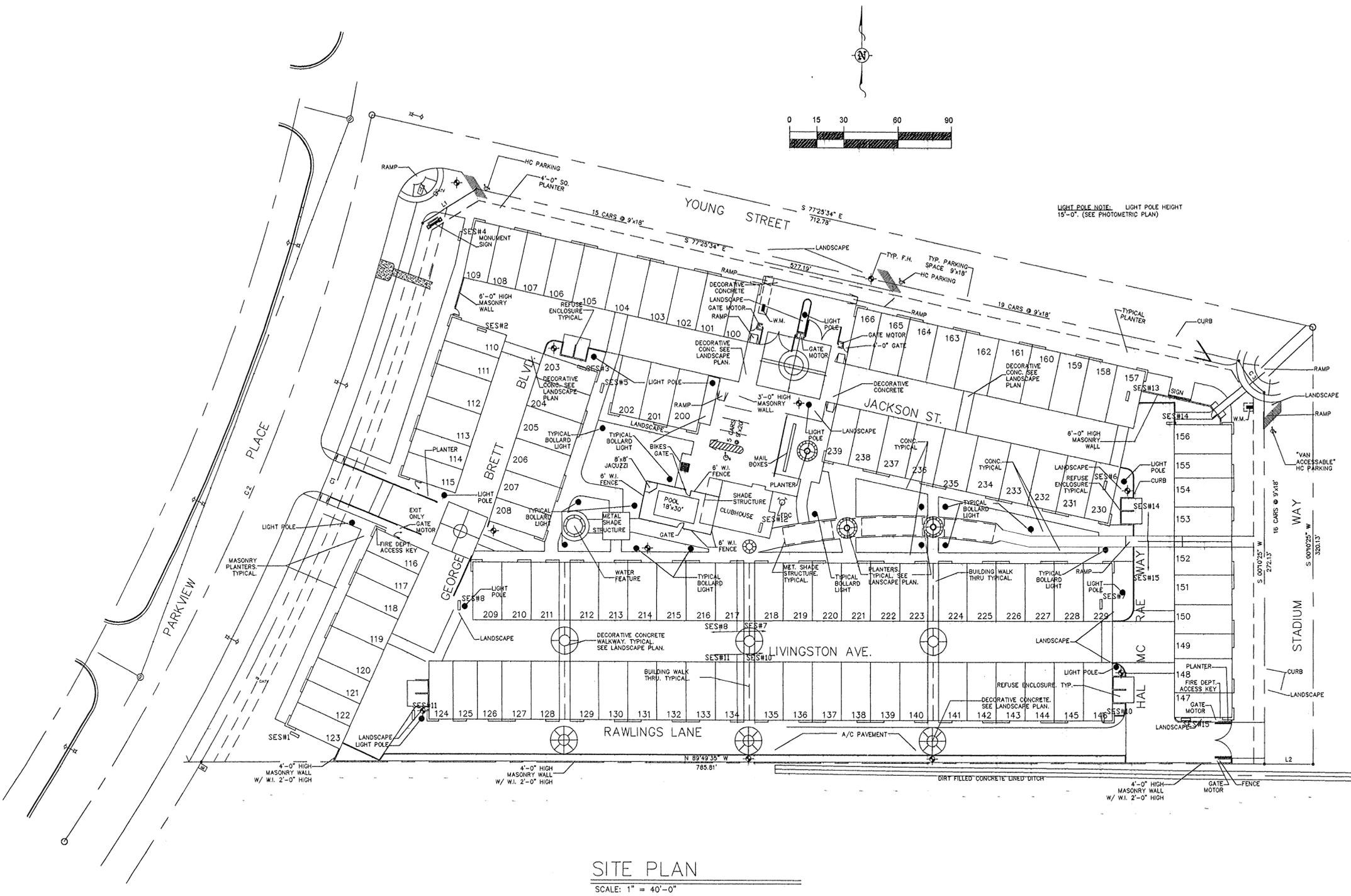
Landscape Concept



Preliminary Plant List

Trees	Shrubs	Accents/Groundcovers
<ul style="list-style-type: none"> PHOENIX DACTYLIFERA Date Palm PRUNUS CERASIFERA Purple Leaf Plum THEVETIA PERUVIANA AND 'ALBA' 50% Yellow Oleander 50% White Oleander DALBERGIA SISSOO Sissoo Tree 	<ul style="list-style-type: none"> PYRUS KAWAKAMI Evergreen Pear ULMUS PARVIFOLIA Evergreen Elm PISTACIA CHINENSIS Chinese Pistacio BAUHINIA VARIEGATA Purple Orchid Tree JACARANDA MIMOSIFOLIA Jacaranda 	<ul style="list-style-type: none"> PUNICA GRANATUM 'NANA' Dwarf Pomegranate RUELLIA BRITTONIANA 'KATIE' Katie Ruellia BOUGAINVILLEA BRASILIENSIS Rasperry Ice Bougainvillea PLUMBAGO SCANDENS Summer Snow HIBISCUS ROSA-SINESIS Hibiscus- Pink LIRIOPE MUSCARI Big Blue Lily Turf EREMOPHILA MACULATA Valentine Bush RUELLIA BRITTONIANA Desert Petunia ZEPHYRANTHES CANDIDA Rain Lily- Pink DIETES VEGETA Fortnight Lily CANNA GENERALIS 'Tropicana' Tropical Cannna Lily AGAVE DEMETTIANA Smooth Agave LANTANA VELUTINA White Lantana LANTANA MONTEVIDENSIS Purple Lantana VERBENA PULCHELLA GRACILIOR Moss Verbena

SITE AREA CALCULATIONS
Net Site Area: 251,342 Sq. Ft. (5.8 Acres)
Groundfloor Area of all Proposed Buildings: 98,729 Sq. Ft.
Number of Parking Spaces: 53
Total Landscape Area: 36,347 Sq. Ft. (14.5% of Net Site Area)



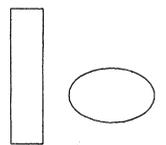
SITE PLAN
SCALE: 1" = 40'-0"

LIGHT POLE NOTE: LIGHT POLE HEIGHT 15'-0". (SEE PHOTOMETRIC PLAN)

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LOCATION MAP
NOT TO SCALE
NORTH

PRELIMINARY
NOT FOR
CONSTRUCTION



**Glenn Kennedy
Architect**

1811 S. 39th. St. #33
Mesa, AZ 85206
(480) 507-5514

JOB NO: 27067
SCALE: AS NOTED
DRAWN BY: EGM
APPRV: GK

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